

CITY OF ALBUQUERQUE

Planning Department
David Campbell, Director



Mayor Timothy M. Keller

July 11, 2018

Richard Dourte, P.E.
RHD Engineering LLC
4305 Purple Sage Ave. NW
Albuquerque, New Mexico 87120

**RE: Lot 3 Block 3 Unit 22 SAD 228
6328 Camino Alto NW
Volcano Cliffs Subdivision
Grading and Drainage Plan
Engineers Stamp Date; 4/30/18 (D10D003R3)
Pad Certification Date; 7/10/18**

Dear Mr. Dourte,

Based upon the information provided in your submittal received 7/10/18, this plan is approved for Building Permit.

Reiterate to the Owner/Contractor that a separate permit for a garden/retaining wall must be obtained, with the approved G&D plan.

Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist of this plan will be required.

If you have any questions, please contact me at 924-3986 or Rudy Rael at 924-3977.

Sincerely,

James D. Hughes, P.E.
Principal Engineer, Hydrology
Planning Department

RR/JDH
C: File D10D003R



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2016)

Project Title: _____ **Building Permit #:** _____ **Hydrology File #:** D10D003R

DRB#: _____ **EPC#:** _____ **Work Order#:** _____

Legal Description: _____

City Address: _____

Applicant: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Other Contact: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

diego.candelariahomes@gmail.com

Check all that Apply:

DEPARTMENT:

☒ HYDROLOGY/ DRAINAGE
☐ TRAFFIC/ TRANSPORTATION

TYPE OF SUBMITTAL:

☐ ENGINEER/ARCHITECT CERTIFICATION

☐ CONCEPTUAL G & D PLAN

☐ GRADING PLAN

☐ DRAINAGE MASTER PLAN

☐ DRAINAGE REPORT

☐ CLOMR/LOMR

☐ TRAFFIC CIRCULATION LAYOUT (TCL)

☐ TRAFFIC IMPACT STUDY (TIS)

