CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director

Mayor Timothy M. Keller

3/11/2025

David Soule, P.E.
Rio Grande Engineering
PO Box 93924
Albuquerque, New Mexico 87199

RE: **Lot 5 Block 4 Volcano Cliffs Unit 19 SAD 228**
6540 Azor Ln. NW
Grading and Drainage Plan
Engineers Stamp Date 2/6/2024 (D10D003T5)
Pad Certification Date 2/25/2025

Mr. Soule,

Based upon the information provided in your submittal received 3/10/2025, this plan is approved for building permit.

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

Please inform the builder/owner to attach a copy of this approved plan and this letter to the construction sets in the permitting process prior to sign-off by Hydrology.

Reiterate to the Owner/Contractor that a separate permit for a garden/retaining wall must be obtained, with the approved G&D plan and Pad Certification. **Advise the owner & Contractor that dirt is not allowed in the public right of way to climb the curb. Crusher fines or lumber is allowed. If dirt is used this will delay going forward with the construction of the home.**

Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist of this plan will be required.

If you have any questions, please contact me at 924-3695 or Rudy Rael at 924-3977.

Sincerely,

Tiequan Chen, P.E.
Principal Engineer, Hydrology
Planning Department, Development Review Services

RR/TC
File D10D003T5

Weighted E Method

Basin	Area (sf)	Area (acres)	Treatment A %	Treatment A (acres)	Treatment B %	Treatment B (acres)	Treatment C %	Treatment C (acres)	Treatment D %	Treatment D (acres)	100-Year, 6-hr. Weighted E (ac-ft)	Volume (ac-ft)	Flow cfs	24 hour Volume (ac-ft)
ALLOWED	14002.00	0.321	0%	0	24%	0.077	40%	0.1286	36%	0.116	1.362	0.036	1.01	0.044
PROPOSED	14002.00	0.321	0%	0	22%	0.071	29%	0.0932	49%	0.158	1.534	0.041	1.07	0.052
COMPARISON												0.005		0.007

Equations:

Weighted E = Ea*Aa + Eb*Ab + Ec*Ac + Ed*Ad / (Total Area)

Volume = Weighted D * Total Area

Flow = Qa * Aa + Qb * Ab + Qc * Ac + Qd * Ad

Where for 100-year, 6-hour storm- zone 1

Ea= 0.55 Qa= 1.54
Eb= 0.73 Qb= 2.16
Ec= 0.95 Qc= 2.87
Ed= 2.24 Qd= 4.12

ONSITE Conditons
FIRST FLUSH WATER QUALITY VOLUME

	REQUIRED (CF)	PROVIDED (CF)
WATER QUALITY	0	333
FLOOD CONTROL	322	333

Narrative

This site is within the SAD 227Master Drainage plan boundaries. The site is to maintain existing patterns and drain to the adjacent roadway to the south per the master drainage plan. The site does exceed the SAD 227 developed conditions assumptions, therefore ponding OF 191 CF is required. Due to hight restrictions we have incorporated ponding to minimize the pad height as much as possible. We are ponding the water harvest volume generated by the site. All building generated water drains to street. This plan is in conformance to the master drainage plan

City of Albuquerque
Planning Department
Development Review Services
HYDROLOGY SECTION
APPROVED

