

# CITY OF ALBUQUERQUE

*Planning Department*  
Brennon Williams, Director



*Mayor Timothy M. Keller*

May 18, 2021

Jackie McDowell, PE  
McDowell Engineering, Inc.  
7820 Beverly Hills Ave NE  
Albuquerque, NM 87121

**Re: Lot 13 Block 9 Unit 22 Volcano Cliffs, S.A.D. 228  
6411 Petirrojo NW  
Request Permanent C.O. – Accepted  
Engineer's Stamp dated: 7-28-2020 (D10D003Q13)  
Pad Certification dated: 5/17/2021  
CO Certification dated: 5/17/2021**

PO Box 1293 Ms. McDowell,

Albuquerque Based on the Certification received 5/18/2021, the site is acceptable for release of  
Certificate of Occupancy by Hydrology.

If you have any questions, you can contact me at 924-3986 or Rudy Rael at 924-3977.

NM 87103 Sincerely,

www.cabq.gov Ernest Armijo, P.E.  
Principal Engineer, Planning Dept.  
Development Review Services



# City of Albuquerque

Planning Department  
Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

**Project Title:** \_\_\_\_\_ **Building Permit #:** \_\_\_\_\_ **Hydrology File #:** \_\_\_\_\_

**DRB#:** \_\_\_\_\_ **EPC#:** \_\_\_\_\_ **Work Order#:** \_\_\_\_\_

**Legal Description:** \_\_\_\_\_

**City Address:** \_\_\_\_\_

**Applicant:** \_\_\_\_\_ **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**Other Contact:** \_\_\_\_\_ **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**TYPE OF DEVELOPMENT:** \_\_\_\_\_ PLAT (# of lots) \_\_\_\_\_ RESIDENCE \_\_\_\_\_ DRB SITE \_\_\_\_\_ ADMIN SITE

IS THIS A RESUBMITTAL? \_\_\_\_\_ Yes \_\_\_\_\_ No

**DEPARTMENT** \_\_\_\_\_ TRANSPORTATION \_\_\_\_\_ HYDROLOGY/DRAINAGE

Check all that Apply:

### TYPE OF SUBMITTAL:

- \_\_\_\_\_ ENGINEER/ARCHITECT CERTIFICATION
- \_\_\_\_\_ PAD CERTIFICATION
- \_\_\_\_\_ CONCEPTUAL G & D PLAN
- \_\_\_\_\_ GRADING PLAN
- \_\_\_\_\_ DRAINAGE REPORT
- \_\_\_\_\_ DRAINAGE MASTER PLAN
- \_\_\_\_\_ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- \_\_\_\_\_ ELEVATION CERTIFICATE
- \_\_\_\_\_ CLOMR/LOMR
- \_\_\_\_\_ TRAFFIC CIRCULATION LAYOUT (TCL)
- \_\_\_\_\_ TRAFFIC IMPACT STUDY (TIS)
- \_\_\_\_\_ STREET LIGHT LAYOUT
- \_\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_
- \_\_\_\_\_ PRE-DESIGN MEETING?

### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- \_\_\_\_\_ BUILDING PERMIT APPROVAL
- \_\_\_\_\_ CERTIFICATE OF OCCUPANCY
- \_\_\_\_\_ PRELIMINARY PLAT APPROVAL
- \_\_\_\_\_ SITE PLAN FOR SUB'D APPROVAL
- \_\_\_\_\_ SITE PLAN FOR BLDG. PERMIT APPROVAL
- \_\_\_\_\_ FINAL PLAT APPROVAL
- \_\_\_\_\_ SIA/ RELEASE OF FINANCIAL GUARANTEE
- \_\_\_\_\_ FOUNDATION PERMIT APPROVAL
- \_\_\_\_\_ GRADING PERMIT APPROVAL
- \_\_\_\_\_ SO-19 APPROVAL
- \_\_\_\_\_ PAVING PERMIT APPROVAL
- \_\_\_\_\_ GRADING/ PAD CERTIFICATION
- \_\_\_\_\_ WORK ORDER APPROVAL
- \_\_\_\_\_ CLOMR/LOMR
- \_\_\_\_\_ FLOODPLAIN DEVELOPMENT PERMIT
- \_\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_

