



Mayor Timothy M. Keller

February 18, 2022

George T. Rodriguez.
Rodriguez Development Consultant
12800 San Juan NE
Albuquerque, New Mexico 87123

**RE: Lot 10 Block 3 Unit 22, S.A.D. 228
Volcano Cliffs Subdivision
8001 Camino Alderete NW
Grading and Drainage Plan
Engineers Stamp Date 5/19/2021
Rev; 2/1/2022 (D10D003R10)**

PO Box 1293

Mr. Rodriguez

Albuquerque

Based upon the information provided in your submittal received 2/17/2022, this plan cannot be approved for Certificate of Occupancy until the following comments are addressed.

NM 87103

- All ponds need to be in place.

If you have any questions, please contact me at 924-3986 or Rudy Rael at 924-3977.

www.cabq.gov

Sincerely,

Ernest Armijo, P.E.
Principal Engineer, Planning Dept.
Development Review Services



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: MARQUEZ-ARAGON RESIDENCE **Building Permit #:** _____ **Hydrology File #:** _____
DRB#: _____ **EPC#:** _____ **Work Order#:** _____
Legal Description: LOT TEN (10), BLK. THREE (3), VOLCANO CLIFFS, UNIT 22
City Address: 8001 CAMINO ALDERETE N.W., ALBUQ., N.M. 87120
Applicant: THOMAS D. JOHNSTON, N.M.P.E. #17158 **Contact:** GEORGE T. RODRIGUEZ
Address: 12800 SAN JUAN N.E., ALBUQUERQUE, NEW MEXICO, 87123
Phone#: 505-610-0593 **Fax#:** _____ **E-mail:** pawmde@hotmail.com
Other Contact: ST PRICE DESIGN **Contact:** SUSAN PRICE
Address: 2325 CUTLER AVE. N.E., ALBUQUERQUE, NEW MEXICO 87106
Phone#: 505-345-3850 **Fax#:** _____ **E-mail:** susan@stprice.design.com

TYPE OF DEVELOPMENT: _____ **PLAT (# of lots)** ☒ **RESIDENCE** _____ **DRB SITE** _____ **ADMIN SITE** _____

IS THIS A RESUBMITTAL? ☒ **Yes** _____ **No** _____

DEPARTMENT _____ **TRANSPORTATION** ☒ **HYDROLOGY/DRAINAGE** _____

Check all that Apply:

TYPE OF SUBMITTAL:

- ☒ **ENGINEER/ARCHITECT CERTIFICATION**
☐ **PAD CERTIFICATION**
☐ **CONCEPTUAL G & D PLAN**
☐ **GRADING PLAN**
☐ **DRAINAGE REPORT**
☐ **DRAINAGE MASTER PLAN**
☐ **FLOODPLAIN DEVELOPMENT PERMIT APPLIC**
☐ **ELEVATION CERTIFICATE**
☐ **CLOMR/LOMR**
☐ **TRAFFIC CIRCULATION LAYOUT (TCL)**
☐ **TRAFFIC IMPACT STUDY (TIS)**
☐ **STREET LIGHT LAYOUT**
☐ **OTHER (SPECIFY) _____**
☐ **PRE-DESIGN MEETING?**

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☒ **BUILDING PERMIT APPROVAL**
☒ **CERTIFICATE OF OCCUPANCY**
☐ **PRELIMINARY PLAT APPROVAL**
☐ **SITE PLAN FOR SUB'D APPROVAL**
☐ **SITE PLAN FOR BLDG. PERMIT APPROVAL**
☐ **FINAL PLAT APPROVAL**
☐ **SIA/ RELEASE OF FINANCIAL GUARANTEE**
☐ **FOUNDATION PERMIT APPROVAL**
☐ **GRADING PERMIT APPROVAL**
☐ **SO-19 APPROVAL**
☐ **PAVING PERMIT APPROVAL**
☐ **GRADING/ PAD CERTIFICATION**
☐ **WORK ORDER APPROVAL**
☐ **CLOMR/LOMR**
☐ **FLOODPLAIN DEVELOPMENT PERMIT**
☐ **OTHER (SPECIFY) _____**

DATE SUBMITTED: 02-15-2022 **By:** GEORGE T. RODRIGUEZ

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

CAUTION:

EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.

