

# CITY OF ALBUQUERQUE



June 8, 2015

David Soule, P.E.  
Rio Grande Engineering  
P.O. Box 93924  
Albuquerque, NM 87199

**RE: Padilla Residence, Lot 8, Block 5 Unit 22 Volcano Cliffs  
Canavio Rd NW  
Grading and Drainage Plan  
Engineer's Stamp Date 5-6-15 (D10D003V8)**

Dear Mr. Soule:

Based upon the information provided in your submittal received 5-7-15, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan in the construction sets when submitting for a building permit.

If you have any questions, you can contact me at 924-3695 or Rudy Real at 924-3977.

PO Box 1293

Albuquerque

New Mexico 87103

Sincerely,

Rita Harmon, P.E.  
Senior Engineer, Hydrology  
Planning Department

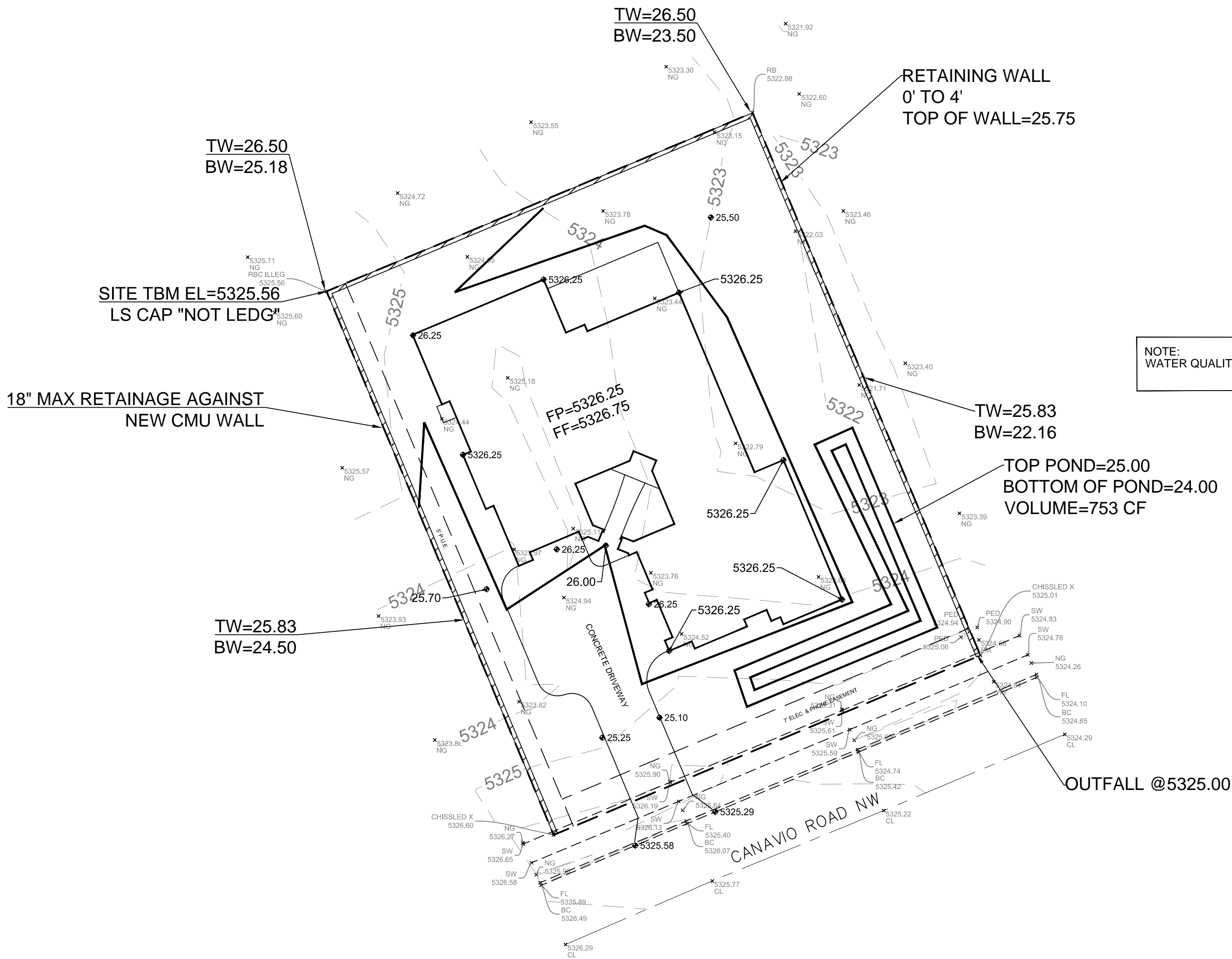
[www.cabq.gov](http://www.cabq.gov)