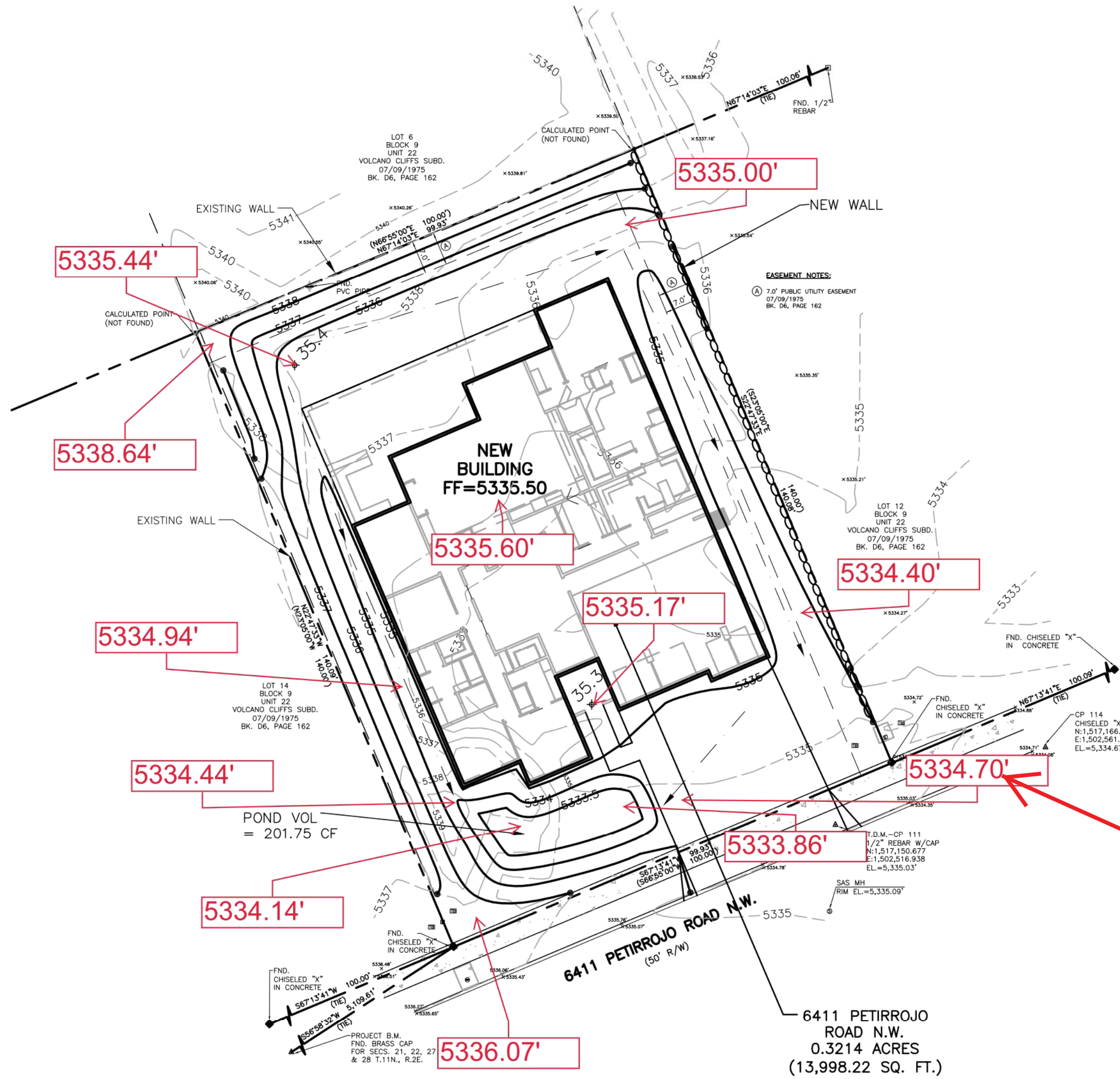
**DATE SUBMITTED:** \_\_\_\_\_ **By:** \_\_\_\_\_

