

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

June 5, 2020

David Soule, P.E.
Rio Grande Engineering
PO Box 93924
Albuquerque, New Mexico 87199

RE: **Lot 14 Block 9 Unit 22 SAD 228
6415 Petirrojo NW
Volcano Cliffs Subdivision
Grading and Drainage Plan
Engineers Stamp Date 6/3/2020 (D10D003Q14)**

Dear Mr. Soule,

Based upon the information provided in your submittal received 6/5/2020, this plan is approved for Grading Permit.

PO Box 1293

Prior to Building permit approval a Pad Certification will be required, provided by the Engineer or a registered Land Surveyor.

Albuquerque

Advise the owner contractor not to use dirt as a ramp to climb the curb, use lumber or crusher fines for this purpose.

NM 87103

Reiterate to the Owner/Contractor that a separate permit for a garden/retaining wall must be obtained with the approved G&D plan and Pad Certification. Also, if a swimming pool is to be placed the grading and drainage plan will change and will need to be resubmitted.

www.cabq.gov

Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist is required.

If you have any questions, please contact me at 924-3986 or Rudy Rael at 924-3977.

Sincerely,

Ernest Armijo, P.E.
Principal Engineer, Planning Dept.
Development Review Services

RR/SB
C: File D10D003Q14



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: 6415 Petirrojo **Building Permit #:** _____ **Hydrology File #:** _____
DRB#: _____ **EPC#:** _____ **Work Order#:** _____
Legal Description. LOT 14 BLOCK 9 VOLCANO CLIFFS UNIT 22
City Address: 6415 Petirrojo

Applicant: PERFECTO GARCIA **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

Other Contact: RIO GRANDE ENGINEERING **Contact:** DAVID SOULE
Address: PO BOX 93924 ALB NM 87199
Phone#: 505.321.9099 **Fax#:** 505.872.0999 **E-mail:** david@riograndeengineering.com

TYPE OF DEVELOPMENT: PLAT RESIDENCE DRB SITE ADMIN SITE

Check all that Apply:

DEPARTMENT:
 HYDROLOGY/ DRAINAGE
 TRAFFIC/ TRANSPORTATION

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:
 BUILDING PERMIT APPROVAL
 CERTIFICATE OF OCCUPANCY

TYPE OF SUBMITTAL:
 ENGINEER/ARCHITECT CERTIFICATION
 PAD CERTIFICATION
 CONCEPTUAL G & D PLAN
 GRADING PLAN
 DRAINAGE REPORT
 DRAINAGE MASTER PLAN
 FLOODPLAIN DEVELOPMENT PERMIT APPLIC
 ELEVATION CERTIFICATE
 CLOMR/LOMR
 TRAFFIC CIRCULATION LAYOUT (TCL)
 TRAFFIC IMPACT STUDY (TIS)
 STREET LIGHT LAYOUT
 OTHER (SPECIFY) _____
 PRE-DESIGN MEETING?

PRELIMINARY PLAT APPROVAL
 SITE PLAN FOR SUB'D APPROVAL
 SITE PLAN FOR BLDG. PERMIT APPROVAL
 FINAL PLAT APPROVAL
 SIA/ RELEASE OF FINANCIAL GUARANTEE
 FOUNDATION PERMIT APPROVAL
 GRADING PERMIT APPROVAL
 SO-19 APPROVAL
 PAVING PERMIT APPROVAL
 GRADING/ PAD CERTIFICATION
 WORK ORDER APPROVAL
 CLOMR/LOMR
 FLOODPLAIN DEVELOPMENT PERMIT
 OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: Yes No
added pool

DATE SUBMITTED: _____ **By:** _____

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

Weighted E Method

Basin	Area (sf)	Area (acres)	100-Year, 6-hr.				Weighted E (ac-ft)	Volume (ac-ft)	Flow (cfs)			
			Treatment A (%)	Treatment B (%)	Treatment C (%)	Treatment D (%)						
ALLOWED	14036.00	0.322	0%	20%	0.064	46%	0.1482	34%	0.110	1.259	0.034	1.03
PROPOSED	14036.00	0.322	0%	22%	0.071	27%	0.087	51%	0.164	1.419	0.038	1.11
COMPARISON												0.004