RR/RH  
Orig: Drainage file

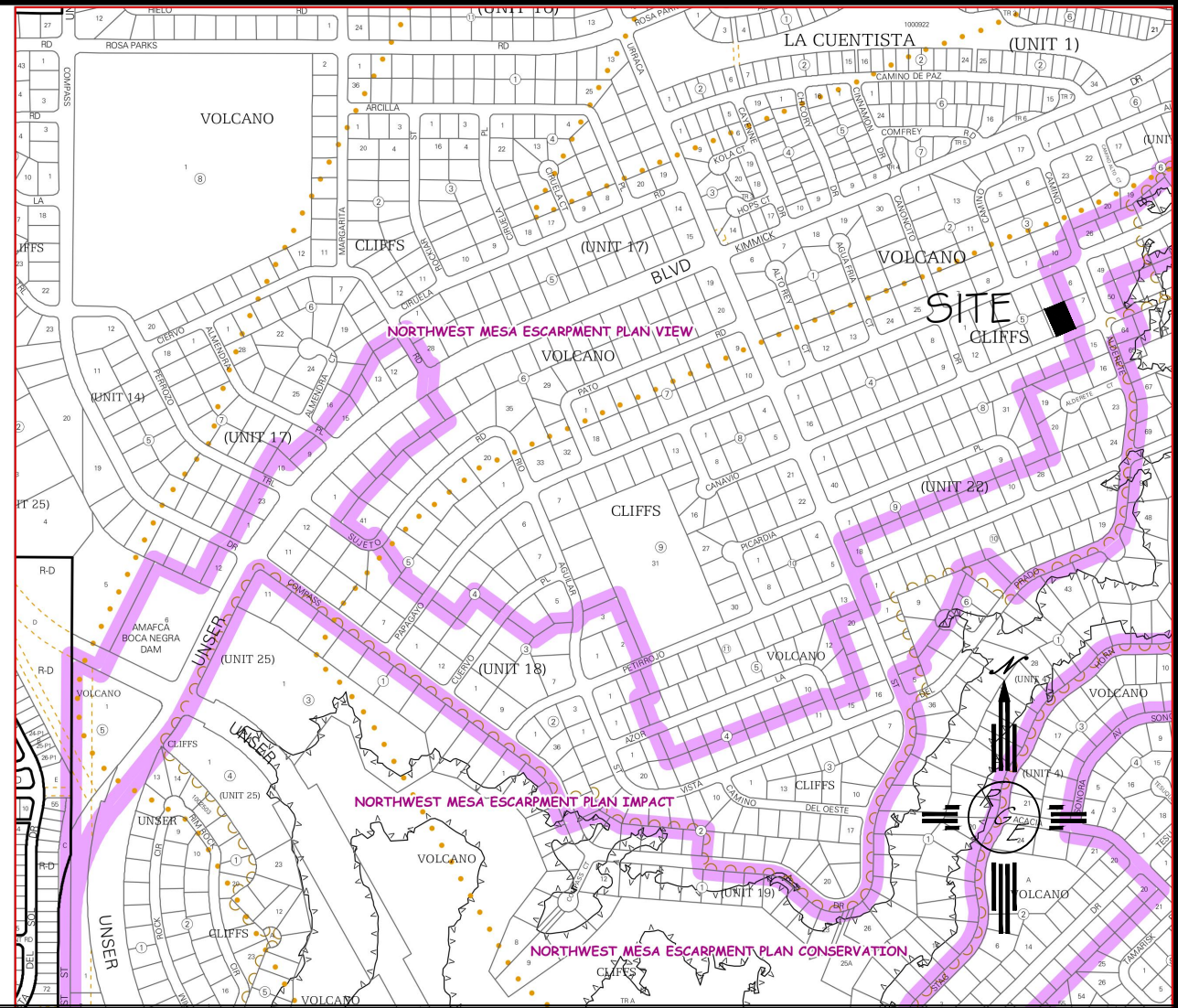


EROSION CONTROL NOTES:

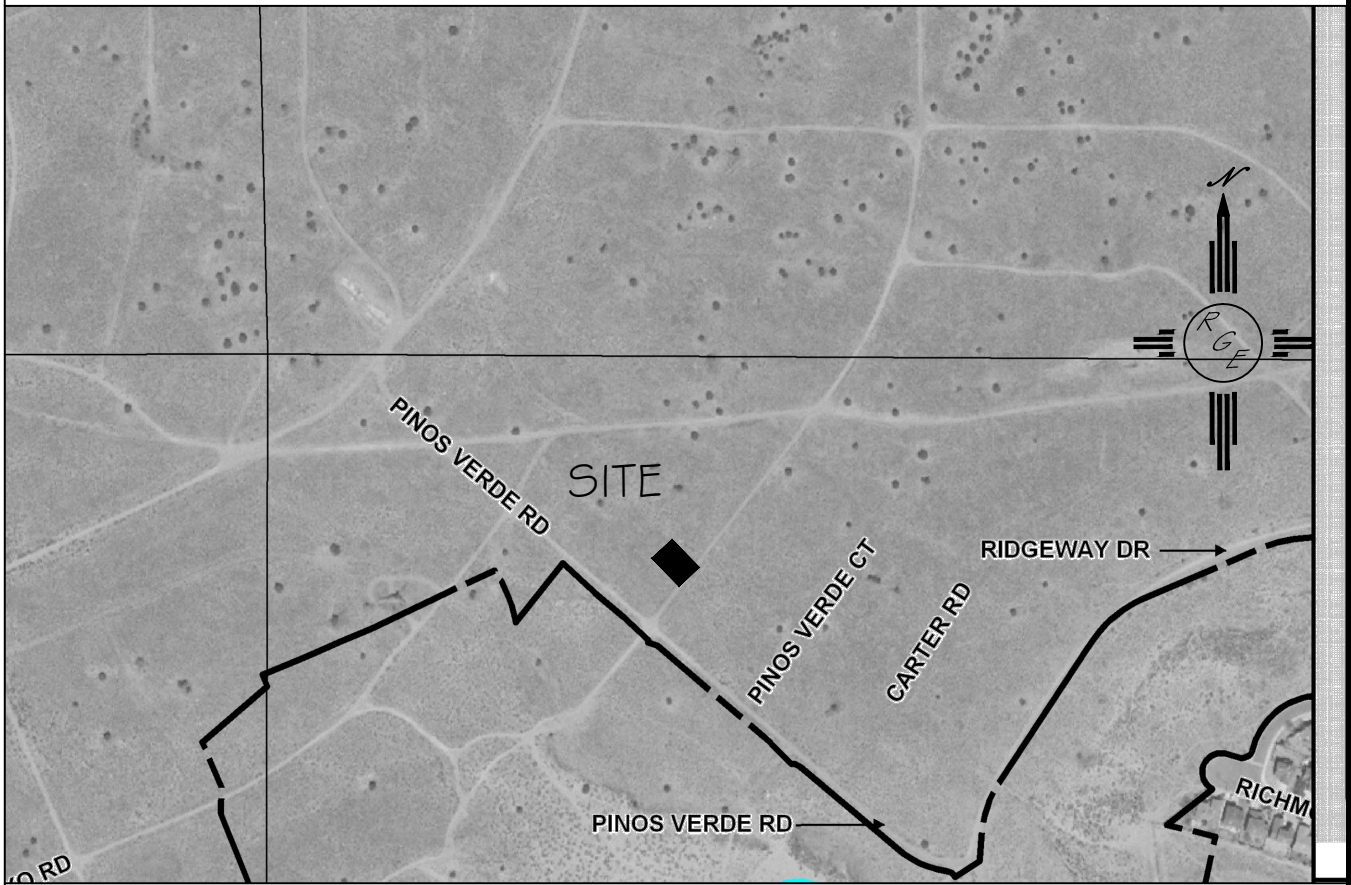
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.



COORDINATES SYSTEM IS NEW MEXICO  
STATE PLANE CENTRAL ZONE NAD1983/NAVD 1988  
AND ARE REFERENCED TO THE ALBUQUERQUE  
GEODETIC REFERENCE SYSTEM AS DETERMINED BY  
GPS OBSERVATIONS OBTAINED USING THE  
ALBUQUERQUE REAL TIME GNSS NETWORK (ARTGN).  
DISTANCES ARE GROUND. THESE VALUES WERE  
PROVIDED BY CONSTRUCTION SURVEY TECHNOLOGIES  
NMPLS 21082



VICINITY MAP:



FIRM MAP:

FM35001C0112G

LEGAL DESCRIPTION:

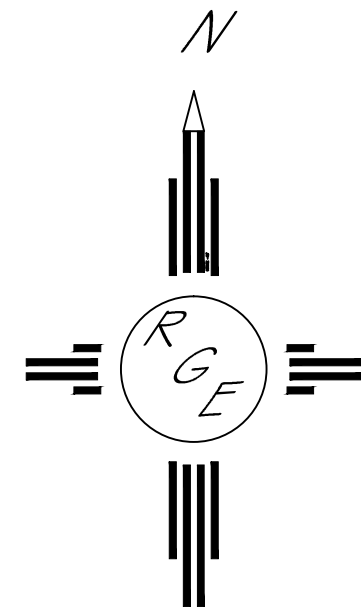
LOT 8, BLOCK 5, UNIT 22, VOLCANO CLIFFS

NOTES:

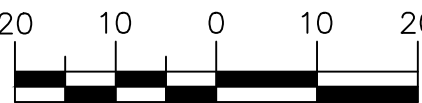
1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
2. TOPOGRAPHIC SURVEY INFORMATION SHOWN ON THIS PLAN WAS OBTAINED BY CONSTRUCTION SURVEY TECHNOLOGIES, DAVID ACOSTA PLS 2081, DATED JANUARY 2015

LEGEND


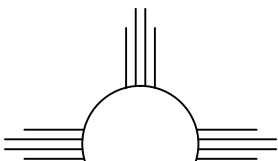
- 5411--- EXISTING CONTOUR
- 5410--- EXISTING INDEX CONTOUR
- 5411--- PROPOSED CONTOUR
- 5410--- PROPOSED INDEX CONTOUR



GRAPHIC SCALE



SCALE: 1"=20'

ENGINEER'S SEAL  5/6/15 DAVID SOULE P.E. #14522	LOT 8, BLOCK 5, UNIT 22 VOLCANO CLIFFS SUBDIVISION PADILLA RESIDENCE	DRAWN BY JDG DATE 05-05-15
	GRADING AND DRAINAGE PLAN  1606 CENTRAL AVENUE SE SUITE 201 ALBUQUERQUE, NM 87106 (505) 872-0999	SHEET # 1 OF 1 JOB #





# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: \_\_\_\_\_ Building Permit #: \_\_\_\_\_ City Drainage #: \_\_\_\_\_

DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_

Legal Description: \_\_\_\_\_

City Address: \_\_\_\_\_

**Engineering Firm:** \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

**Owner:** \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

**Architect:** \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

**Surveyor:** \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

**Contractor:** \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

### TYPE OF SUBMITTAL:

- \_\_\_\_\_ DRAINAGE REPORT
- \_\_\_\_\_ DRAINAGE PLAN 1st SUBMITTAL
- \_\_\_\_\_ DRAINAGE PLAN RESUBMITTAL
- \_\_\_\_\_ CONCEPTUAL G & D PLAN
- \_\_\_\_\_ GRADING PLAN
- \_\_\_\_\_ EROSION & SEDIMENT CONTROL PLAN (ESC)
- \_\_\_\_\_ ENGINEER'S CERT (HYDROLOGY)
- \_\_\_\_\_ CLOMR/LOMR
- \_\_\_\_\_ TRAFFIC CIRCULATION LAYOUT (TCL)
- \_\_\_\_\_ ENGINEER'S CERT (TCL)
- \_\_\_\_\_ ENGINEER'S CERT (DRB SITE PLAN)
- \_\_\_\_\_ ENGINEER'S CERT (ESC)
- \_\_\_\_\_ SO-19
- \_\_\_\_\_ OTHER (SPECIFY)

### CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- \_\_\_\_\_ SIA/FINANCIAL GUARANTEE RELEASE
- \_\_\_\_\_ PRELIMINARY PLAT APPROVAL
- \_\_\_\_\_ S. DEV. PLAN FOR SUB'D APPROVAL
- \_\_\_\_\_ S. DEV. FOR BLDG. PERMIT APPROVAL
- \_\_\_\_\_ SECTOR PLAN APPROVAL
- \_\_\_\_\_ FINAL PLAT APPROVAL
- \_\_\_\_\_ CERTIFICATE OF OCCUPANCY (PERM)
- \_\_\_\_\_ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- \_\_\_\_\_ FOUNDATION PERMIT APPROVAL
- \_\_\_\_\_ BUILDING PERMIT APPROVAL
- \_\_\_\_\_ GRADING PERMIT APPROVAL
- \_\_\_\_\_ PAVING PERMIT APPROVAL
- \_\_\_\_\_ WORK ORDER APPROVAL
- \_\_\_\_\_ GRADING CERTIFICATION
- \_\_\_\_\_ SO-19 APPROVAL
- \_\_\_\_\_ ESC PERMIT APPROVAL
- \_\_\_\_\_ ESC CERT. ACCEPTANCE
- \_\_\_\_\_ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED: \_\_\_\_\_ Yes \_\_\_\_\_ No \_\_\_\_\_ Copy Provided

DATE SUBMITTED: \_\_\_\_\_ By: \_\_\_\_\_

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development