COA STAFF:

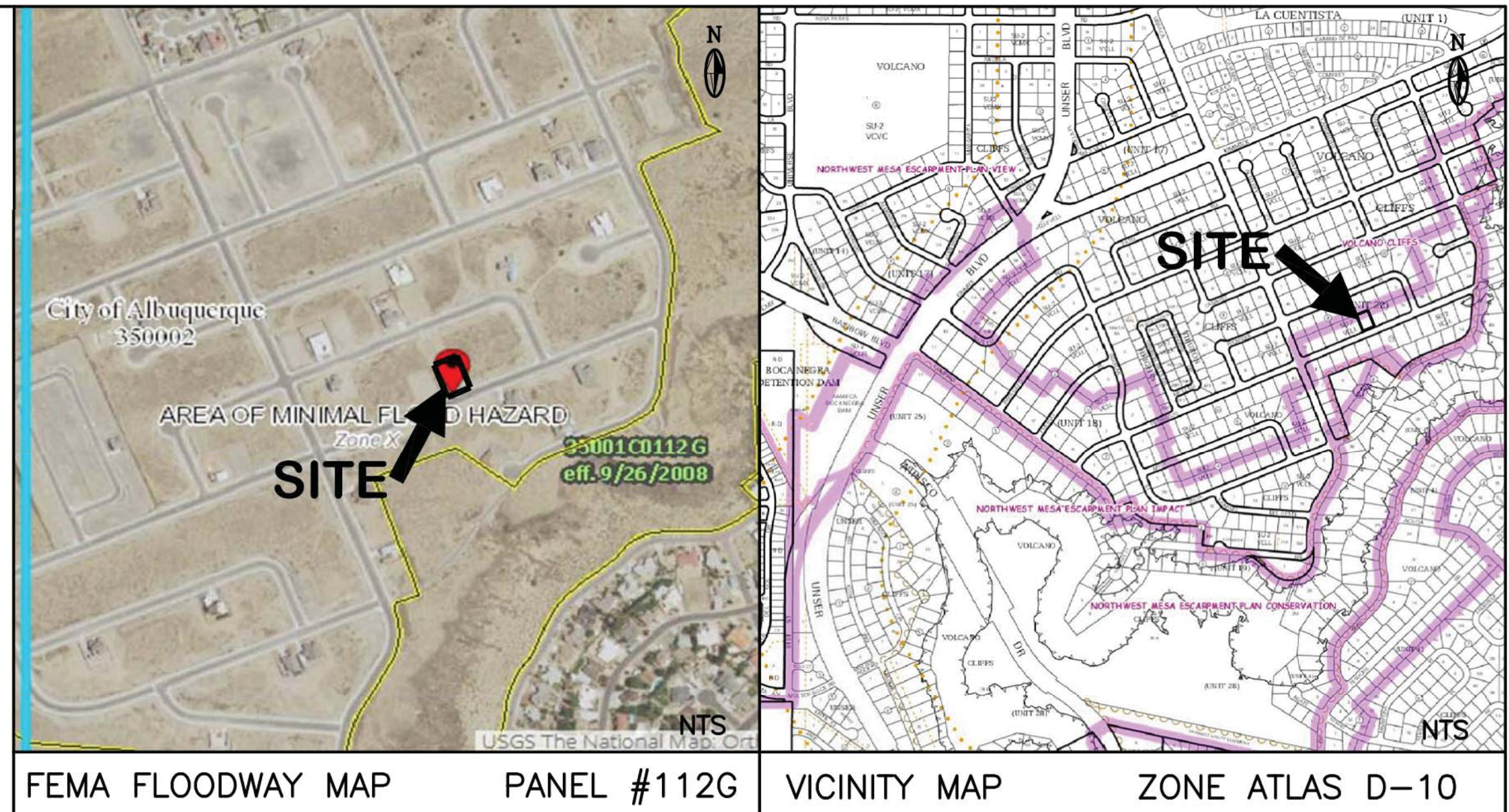
ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_