Equations:

Weighted E = Ea**A*a + Eb**A*b + Ec**A*c + Ed**A*d / (Total Area)

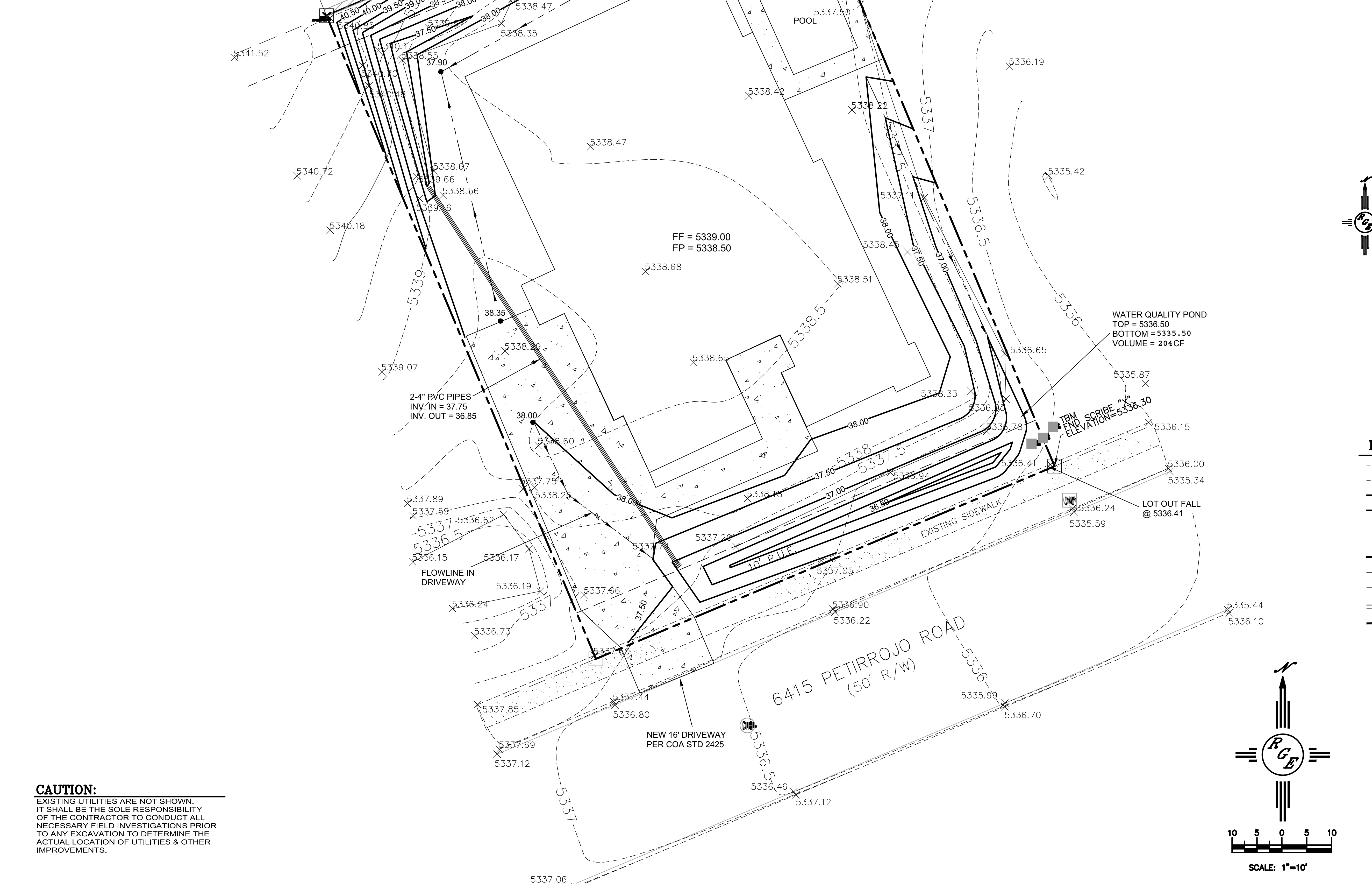
Volume = Weighted E * Total Area

Flow = Qa * *A*a + Qb * *A*b + Qc * *A*c + Qd * *A*d

Where for 100-year, 6-hour storm, zone 1