☐ OTHER (SPECIFY) _____

☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☒ BUILDING PERMIT APPROVAL

☐ CERTIFICATE OF OCCUPANCY

☐ PRELIMINARY PLAT APPROVAL

☐ SITE PLAN FOR SUB'D APPROVAL

☐ SITE PLAN FOR BLDG. PERMIT APPROVAL

☐ FINAL PLAT APPROVAL

☐ SIA/ RELEASE OF FINANCIAL GUARANTEE

☐ FOUNDATION PERMIT APPROVAL

☐ GRADING PERMIT APPROVAL

☐ SO-19 APPROVAL

☐ PAVING PERMIT APPROVAL

☐ ~~GRADING~~/ PAD CERTIFICATION

☐ WORK ORDER APPROVAL

☐ CLOMR/LOMR

☐ OTHER (SPECIFY) _____

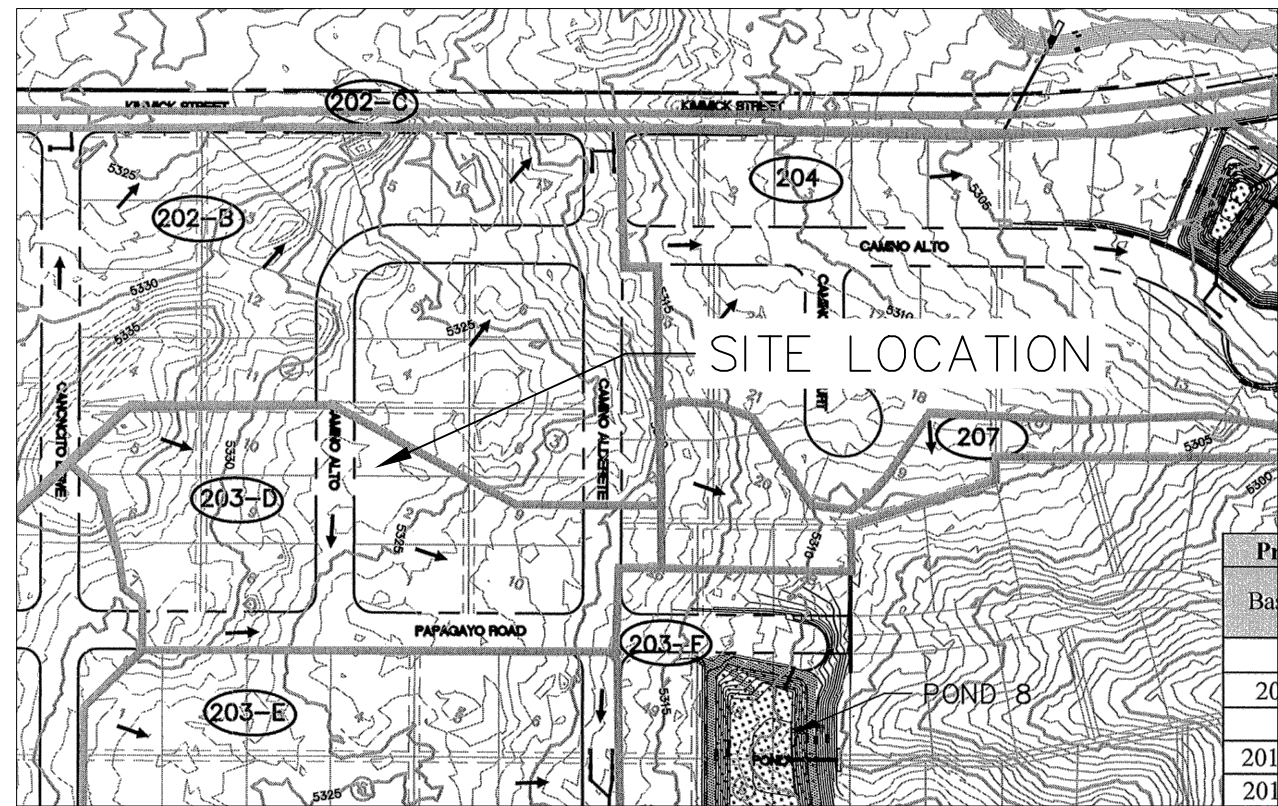
IS THIS A RESUBMITTAL?: ☐ Yes ☐ No

DATE SUBMITTED: _____ By: _____

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____



EXCERPT FROM SAD 228 DRAINAGE REPORT

Project: 6328 CAMINO ALTO NW
Drainage Calculations - Zone 1

Total Lot Area (ac) = 0.3099

Zone	P60	P360	P1440	P4days	P10days
1	1.87	2.20	2.66	3.12	3.67

Weighted E= $((E^A \cdot A^A) + (E^B \cdot A^B) + (E^C \cdot A^C) + (E^D \cdot A^D)) / (A^A + A^B + A^C + A^D)$
V360=(Weighted E *P360)/12 in/ft
V1440= V360+Ad*(P1440-P360)/12in/ft
V4days=V360+Ad*(P4day-P360)/12in/ft
V10days=V360+Ad*(P10days-P360)/12in/ft

Excess Precipitation, E(inches) - 6 HR				
Zone	Treatment			
1	A	B	D	
1	0.44	0.67	0.99	1.97

Peak Discharge (CFS/ACRE) 100 YR

Zone	Treatment			
1	A	B	C	D
1	1.29	2.03	2.87	4.37

*****SAD 228 Permittable Design Conditions*****

Area	SQ. FT	Acres
(0%)A=	0	0.000
(10%)B=	1350	0.031
(40%)C=	5400	0.124
(50%)D=	6750	0.155
Total	13500	0.310
Weighted E=	1.448	

	V360	V1440	V4days	V10days
Cubic feet	1629.0	1887.7	2146.5	2455.8
Acre-ft	0.04	0.04	0.05	0.06

