

CITY OF ALBUQUERQUE

Planning Department
Suzanne Lubar, Director



Mayor Richard J. Berry

May 10, 2016

Steve Metro, P.E.
Metro Development Inc.
8860 Desert Finch Ln NE
Albuquerque, New Mexico 87122

RE: **Volcano Cliffs Subdivision Lot 17 Block 4 Unit 19**
6531 Vista Del Prado NW
Grading and Drainage Plan
Engineers Stamp Date 5/5/16 (D10D003T17)

Dear Mr. Metro,

Based upon the information provided in your submittal received 5/5/16, this plan is approved for Grading Permit and Building Permit.

Please attach a copy of this approved plan to the construction sets in the permitting process prior to sign-off by Hydrology. Also, please advise the owner/contractor that a separate wall permit must be obtained and this approved grading plan dated 5/5/16 must be provided with the wall permit application

Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

If you have any questions, please contact me at 924-3986 or Rudy Rael at 924-3977.

Sincerely,

Abiel Carrillo, P.E.
Principal Engineer, Hydrology
Planning Department

RR/AC
C: File



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09 2015)

Project Title: 6531 VISTA DEL PRADO, NW Building Permit #: _____ City Drainage #: _____
 DRB#: _____ EPC#: _____ Work Order#: _____
 Legal Description: Lot 17, Block 4, Unit 19 Volcano Cliffs Subdivision
 City Address: 6531 VISTA DEL PRADO, NW
 Engineering Firm: Metro Development, Inc. Contact: Steve Metro
 Address: 8860 Desert Finch Lane Albuquerque, NM
 Phone#: 505-280-4553 Fax#: _____ E-mail: metro.metrodevelopment@aol.com
 Owner: ABRAZO Homes Contact: Mackenzie Bishop
 Address: P.O. Box 65808, ABQ, NM
 Phone#: 505-249-0915 Fax#: _____ E-mail: mackenzie@abrazohomes.com
 Architect: _____ Contact: _____
 Address: _____
 Phone#: _____ Fax#: _____ E-mail: _____
 Other Contact: _____ Contact: _____
 Address: _____
 Phone#: _____ Fax#: _____ E-mail: _____

Check all that Apply:

DEPARTMENT:

- ☒ HYDROLOGY/ DRAINAGE
☐ TRAFFIC/ TRANSPORTATION
☐ MS-4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ ARCHITECT CERTIFICATION
☐ CONCEPTUAL G & D PLAN
☒ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
☐ OTHER (SPECIFY) _____