 Ea= 0.44 Qa= 1.29
 Eb= 0.67 Qb= 2.03
 Ec= 0.99 Qc= 2.87
 Ed= 1.97 Qd= 4.37

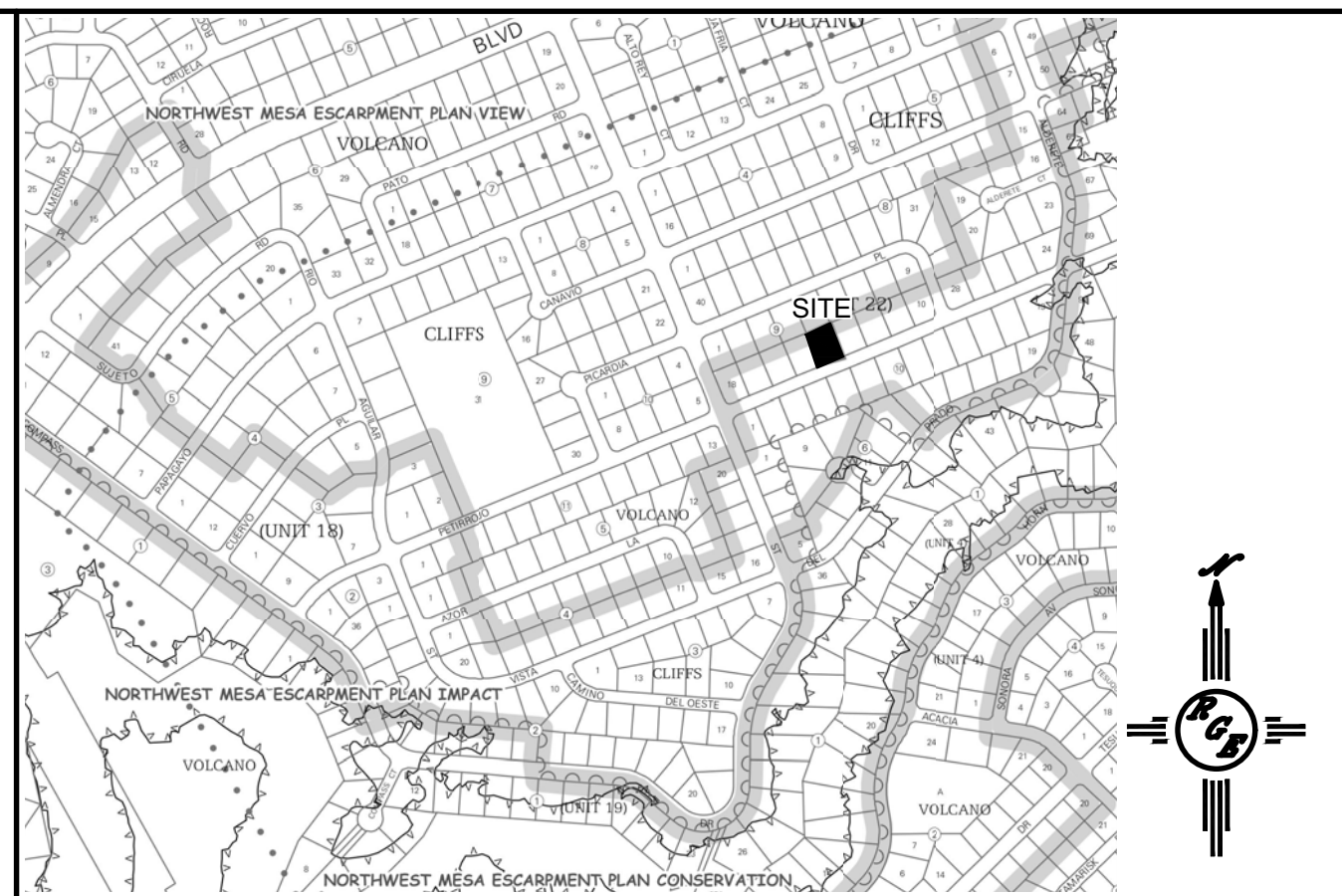
ON-SITE Conditions	FIRST FLUSH WATER QUALITY VOLUME REQUIRED (CF)	PROVIDED (CF)
WATER QUALITY FLOOD CONTROL	187	204