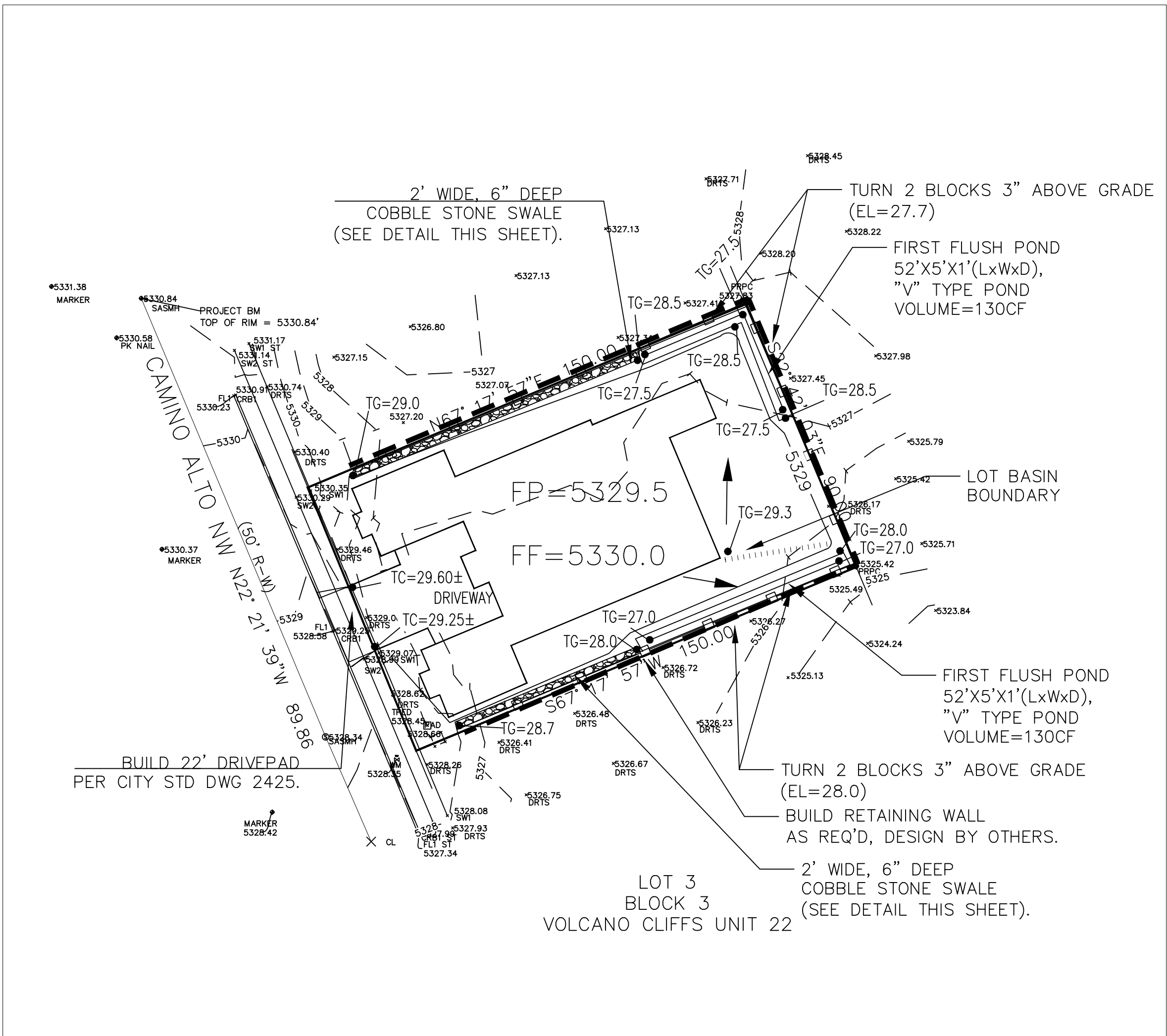
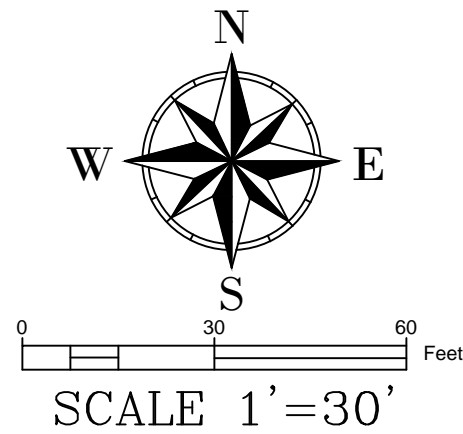
*****PROPOSED CONDITIONS*****

