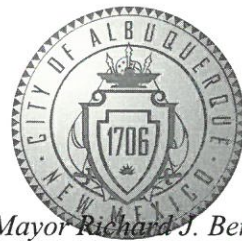


CITY OF ALBUQUERQUE

Planning Department
Suzanne Lubar, Director



Mayor ~~Richard J. Berry~~

October 19, 2017

David Soule, P.E.
Rio Grande Engineering
PO Box 93924
Albuquerque, New Mexico 87199

RE: **Lot 9 Block 4, Volcano Cliffs Unit 19, SAD 228**
6524 Azor Lane NW
Grading and Drainage Plan
Engineers Stamp Date 10/18/17 (D10D003T9)

Dear Mr. Soule,

Based upon the information provided in your submittal received 10/19/17, this plan is approved for Grading Permit.

PO Box 1293

Prior to Building permit approval a Pad Certification will be required, provided by the Engineer or a registered Land Surveyor.

Albuquerque

Please inform the builder/owner to attach a copy of this approved plan and letter to the construction sets in the permitting process prior to sign-off by Hydrology.

NM 87103

Reiterate to the Owner/Contractor that a separate permit for a garden/retaining wall must be obtained, with the approved G&D plan dated 10/9/17.

www.cabq.gov

Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist of this plan will be required.

If you have any questions, please contact me at 924-3695 or Rudy Rael at 924-3977.

Sincerely,

Dana Peterson, P.E.
Senior Engineer, Hydrology
Planning Department

RR/DP
C: File



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: 6524 AZOR LANE **Building Permit #:** _____ **City Drainage #:** _____
DRB#: _____ **EPC#:** _____ **Work Order#:** _____
Legal Description: lot 9 block 4 volcano cliffs UNIT 19
City Address: 6524 AZOR LANE

Engineering Firm: RIO GRANDE ENGINEERING **Contact:** DAVID SOULE
Address: PO BOX 93924, ALBUQUERQUE, NM 87199
Phone#: 505.321.9099 **Fax#:** 505.872.0999 **E-mail:** DAVID@RIOGRANDEENGINEERING.COM

Owner: KARL SANCHEZ **Contact:** _____
Address: 6524 AZOR LANE NW ALB NM 87120
Phone#: _____ **Fax#:** _____ **E-mail:** _____

Architect: none **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

Other Contact: _____ **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

Check all that Apply:

DEPARTMENT:

☒ HYDROLOGY/ DRAINAGE
☐ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

☐ ENGINEER/ ARCHITECT CERTIFICATION
☐ CONCEPTUAL G & D PLAN
☒ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY
☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR
☐ PRE-DESIGN MEETING
☐ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: ☐ Yes ☒ No

DATE SUBMITTED: 8/18/17 **By:** _____

COA STAFF: _____ ELECTRONIC SUBMITTAL RECEIVED: _____

Weighted E Method

Basin	Area	Treatment A	Treatment B	Treatment C	Treatment D	Weighted Volume	Flow
ALLOWED	1.386300	0.321	0.0	0.0	0.0	0.321	4.5
PROPOSED	1.386300	0.321	0.0	0.0	0.0	0.321	4.5
total							

Assumptions:

Weighted E = Ea* A_a + Eb* A_b + Ec* A_c + Ed* A_d / (Total Area)

Volume = Weighted D * Total Area

Flow = Qa * A_a + Qb * A_b + Qc * A_c + Qd * A_d

Qa = 2.23
Eb = 0.44
Ec = 0.99
Ed = 1.97

ON-SITE CONDITIONS

FIRST FLUSH WATER QUALITY VOLUME

REQUIRED (CF)

PROVIDED (CF)

127

1818

Narrative

This site is within the SAG 226 Master Drainage plan boundaries. The site is to maintain existing patterns and

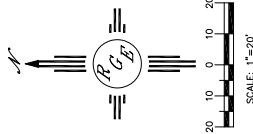
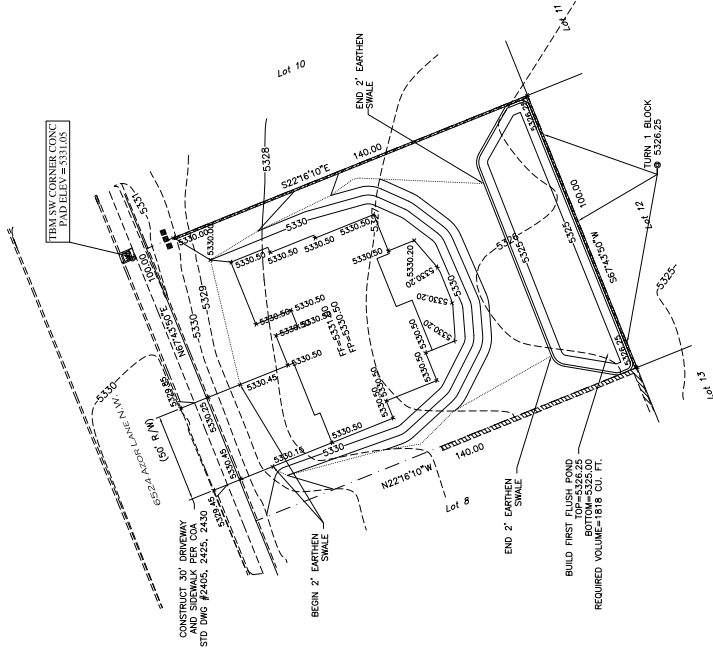
drain to the adjacent lot to south per the master drainage plan. We are ponding the water harvest volume generated by the site