Narrative
 This site is within the SAD 226 Master Drainage plan boundaries. The site is to maintain existing patterns and drain as much as possible to the adjacent roadway to the south per the master drainage plan. We are ponding the water harvest volume generated by the site there is not measurable upland flow. This plan does exceed the allowed impervious area therefore propose to retain the 6-hour volume increase. This plan is in conformance to the master drainage plan.

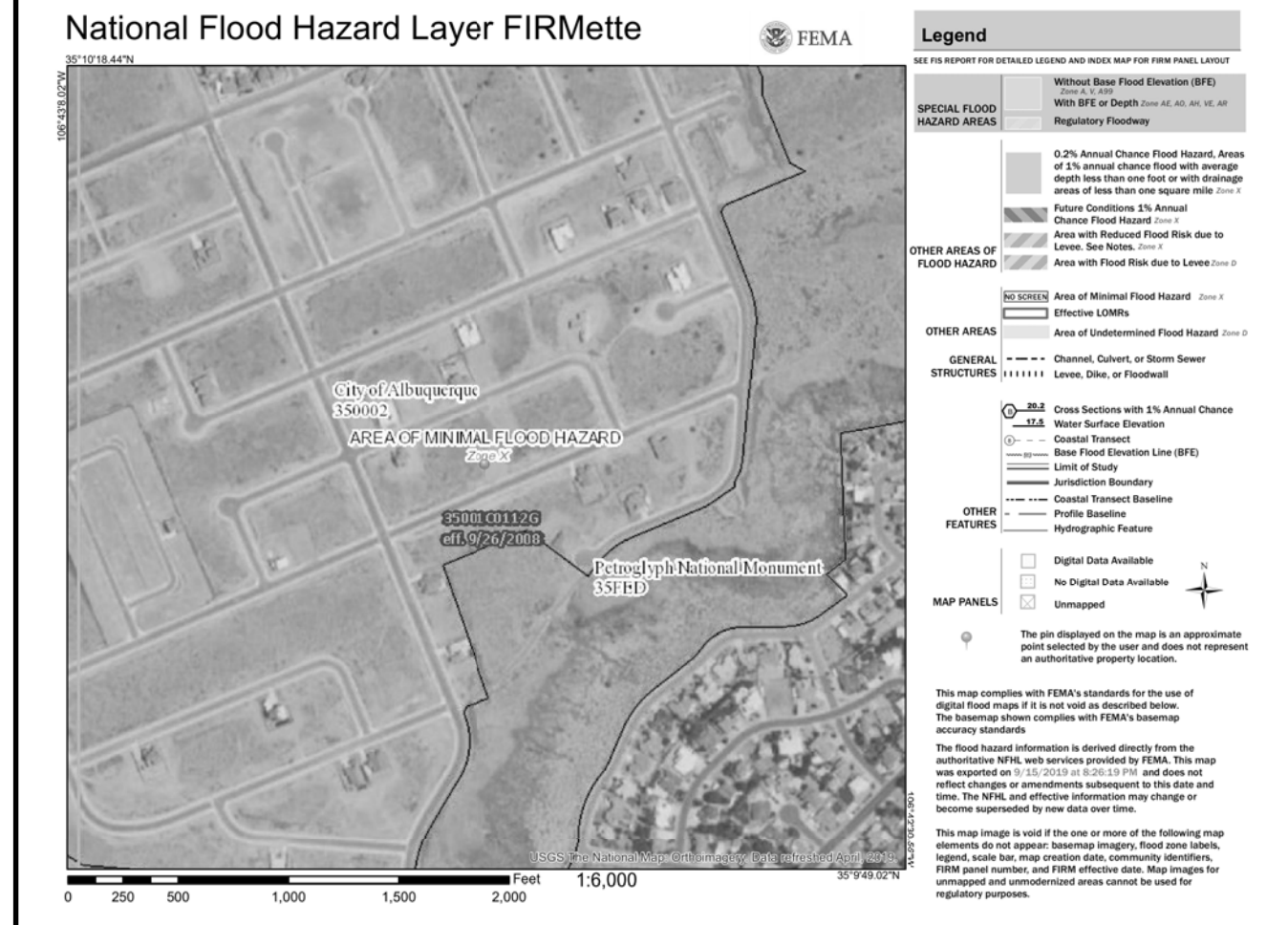


EROSION CONTROL NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.



VICINITY MAP: D-10-Z



FIRM MAP:

LEGAL DESCRIPTION:

LOT 14 BLOCK 9 UNIT 22 VOLCANO CLIFFS SUBDIVISION
 CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

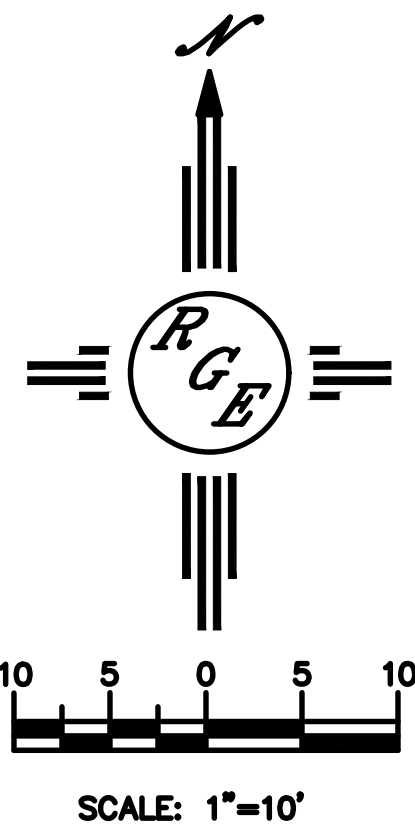
NOTES:

1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
2. ALL SLOPES SHALL BE 3:1 MAX. AND GRAVEL OR NATIVE SEEDING PRIOR TO CO.