Area	SQ. FT	Acres
A=	0	0.000
B=	1350	0.031
C=	5570	0.128
D=	6580	0.151
Total	13500	0.310
Weighted E=	1.436	

	V360	V1440	V4days	V10days
Cubic feet	1615.1	1867.4	2119.6	2421.2
Acre-ft	0.04	0.04	0.05	0.06

The 100 year peak flows for this developed site is 1.09 CFS and the SAD 228 permissible design flows are 1.1 CFS for an increase of -0.01 CFS.

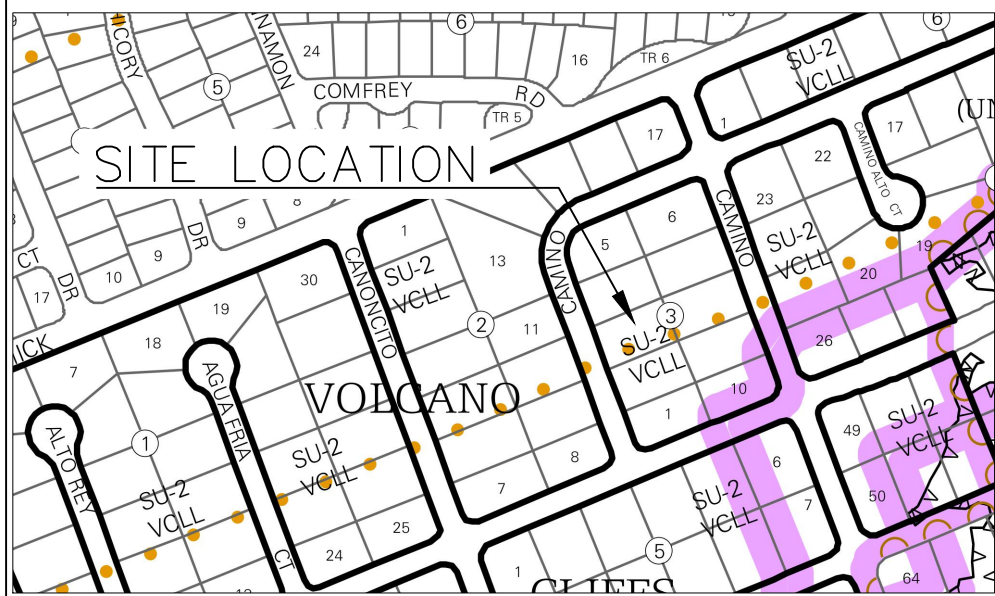
First Flush Ponding Requirement = $A^D \cdot 0.46 \text{ in}/12 \text{ in/ft} = 252 \text{ CF}$