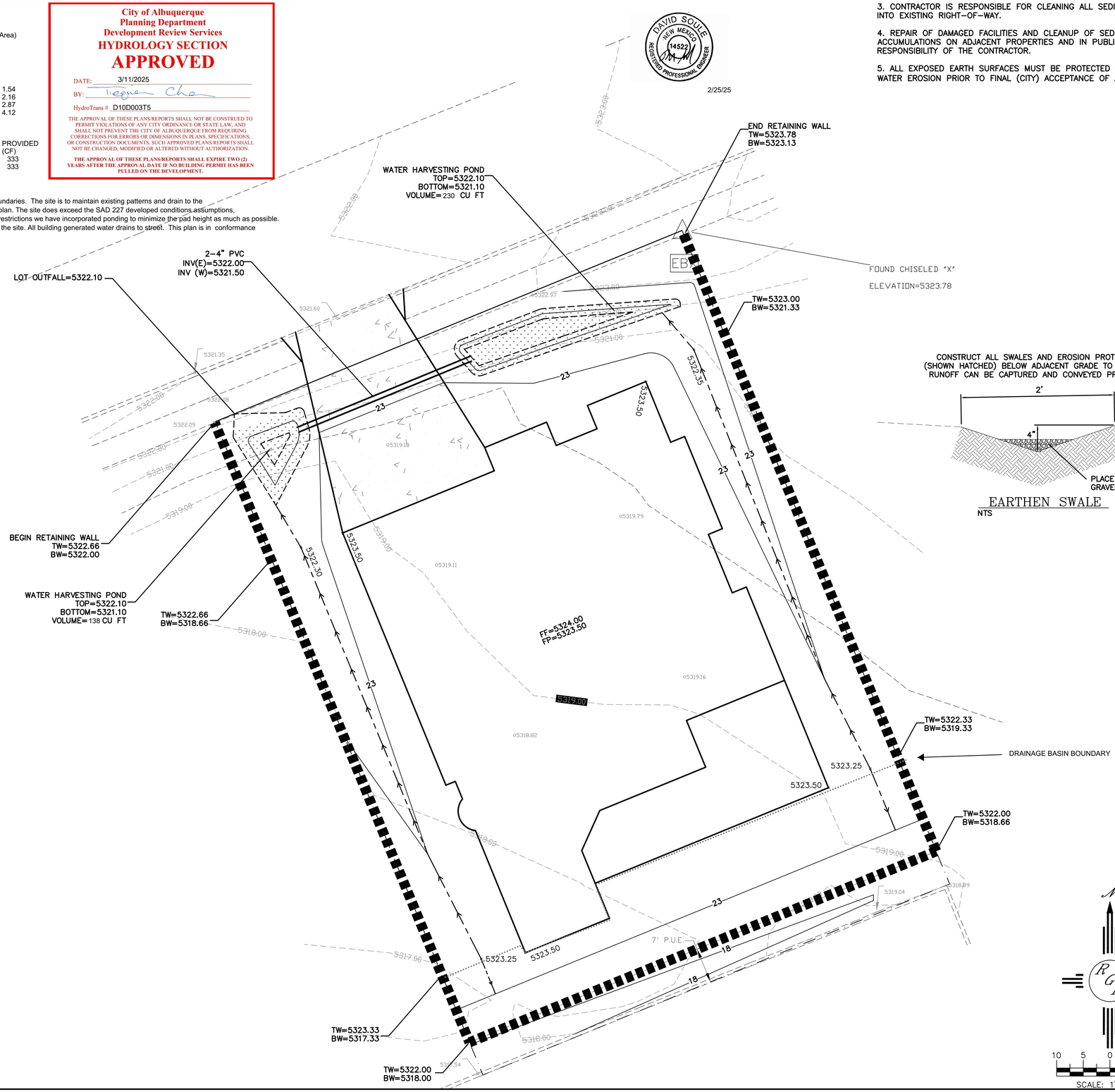
DATE: 3/11/2025
BY: Vaqueh Cha
HydroTrans # D10D003T5

THE APPROVAL OF THESE PLANS/REPORTS SHALL NOT BE CONSTRUED TO PERMIT VIOLATIONS OF ANY CITY ORDINANCE OR STATE LAW, AND SHALL NOT PREVENT THE CITY OF ALBUQUERQUE FROM REQUIRING CORRECTIONS FOR ERRORS OR DIMENSIONS IN PLANS, SPECIFICATIONS, OR CONSTRUCTION DOCUMENTS. SUCH APPROVED PLANS/REPORTS SHALL NOT BE CHANGED, MODIFIED OR ALTERED WITHOUT AUTHORIZATION.