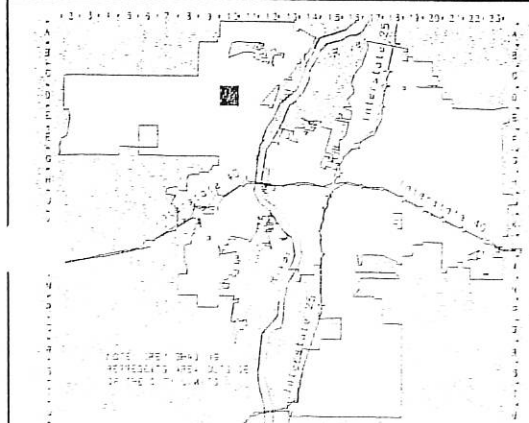
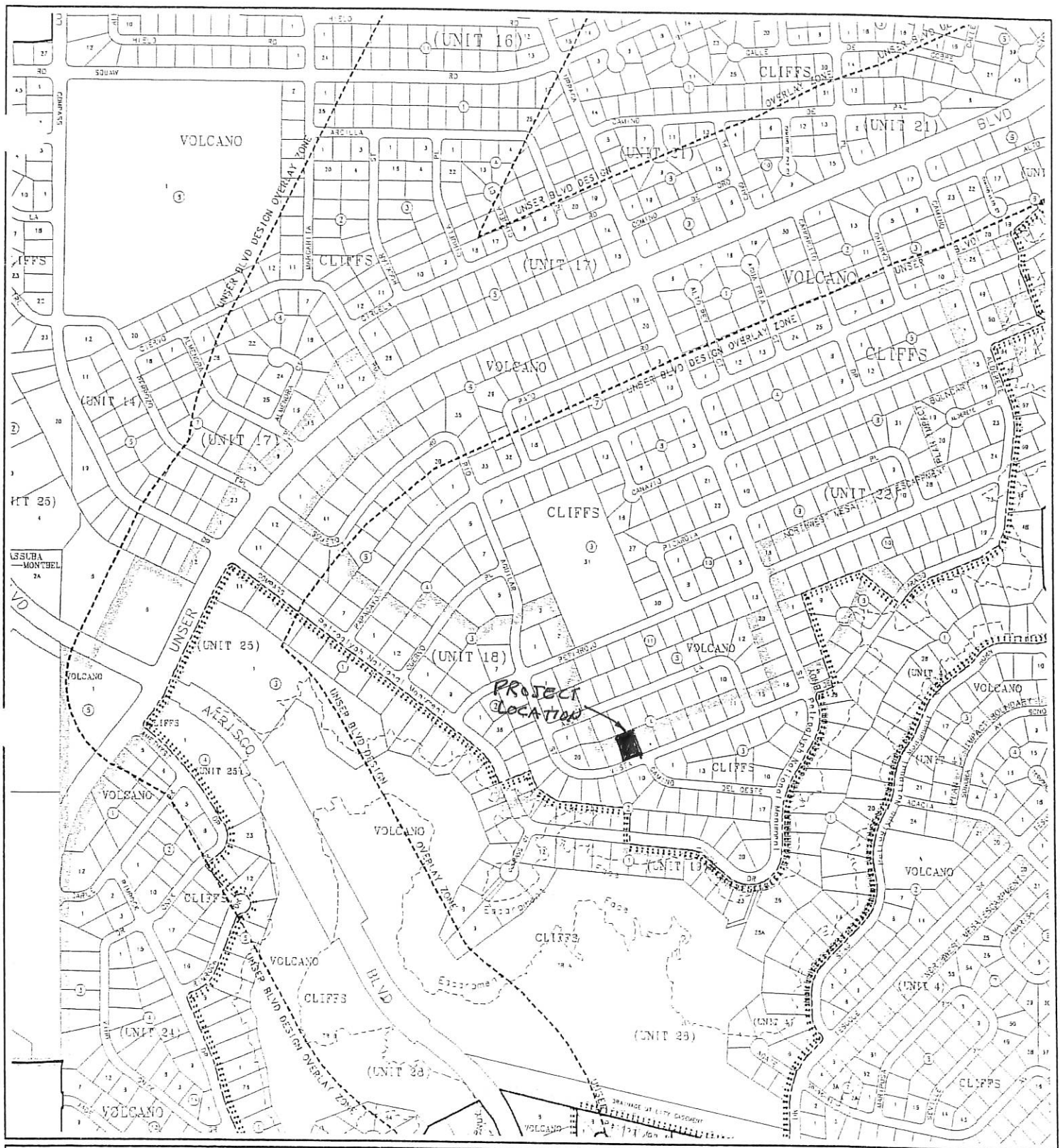
CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY
☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR
☐ PRE-DESIGN MEETING
☐ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: ☐ Yes ☒ No