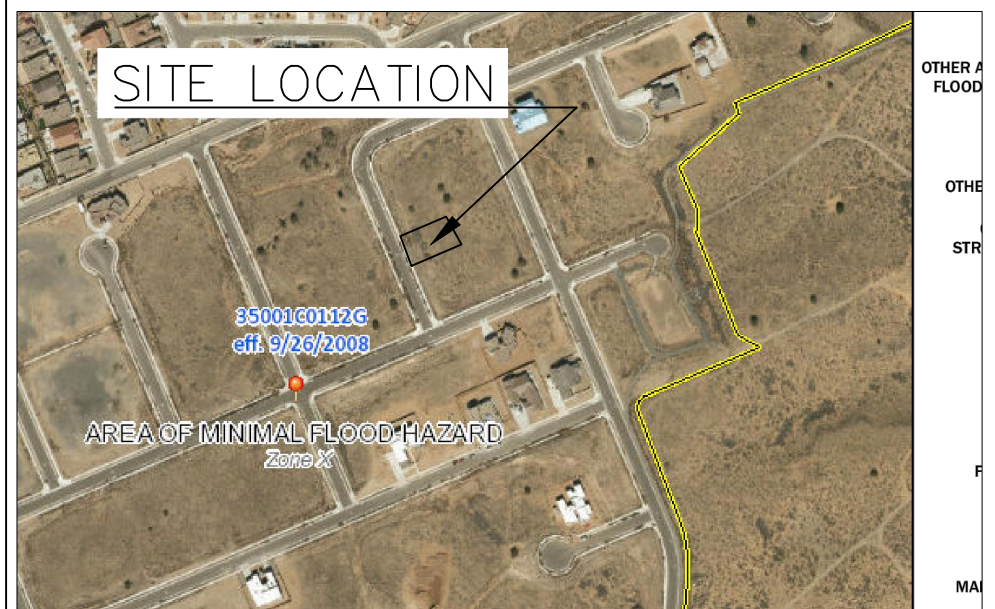
EROSION CONTROL NOTES:

- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
- REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.

CAUTION:
EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.



VICINITY MAP: D10-Z



FIRM MAP: 35001C00112G

LEGAL DESCRIPTION:

LOT 3, BLOCK 3, VOLCANO CLIFFS UNIT 22
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO

NOTES:

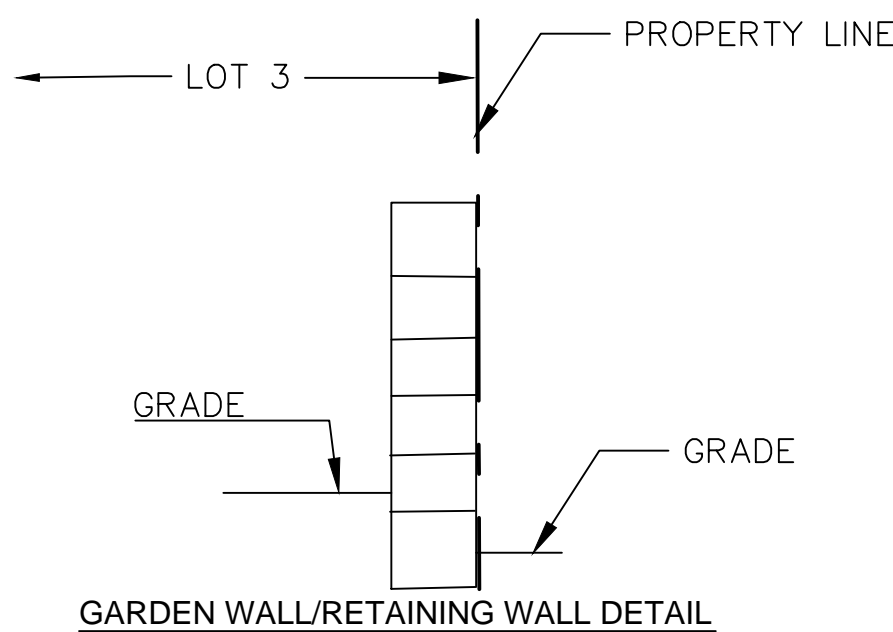
- ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
- RETAIN THE FIRST .46" OF STORM RUNOFF FROM ENTIRE DEVELOPMENT TO CONFORM TO THE WATER QUALITY REQUIREMENTS