GENERAL NOTES:

1. CONTOUR INTERVAL IS ONE (1) FOOT.
2. ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE STATION No. "14-D10", HAVING AN ELEVATION OF 5322.21, NAVD 1988.
3. UTILITIES SHOWN HEREON ARE IN THE APPROXIMATE LOCATION BASED ONLY ON ABOVE GROUND EVIDENCE FOUND IN THE FILED AND AS-BUILT INFORMATION PROVIDED BY THE CLIENT. UTILITIES SHOWN HEREON, WHETHER INDICATED AS ABANDONED OR NOT, SHALL BE VERIFIED BY OTHERS FOR EXACT LOCATION AND/OR DEPTH PRIOR TO EXCAVATION OR DESIGN CONSIDERATIONS.
4. THIS IS **NOT** A BOUNDARY SURVEY, APPARENT PROPERTY CORNERS AND PROPERTY LINES ARE SHOWN FOR INFORMATION ONLY. BOUNDARY DATA SHOWN IS FROM PREVIOUS SURVEY REFERENCE HEREON.

NOTE(S):

- 1.) PAD CERTIFICATION IS REQUIRED PRIOR TO ISSUANCE OF BUILDING PERMIT.
- 2.) A FINAL INSPECTION BY HYDROLOGY IS REQUIRED BEFORE A CERTIFICATE OF OCCUPANCY IS RELEASED.

GENERAL NOTES:

A CONCRETE WASHOUT BIN MUST BE PROVIDED AS PER CITY OF ALBUQUERQUE MS4 PERMIT REQUIREMENTS.

ALL DISTURBED AREAS DUE TO CONSTRUCTION MUST BE RESEDED OR LANDSCAPED FOLLOWING CONSTRUCTION.

ANY PERIMETER WALLS SHALL BE PERMITTED SEPARATELY AND ALL RETAINING WALL(S) SHALL BE DESIGNED BY OTHERS.

ALL SLOPES SHALL BE 3:1 MAX.

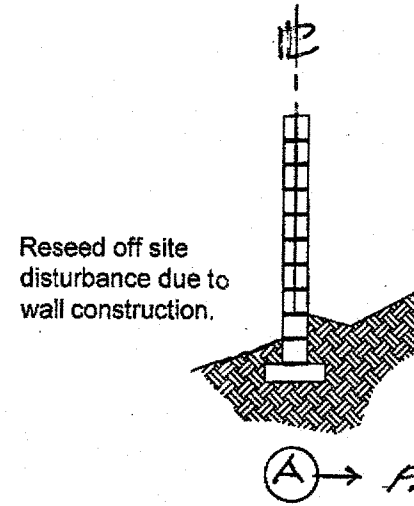
SURVEY INFORMATION PROVIDED BY ANTHONY HARRIS OF HARRIS SURVEYING, ALBUQUERQUE, NEW MEXICO.

EROSION CONTROL NOTES:

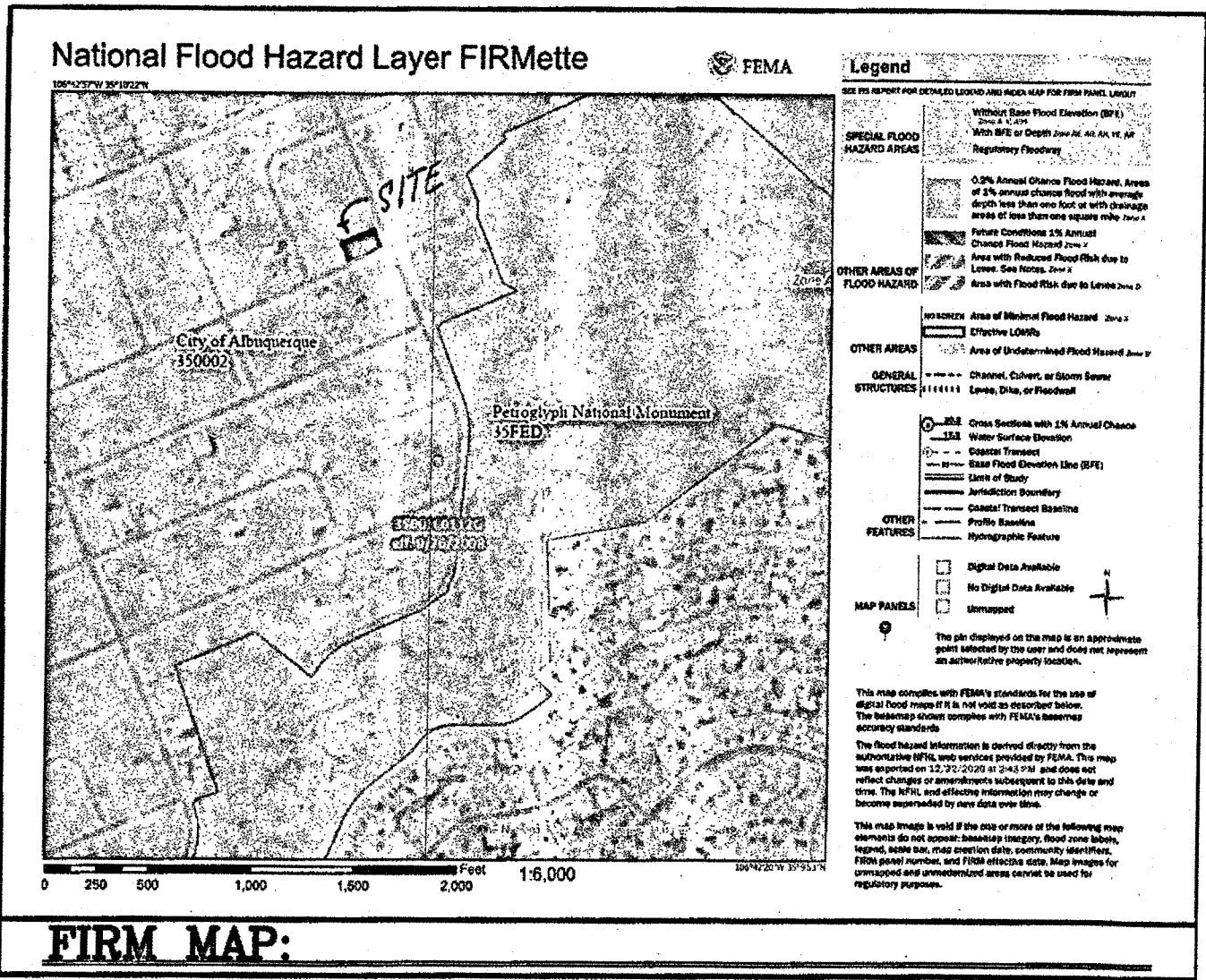
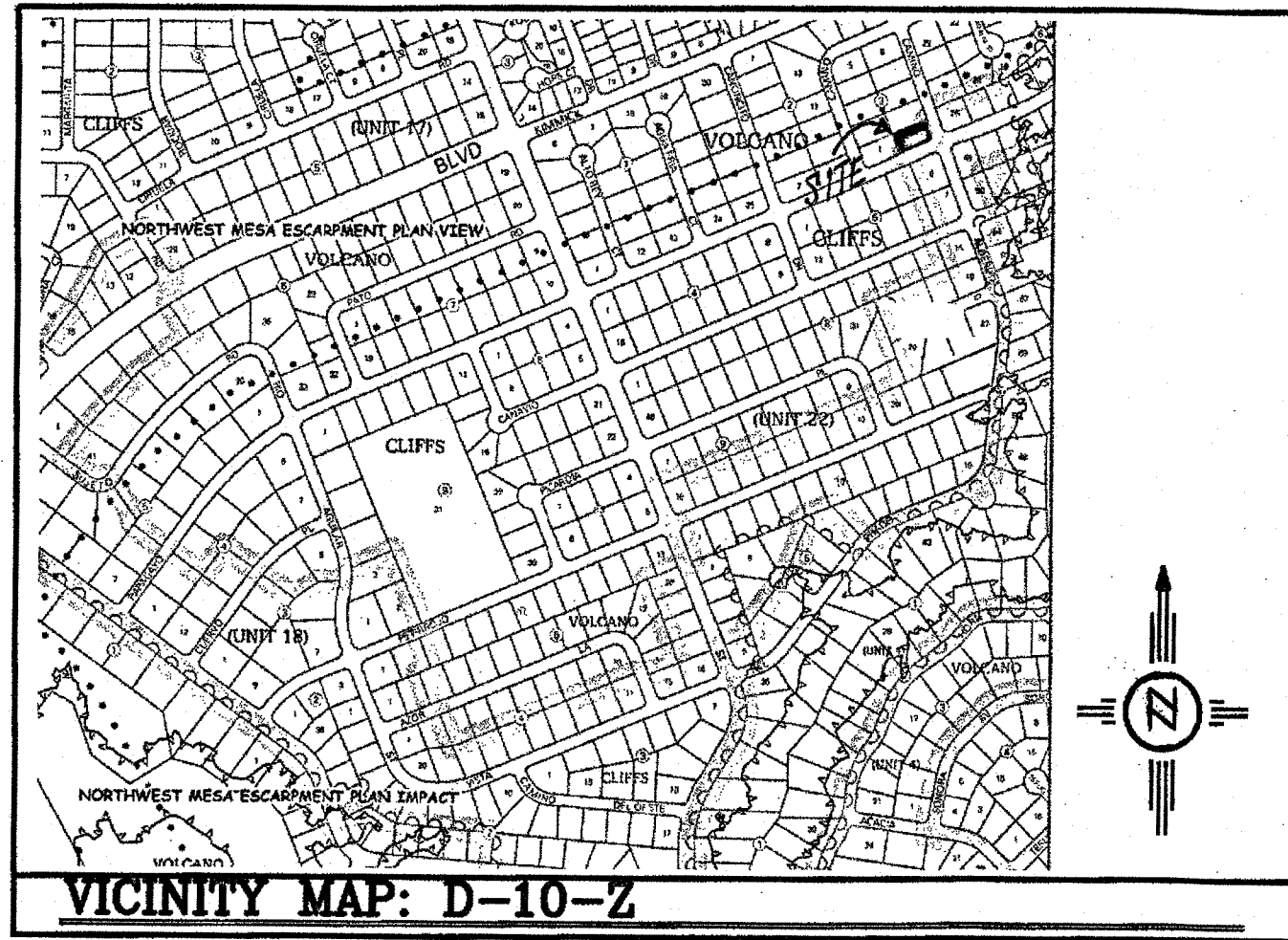
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.