THE APPROVAL OF THESE PLANS/REPORTS SHALL EXPIRE TWO (2) YEARS AFTER THE APPROVAL DATE IF NO BUILDING PERMIT HAS BEEN PULLED ON THE DEVELOPMENT.

I, DAVID SOULE HAVE PERSONALLY INPECTED THE SITE. I HEREBY CERTIFY THE PAD HAS BEEN CONSTRUCTED SUCH THAT IT IS IN SUBSTANTIAL CONFORMANCE TO THE APPROVED GRADING PLAN DATED 2/26/24

DAVID SOULE NEW MEXICO 14522 REGISTERED PROFESSIONAL ENGINEER
2/25/25



CONSTRUCT ALL SWALES AND EROSION PROTECTION (SHOWN HATCHED) BELOW ADJACENT GRADE TO ENDSURE RUNOFF CAN BE CAPTURED AND CONVEYED PROPERLY.

EARTHEN SWALE
NTS

EROSION CONTROL NOTES:

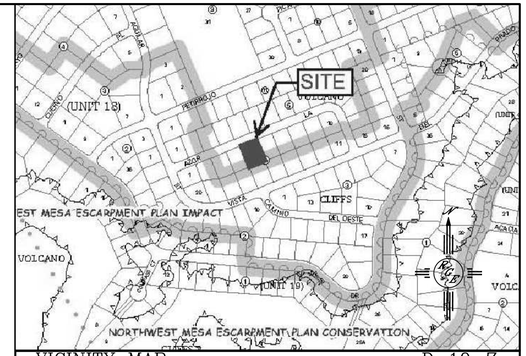
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.

2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.

3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.

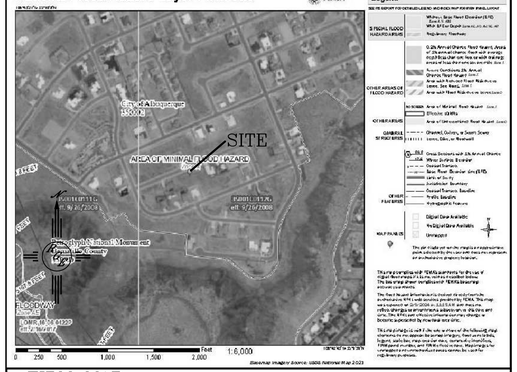
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.

5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.



VICINITY MAP: D-10-Z

National Flood Hazard Layer FIRMette



FIRM MAP:

LEGAL DESCRIPTION:

LOT 5 , BLOCK 4, VOLCANO CLIFFS SUBDIVISION UNIT 19

NOTES:

1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.

2. ALL SLOPES SHALL BE 3:1 MAX. AND GRAVEL OR NATIVE SEEDING PRIOR TO CO.

3. ANY PERIMETER WALLS MUST BE PERMITTED SEPARATELY ALL RETAINING WALL DESIGN SHALL BE BY OTHERS.

4. SURVEY INFORMATION PROVIDED BY DYNAMIC CONSTRUCTION AND SURVEYING LLC USING NAVD DATUM 1988.

LEGEND

- EXISTING CONTOUR
- EXISTING INDEX CONTOUR
- PROPOSED CONTOUR
- PROPOSED INDEX CONTOUR
- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- BOUNDARY
- PROPOSED RETAINING WALL
- EXISTING CURB AND GUTTER
- PROPOSED EARTHEN SWALE
- PROPOSED CONCRETE
- PROPOSED PONDING
- PROPOSED GRAVEL

ENGINEER'S SEAL	6540 AZOR	DRAWN BY WCWJ
DAVID SOULE NEW MEXICO 14522 REGISTERED PROFESSIONAL ENGINEER	GRADING AND DRAINAGE PLAN	DATE 2-05-24
2/6/24		20240005-LAYOUT-2-05-24
P.E. #14522 DAVID SOULE	Rio Grande Engineering PO BOX 93924 ALBUQUERQUE, NM 87199 (505) 321-9099	SHEET # —
		JOB # 20240005