LEGEND

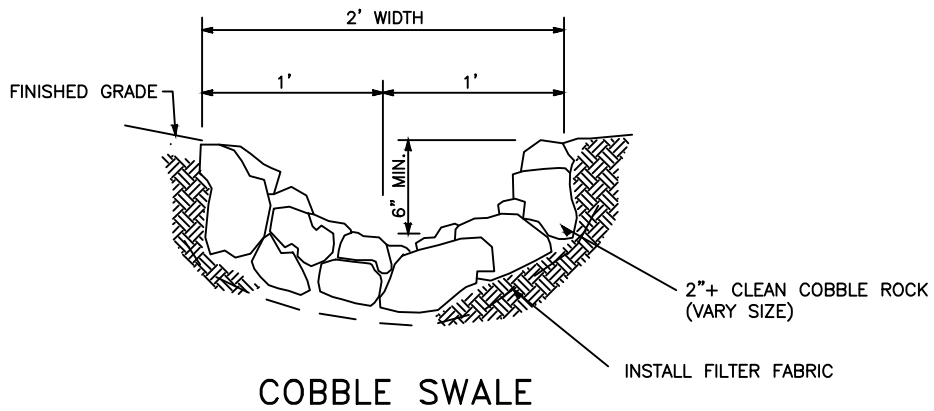
TC=46.00 FL=46.00	PROPOSED SPOT ELEVATION
TW=44.00	TOP OF WALL ELEVATION
-----5601-----	EXISTING CONTOUR
-----5600-----	EXISTING INDEX CONTOUR
-----5601-----	PROPOSED CONTOUR
-----5600-----	PROPOSED INDEX CONTOUR
-----	LOT LINE
---	RIGHT-OF-WAY
-----	PROPOSED RETAINING WALL (DESIGN BY OTHERS)
---	PROPOSED WALL
-----	EXISTING CURB AND GUTTER
-----	PROPOSED EDGE OF CONCRETE
-----	PROPOSED FLOWLINE
-----	EXISTING WALL
-----	PROPOSED BASIN BOUNDARY

DRAINAGE NARRATIVE:

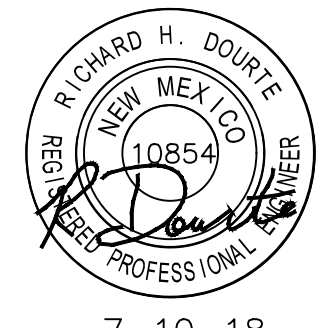
- THIS SITE IS LOCATED WITHIN THE SAD 228 DRAINAGE MASTER PLAN AREA.
- A DRAINAGE BASIN BOUNDARY IS LOCATED ON THIS SITE. APPROXIMATELY 1/2 OF THIS SITE IS TO DRAIN TO THE NORTHWEST AND THE OTHER PORTION IS TO DRAIN TO THE SOUTHEAST.
- THE VOLUMES OF THE FIRST FLUSH PONDS ARE 130CF +130CF=260CF, THIS IS GREATER THAN THE REQUIRED PONDING OF 252CF.



- ANY GARDEN WALL/RETAINING WALL IS TO BE BUILT ON-SITE (DESIGN OF THE GARDEN WALL/RETAINING WALL IS BY OTHERS).
- A PERMIT IS REQUIRED FOR THE CONSTRUCTION OF THE RETAINING WALL AND ANY FUTURE GARDEN WALL. THIS IS THE PLAN TO FOLLOW (4-30-18) WHEN APPLYING FOR A PERIMETER BLOCK WALL.



I, Richard Dourte have personally inspect this site. I hereby certify that the pad has been constructed in sustantial compliance with the approved grading and drainage plan stamp dated 4-30-18.



I HAVE PERSONALLY INSPECTED THE PROPERTY ON 4-12-18. NO EARTHWORK HAS BEEN PERFORMED AND THE SITE IS CONSISTENT WITH THE TOPO SHOWN.
Richard Dourte
Richard Dourte P.E. #10854

ENGINEER'S SEAL	Title 6328 CAMINO ALTO NW	DRAWN BY
	GRADING AND DRAINAGE PLAN	DATE
4/30/18	<i>RHD Engineering, LLC</i> 4305 Purple Sage Ave. NW ALBUQUERQUE, NM 87120 (505) 288-1621	SHEET # 1 of 1
Richard Dourte P.E. #10854		JOB #