3. ANY PERIMETER WALLS MUST BE PERMITTED SEPARATELY. ALL RETAINING WALL DESIGN SHALL BE BY OTHERS.
4. SURVEY INFORMATION PROVIDED BY COMMUNITY SCIENCES CORPORATION USING NAVD DATUM 1988.

LEGEND

---XXXX---	EXISTING CONTOUR
-----XXXX-----	EXISTING INDEX CONTOUR
-----XXXX-----	PROPOSED CONTOUR
-----XXXX-----	PROPOSED INDEX CONTOUR
+XXXX	EXISTING SPOT ELEVATION
●XXXX	PROPOSED SPOT ELEVATION
-----	BOUNDARY
-----	PROPOSED EARTHEN SWALE
-----	ADJACENT BOUNDARY
=====	EXISTING CURB AND GUTTER
-----	PROPOSED RETAINING WALL
-----	PROPOSED CONCRETE DRIVEWAY

CAUTION:
 EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.



ENGINEER'S SEAL	LOT 14 BK 9 U 22 VOLCANO CLIFFS SUB. 6415 PETIRROJO ROAD GRADING AND DRAINAGE PLAN	DRAWN BY DEM
		DATE 6-2-19
6/3/20		SHEET # C1
DAVID SOULE P.E. #14522	1606 CENTRAL AVENUE SE SUITE 201 ALBUQUERQUE, NM 87106 (505) 972-0899	JOB #