LEGEND

- 5322 — Existing Contour
- — — Design Contour
- ▨▨▨ New 5' CMU Wall
- x 5320.7 Existing Spot Elevation
- + 2265 Proposed Spot Elevation



5' GARDEN WALL DETAIL
NO MORE THAN 24" RETENTION
AT ANY LOCATION

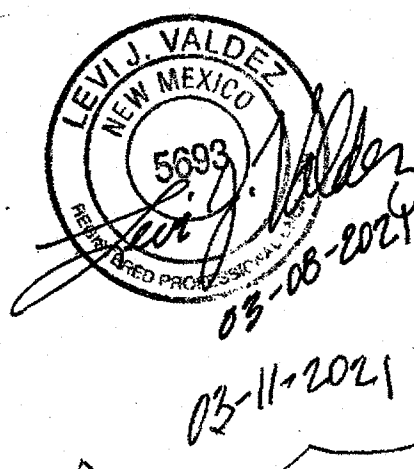


PER FEMA FIRM PANEL NO. 35001C01126, EFFECTIVE : 09-26-2008, THE SUBJECT SITE LIES WITHIN DESIGNATED ZONE 'X', (AREA OF MINIMAL FLOOD HAZARD).

PAD CERTIFICATION :

I, LEVI J. VALDEZ HAVE PERSONALLY INSPECTED THE SUBJECT SITE; I HEREBY CERTIFY THAT THE EXISTING PAD ELEVATION SHOWN ON THE PLAN HEREON IS ONE AND THE SAME THAT IS BEING UTILIZED FOR THE DESIGN FINISH FLOOR ELEVATION OF THE PROPOSED RESIDENCE.

NOTE : CONTRACTOR TO PROVIDE ROOF GUTTERS WITH DOWNSPOUTS DIRECTED TO SPLASH BOXES SO AS TO DISSIPATE FLOW ENERGY THEN DIRECT FLOWS TO WATER HARVESTING / RETENTION PONDS.



NOTE : ELEVATIONS SHOWN THUS "(22.2)" ARE "AS-BUILT" ELEVATIONS.

GRADING AND DRAINAGE PLAN

DRAINAGE COMMENTS :

AS SHOWN ON THE VICINITY MAP HEREON, THE SUBJECT SITE IS LOCATED AT THE NORTHWEST CORNER OF THE INTERSECTION OF CAMINO ALDERETE N.W. AND PAPAGUYO N.W., IN THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, (100 ZONE ATLAS 'D-10-2').

THE SUBJECT SITE IS AN UNDEVELOPED RESIDENTIAL PROPERTY THAT IS TO HAVE A SINGLE FAMILY RESIDENCE CONSTRUCTED THEREON, (THIS GRADING AND DRAINAGE PLAN WAS PREPARED TO SUPPORT A BUILDING PERMIT APPLICATION FOR THE ADDRESS OF 8001 CAMINO ALDERETE N.W.). A REVIEW OF THE CITY HYDROLOGY RECORDS INDICATE DEVELOPMENT OF THIS PROPERTY IS GOVERNED BY THE DRAINAGE REPORT FOR SUD-228 (D10-0003). THIS REPORT INDICATES ALLOWABLE LAND TREATMENT VALUES OF 0% A, 10% B, 40% C, AND 50% D. IF DEVELOPMENT DISCHARGE RATES EXCEED WHAT IS ALLOWABLE USING THESE LAND TREATMENT VALUES, MITIGATION MEASURES WILL BE REQUIRED.