DATE SUBMITTED: 5-5-16 By: Steve Metro

COA STAFF: _____ ELECTRONIC SUBMITTAL RECEIVED _____



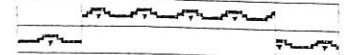
CITY OF
Albuquerque

A G I S
PLANNING DEPARTMENT

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GRAPHIC SCALE IN FEET

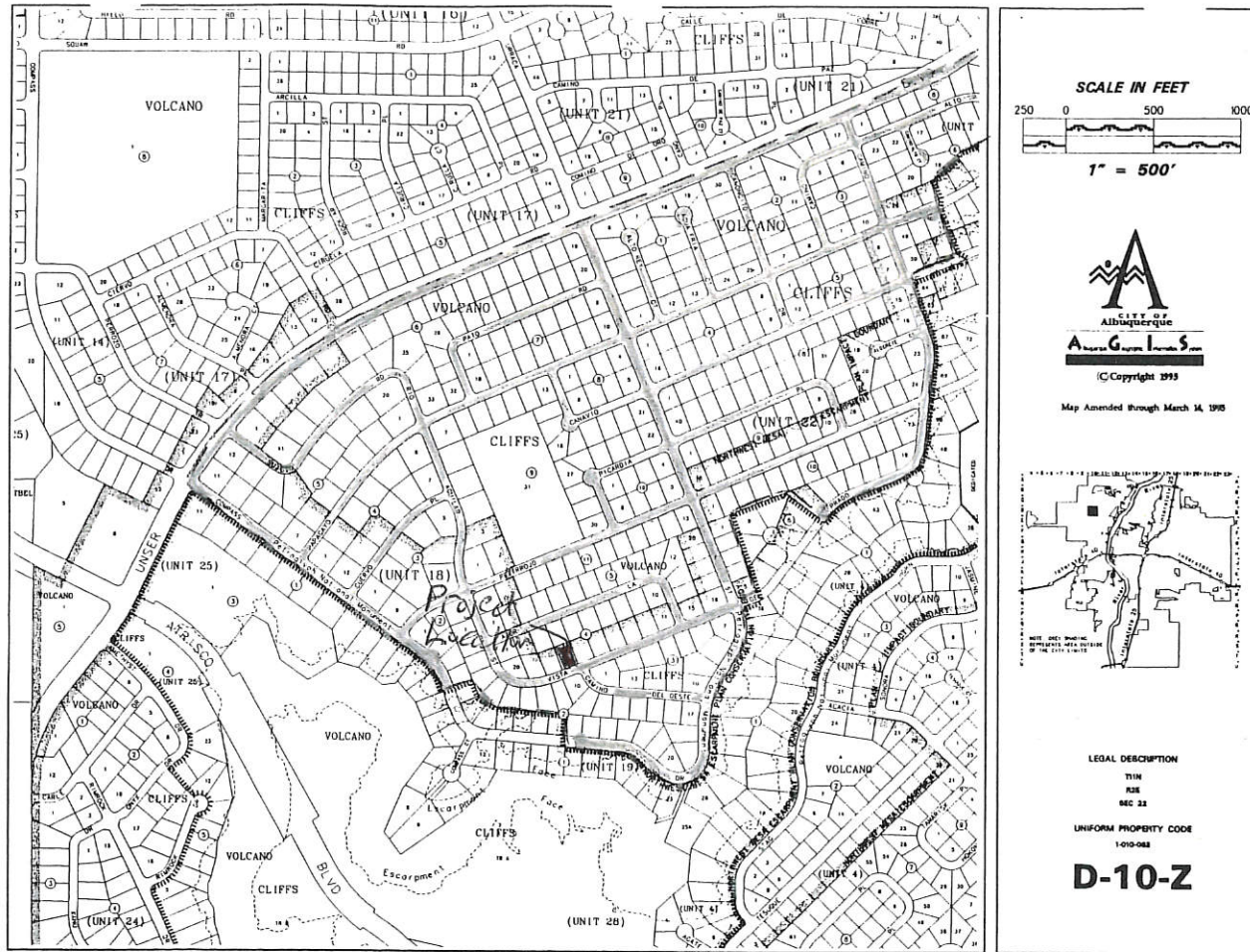
250 0 750 1000



Zone Atlas Page

D-10-Z

Map Amended through January 21, 2003



VICINITY MAP

Narrative

Grading and Drainage Plan for the construction of the building pad for Lot 17, Block 4, Unit 19, Volcano Cliff S Subdivision, being a part of SAD 228.

Address: 6531 Vista del Prado, NW Albuquerque, NM

Purpose of this Plan is to establish the first floor elevation, house layout, lot drainage including offsite flows.

First Flush per EPA Standards

The Initial First Flush to be managed is 0.44" less 0.10" initial impervious abstraction = 0.34" or 400 cubic feet. The initial storage on site will be collected and held in the two landscape ponds near the street as shown on the Plan.