**SURVEY NOTES:**  
**LEGAL DESCRIPTION**  
LOT 13, BLOCK 9, UNIT 22, VOLCANO CLIFFS SUBDIVISION FILED JULY 9, 1975 IN BOOK D6, PAGE 162.  
**PROJECT LOCATION**  
6411 PETIRROJO ROAD N.W., ALBUQUERQUE, NEW MEXICO  
**SURVEY INFORMATION**  
TOPOGRAPHIC SURVEY PERFORMED AND COMPILED BY TERRA LAND SURVEYS, LLC. CORRALES, NEW MEXICO JULY 2020.  
**PROJECT BENCHMARK**  
PROJECT BENCHMARK IS A CITY OF ALBUQUERQUE CONTROL STATION "S21, S22, S28, S27, T11N R2E, 1911" BEING A USGLO SECTION CORNER ELEVATION = 5,330.151 FEET (NAVD 1988 VERTICAL DATUM).  
**TEMPORARY PROJECT BENCHMARK**  
PROJECT BENCHMARK CP 100 IS A TERRA LAND SURVEY 1/2" REBAR WITH PLASTIC CAP STAMPED "TERRA CONTROL" ELEVATION = 5,335.03 FEET (NAVD 1988 VERTICAL DATUM).  
**NOTES**  
1. FIELD SURVEY PERFORMED IN JULY 2020.  
2. TOPOGRAPHIC SURVEY WAS COMPILED UTILIZING GRID COORDINATES REFERENCED TO NAD 1983 CENTRAL ZONE. PRIMARY HORIZONTAL AND VERTICAL CONTROL WAS ESTABLISHED UTILIZING GPS RTK METHODS. COMBINED GROUND TO GRID FACTOR IS 0.999669939/1.000330170 SCALED AROUND 0.0.  
3. ELEVATIONS SHOWN FOR PIPES ARE INVERT ELEVATIONS UNLESS OTHERWISE SPECIFIED.  
4. CONTOURS SHOWN HEREON ARE AT A ONE FOOT INTERVAL REFERENCED TO THE NAVD 88 VERTICAL DATUM.  
5. THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL OF THE UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE.



This is the plan to be used for any garden walls and any openings in the walls shall be placed 3" above final grade in the rear yard to allow for cross lot drainage from west to east (upstream to downstream).

PROPERTY LINE WALLS AND GARDEN WALLS SHALL HAVE TURNED BLOCKS OR WEEP HOLES FOR DRAINAGE. ALL OPENINGS IN THE WALLS SHALL BE 3" ABOVE GRADE.

STANDARD GRADING NOTE: THE MAXIMUM GRADED SIDE SLOPE SHALL NOT EXCEED 3 FEET (HORIZONTALLY) TO 1 FOOT (VERTICALLY). AREAS DISTURBED BY GRADING WHICH WILL NOT BE TREATED WITH LANDSCAPING SHALL BE SEED.

STANDARD WALL AND PAD CERTIFICATION NOTES:

ALL PERMITER GARDEN WALLS SHALL BE PERMITTED SEPARATELY.

A PAD CERTIFICATION IS REQUIRED BEFORE THE BUILDING PERMIT IS RELEASED.