there is not measurable upland flow. This plan has a shallow water harvest pond in excess of the drainage regulations.

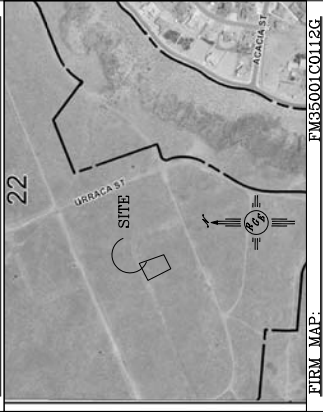
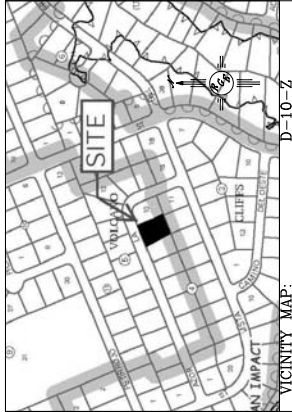
This plan is in conformance to the master drainage plan

EROSION CONTROL NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATED ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.



CAUTION: THE CONTRACTOR IS NOT RESPONSIBLE FOR THE EXISTING UTILITIES OR THE LOCATION OF UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR THE LOCATION OF UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR THE LOCATION OF UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR THE LOCATION OF UTILITIES.



FIRM MAP: FM35001C0112G

LEGAL DESCRIPTION:

LOT 9, BLOCK 4, VOLCANO CLIFFS UNIT 19

NOTES:

1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
2. SLOPES SHALL BE 3:1 MAX. AND GRAVEL OR NATIVE SEEDING SHALL BE USED.
3. EROSION CONTROL REQUIRED PRIOR TO BUILDING PERMIT.
4. ANY ON-SITE PERIMETER WALLS MUST CONFORM TO THIS PLAN. A COPY OF THIS PLAN MUST BE SUBMITTED WITH WALL PERMIT APPLICATION.

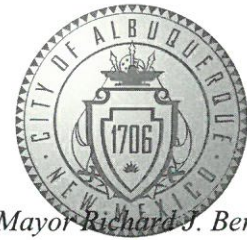
LEGEND

- EXISTING CONTOUR
- EXISTING INDEX CONTOUR
- PROPOSED CONTOUR
- PROPOSED INDEX CONTOUR
- SLOPE TIE
- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- BOUNDARY
- CENTERLINE
- RIGHT-OF-WAY
- EXISTING CURB AND GUTTER
- PROPOSED CMU SCREEN WALL

ENGINEER'S SEAL	6524 AZOR LANE NW CURTIS RESIDENCE		DRAWN BY: MCM	DATE: 10-15-17
	GRADING AND DRAINAGE PLAN		2017-10-15-17	SHEET #
10/18/17		Pico Grande Engineering		
10/17/17		1606 CENTRAL AVENUE SE		
DAVID SOULE		ALBUQUERQUE, NM 87106		
P.E. #14522		JOB # 21811		

CITY OF ALBUQUERQUE

Planning Department
Suzanne Lubar, Director



Mayor ~~Richard J. Berry~~

October 18, 2017

David Soule, P.E.
Rio Grande Engineering
PO Box 93924
Albuquerque, New Mexico 87199

RE: **Lot 9 Block 4 SAD 228**
Volcano Cliffs Subdivision
6524 Azor Lane NW
Grading and Drainage Plan
Engineers Stamp Date 10/17/17 (D10D003T9)

Dear Mr. Soule,

Based upon the information provided in your submittal received 10/17/17, this plan cannot be approved for Grading Permit until the following comments are addressed.

- Provide a statement on the plan stating that this grading plan must be used and provided for the application of any garden/retaining walls.

ADDED

Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist of this plan will be required.

If you have any questions, please contact me at 924-3695 or Rudy Rael at 924-3977.

Sincerely,

Dana Peterson, P.E.
Senior Engineer, Hydrology
Planning Department

RR/DP
C: File