PER THE DEVELOPMENT PROCESS MANUAL FOR THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, HYDROLOGY, CHAPTER 6, ARTICLE 6-2(a.), EFFECTIVE DATE: JUNE 8, 2020.

SITE AREA = 0.31 ACRE
PRECIPITATION ZONE : ONE (1)
"LAND TREATMENT METHOD" FOR CALCULATION OF "Qp"

PRECIPITATION : 360 = 2.17 IN.

EXCESS PRECIPITATION : PEAK DISCHARGE :

TREATMENT A	0.55 IN.	1.54 CFS/AC.
TREATMENT B	0.73 IN.	2.16 CFS/AC.
TREATMENT C	0.95 IN.	2.87 CFS/AC.
TREATMENT D	2.24 IN.	4.12 CFS/AC.

ALLOWABLE CONDITIONS : PROPOSED CONDITIONS :

TREATMENT A	0.00 AC. = 0%	0.00 AC.
TREATMENT B	0.03 AC. = 10%	0.00 AC.
TREATMENT C	0.12 AC. = 40%	0.14 AC.
TREATMENT D	0.15 AC. = 50%	0.17 AC.

ALLOWABLE EXCESS PRECIPITATION :
WEIGHTED "E" = (0.55 X 0.00) + (0.73 X 0.03) + (0.95 X 0.12) + (2.24 X 0.15) / 0.31 = 1.52 IN.
V100-360 = (1.52 X 0.31) / 12 = 0.039 AC. FT. = 1,699.0 CU. FT.

ALLOWABLE PEAK DISCHARGE :
Q100 = (1.54 X 0.00) + (2.16 X 0.03) + (2.87 X 0.12) + (4.12 X 0.15) = 1.02 CFS

PROPOSED EXCESS PRECIPITATION :
WEIGHTED "E" = (0.55 X 0.00) + (0.73 X 0.03) + (0.95 X 0.14) + (2.24 X 0.17) / 0.31 = 1.66 IN.
V100-360 = (1.66 X 0.31) / 12 = 0.043 AC. FT. = 1,873.1 CU. FT.

PROPOSED PEAK DISCHARGE :
Q100 = (1.54 X 0.00) + (2.16 X 0.03) + (2.87 X 0.14) + (4.12 X 0.17) = 1.10 CFS
INCREASE : V100-360 = 174.1 CU. FT. (REQUIRED PONDING = 174.1 CU. FT.)
Q = 0.08 CFS

LEGAL DESCRIPTION : LOT TEN (10), IN BLOCK THREE (3), VOLCANO CLIFFS, UNIT 22, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.

WATER HARVESTING / RETENTION PONDS : (MEAN DIMENSIONS WITH 3:1 SLOPES)

- POND # 1. TOP = 22.65
BOTTOM = 22.30
VOLUME = 122.2 CU. FT.
- POND # 2. TOP = 22.65
BOTTOM = 22.30
VOLUME = 114.2 CU. FT.
- POND # 3. TOP = 22.65
BOTTOM = 22.30
VOLUME = 78.0 CU. FT.

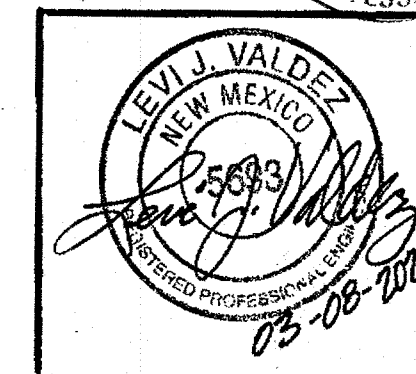
TOTAL VOLUME REQUIRED = 174.1 CU. FT.
TOTAL VOLUME PROVIDED = 314.4 CU. FT.

DRAINAGE CERTIFICATION :

I, THOMAS D. JOHNSTON, N.M.P.E. NO. 17158, DO HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADDED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED MARCH 08, 2021. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY ANTHONY L. HARRIS, N.M.P.S. NO. 11463, OF THE FIRM HARRIS SURVEYING, ALBUQUERQUE, NEW MEXICO. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON JANUARY 26, 2022 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF THE ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

THOMAS D. JOHNSTON, N.M.P.E. NO. 17158



MARQUEZ ARAGON RESIDENCE

8001 CAMINO ALDERETE NW
ALBUQUERQUE, NM 87120
BERNALILLO COUNTY