#### SURVEY LEGEND

- CONTROL MONUMENT (AS NOTED)
- FOUND REBAR (AS NOTED)
- FOUND CHISELED "X"
- WATER METER
- TELEPHONE RISER
- ELECTRIC BOX
- STREET SIGN
- SPOT ELEVATION
- BLOCK WALL
- CONCRETE HATCH
- COVERED PORCH

#### LEGEND

EXISTING PROPOSED

CONTOUR

6045 6045

**CERTIFICATE OF OCCUPANCY:**  
**DRAINAGE CERTIFICATION WITH SURVEY WORK BY PROFESSIONAL SURVEYOR**  
I, Jackie McDowell, NMPE #10903, of the firm McDowell Engineering, Inc., hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intent of the approved plan dated 8-7-20. The record information edited onto the original design document has been obtained by Chrisotpher Medina, NMPS #15702 of the firm Terra Land Surveys, LLC. I further certify that I have personally visited the project site on May 16, 2021 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Certificate of Occupancy. The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the grading and drainage aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

#### SURVEYOR'S CERTIFICATE

I, CHRISTOPHER A. MEDINA, N.M.P.L.S. NO. 15702, DO HEREBY CERTIFY THAT THE AS-BUILT INFORMATION SHOWN AND THE ACTUAL SURVEY WHICH IT WAS DERIVED FROM WAS PERFORMED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT THE INFORMATION SHOWN IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

Christopher A. Medina  
CHRISTOPHER A. MEDINA, NMPLS NO. 15702

MAY 17, 2021  
DATE



#### DRAINAGE PLAN

##### SCOPE:

Pursuant to the latest City of Albuquerque and Bernalillo County Ordinances, the Drainage Plan shown hereon outlines the drainage management criteria for controlling developed runoff and exiting the project site. A single family home is proposed for the site with associated parking, access, landscaping, and utility improvements.

##### EXISTING CONDITIONS:

Presently, the 0.32 acre site is undeveloped. The site is bounded on the west, north, and east by private property, and on the south by Petirrojo Rd. NW. The site slopes gently from the northwest to the southeast. As shown on FEMA Panel #112G, the site is not located in a 100 year flood plain.

##### PROPOSED CONDITIONS:

Per the SAD 227 and 228 Drainage Reports by Wilson & Company, drainage from the lots have been master planned to be intercepted by drainage features downstream of the properties. First flush ponding is required on all developments. As shown by the plan, the building is located in the center of the lot. Negligible off-site flows enter the site due to existing grades from the north and will continue to be allowed to historically flow through the site. On site flows will drain around the structure to new grades and flow to the ponding area. All roof drainage will discharge from the roof to the lot and be directed around the structure to the drainage paths.

Supplemental calculations are shown as part of this Grading and Drainage plan.

##### CALCULATIONS:

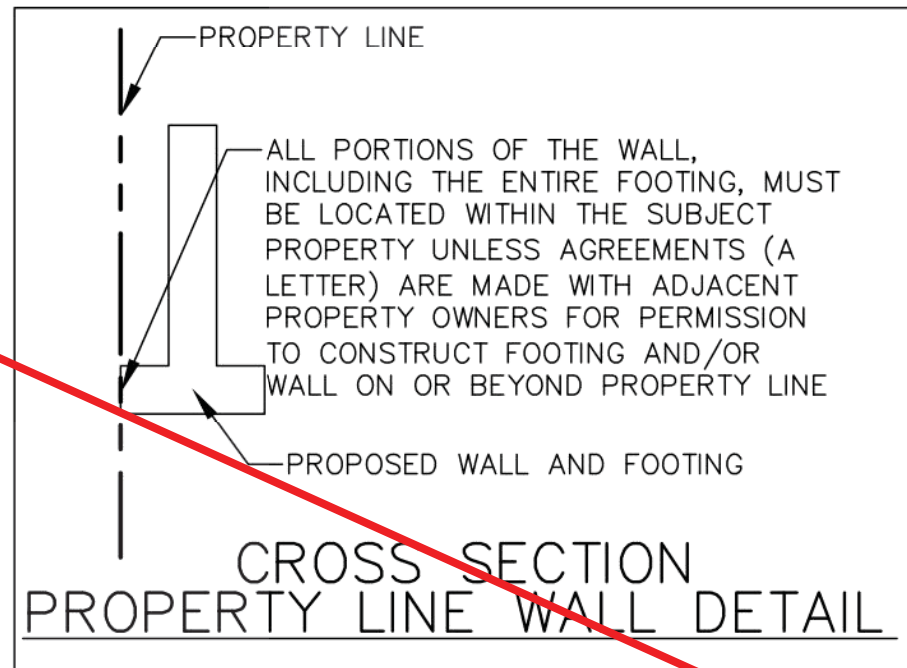
The calculations shown hereon define the 100 year-6 hour design storm falling within the project area under existing and developed conditions. The Hydrology is per "Section 22.2, Hydrology of the Development Process Manual, Volume 2, Design Criteria, for the City of Albuquerque, New Mexico in cooperation with Bernalillo County, New Mexico and the Albuquerque Metropolitan Arroyo Flood Control Authority.