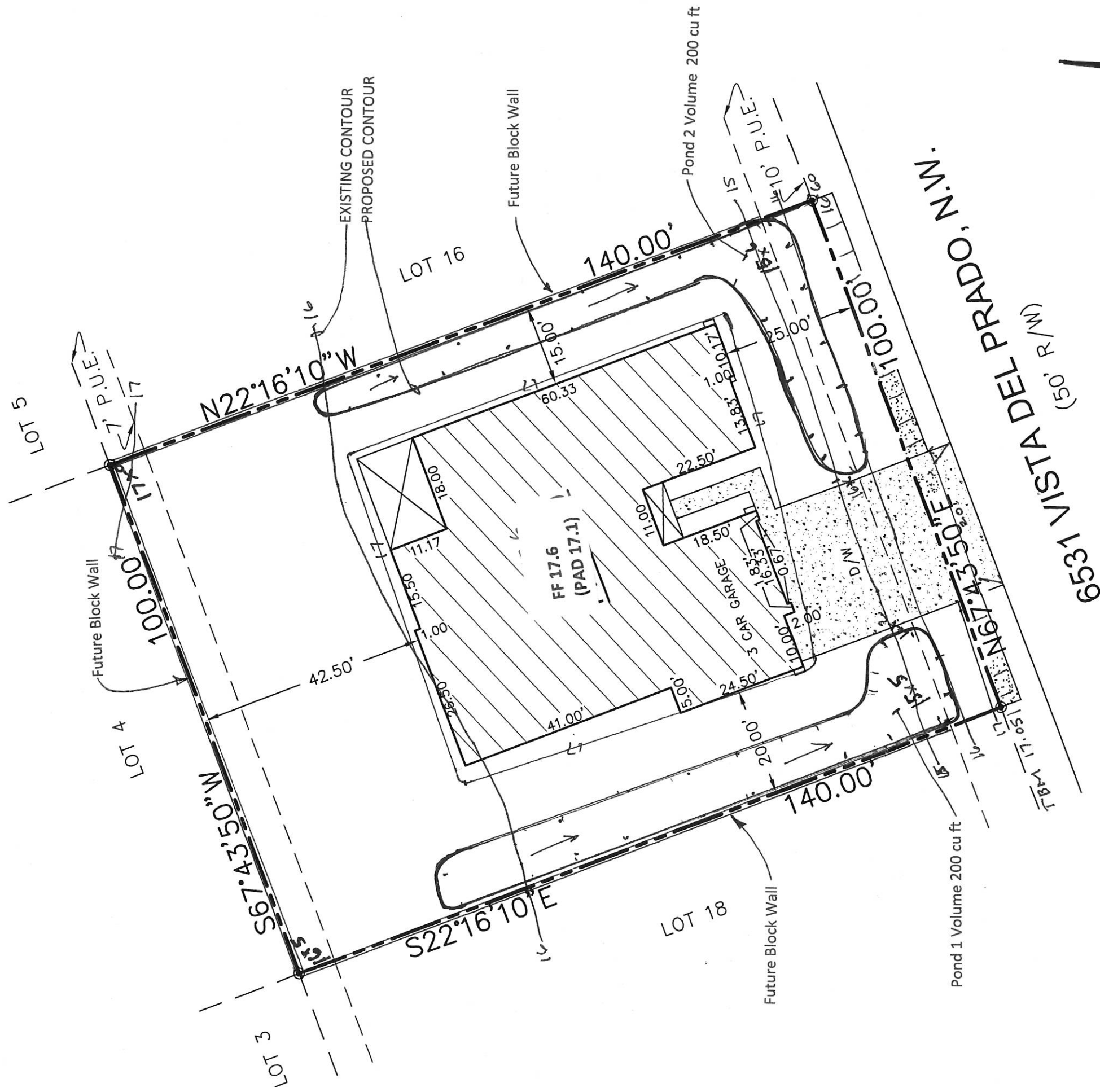


FEMA MAP

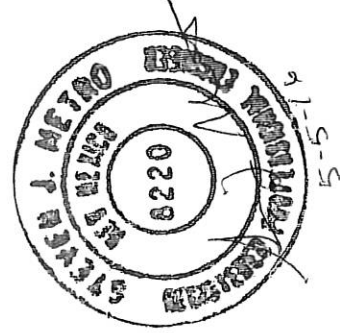


METRO
Development, Inc.
8860 Desert Finch Ln NE
Albuquerque, NM 87122
(505) 280-4553

GRADING AND DRAINAGE PLAN
LOT 17, BLOCK 4, UNIT 19, VCS
ADDRESS: 6531 Vista del Prado, NW



1"=20'



<u>LOT 17, BLOCK 4,</u> <u>UNIT 19 VCS</u>	<u>AREA LOT SF</u>	<u>%</u>	<u>SAD 228</u>		<u>Q100 CFS</u>	<u>TOTAL</u>	<u>SAD 228</u>
			<u>DMP %</u>	<u>/ ACRE</u>	<u>PROP</u>	<u>DMP</u>	
TYPE D	4,700	34%	50	4.37	0.47	0.70	
TYPE C	7,900	56%	40	2.87	0.52	0.37	
TYPE B	<u>1,400</u>	<u>10%</u>	<u>10</u>	2.03	<u>0.07</u>	<u>0.07</u>	
	14,000	100%	100		1.06	1.14	

PREPARED BY STEVEN J. METRO, PE AND PS

GRADING & DRAINAGE PLAN
6531 Vista del Prado, NW
LOT 17, BLOCK 4, UNIT 19 VCS
Sheet 2 of 2