##### PROPERTY ADDRESS:

6411 Petirrojo Rd. NW

##### TOPOGRAPHY:

Topographic information provided by Christopher Medina dated July, 2020.



Jackie S. McDowell  
7-28-20  
8-7-20 rev. for zoning to lower 1'  
AS-BUILT CERTIF. 5-17-21 FOR CO

ZONE 1

P(360) = 2.20 inches

P(10 day) = 3.67 inches

Areas: (acres)

	Existing	Proposed
Treatment A	0.32	0.00
Treatment B	0.00	0.08
Treatment C	0.00	0.08
Treatment D	0.00	0.16
Total (acres) =	0.32	0.32

POND VOLUME PROVIDED:

ELEV.	AREA	VOL. (CF)
5334	541	201.75
5333.5	286	

Volume	100 year Existing	100 year Proposed	10 year Existing	10 year Proposed	2 year Existing	2 year Proposed
Volume (acre-feet) =	0.012	0.037	0.002	0.021	0.000	0.010
Volume (cubic feet) =	511	1,626	93	912	0	456

FIRST FLUSH REQUIRED POND VOL = 0.34"/(12"/FT)\*(0.16 AC \* 43560 SF/AC) = 197 CF

Total Q(p), cfs:

	100 year Existing Q(p)*A	100 year Proposed Q(p)*A	10 year Existing Q(p)*A	10 year Proposed Q(p)*A	2 year Existing Q(p)*A	2 year Proposed Q(p)*A
Treatment A	0.41	0.00	0.08	0.00	0.00	0.00
Treatment B	0.00	0.16	0.00	0.06	0.00	0.00
Treatment C	0.00	0.23	0.00	0.12	0.00	0.04
Treatment D	0.00	0.70	0.00	0.46	0.00	0.27
Total Q (cfs) =	0.41	1.09	0.08	0.64	0.00	0.31

#### ENGINEER'S CERTIFICATION:

I, Jackie S. McDowell, hereby certify that I personally inspected the site shown on this plan on July 25, 2020 and as of that date it appeared that no filling, grading, or excavation had occurred thereon since completion of the topographic survey used to prepare this plan.

6411 PETIRROJO RD. NW, ALBUQUERQUE, NM 87120  
CITY OF ALBUQUERQUE, BERNALILLO COUNTY NEW MEXICO.

LOT 13, BLOCK 9, UNIT 22  
VOLCANO CLIFFS SUBDIVISION

SOLIS, JAVIER - G & D PLAN

**McDowell Engineering, Inc.**  
7820 BEVERLY HILLS AVE. NE • ALBUQUERQUE, NM 87122  
TELE: 505-828-2430 • FAX: 505-821-4857

Designed JSM Drawn STAFF Checked JSM Sheet of  
File SOL0120L Date JULY,2020 1 1