CITY OF ALBUQUERQUE

January 13, 2015

David Soule, P.E.
Rio Grande Engineering
P.O. Box 93924
Albuquerque, NM 87199



RE: Sheehan Residence, Lot 5, Block 5 Unser Cliffs

6616 Rimrock Circle NW Grading and Drainage Plan

Engineer's Stamp Date 12-15-14 (File: E10D005)

Dear Mr. Soule:

Drainage Report (Wilson & Co, 2003) which states: "an architectural review committee for the property owners association will control and monitor the lot development". Therefore the <u>SAD</u> 227 <u>Development Guidelines</u> are enforced by the architectural review committee, and includes the Grading and Drainage guidelines. In general, the Guidelines allow for cross-lot drainage and the downstream properties are to carry the flow to the street. Cut and fill is to be kept to a minimum.

PO Box 1293

Grading and Drainage Plans and a formal review from hydrology will generally <u>not</u> be required for SAD 227 unless there is potential for upstream or downstream properties to be adversely affected. Nonetheless, the architectural review committee should be reviewing all lots for adherence to the guidelines.

Albuquerque

Based upon the information provided in your submittal received 1-6-14, this lot discharges historic flows to into adjacent lots, which does not require a formal review from hydrology. Since a Grading and Drainage plan has been submitted, Hydrology has reviewed the submittal and based upon our review, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan in the construction sets when submitting for a building permit.

www.cabq.gov

New Mexico 87103

If you have any questions, you can contact me at 924-3695 or Rudy Real at 924-3977.

Rita Harmon, P.E.

Sincerely,

Senior Engineer, Planning Dept.

Development Review Services

RR/RH

Orig: Drainage file



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Legal Description: LOT 5, BLOCK 2 UNSER CLIFFS City Address: 9618 RMROCK CIRCLE NW Engineering Firm: RIO GRANDE ENGINEERING Address: PO BOX 93924. A BUQUERQUE, NN 87199 Phone#: 96 321 9099 Fax#: 505.872.0899 E-mail: DAVID@RIOGRANDEERING.COM Owner: pheehan fondron Contact: Address: Phone#: Fax#: E-mail: Phone#: Pax#: E-mail: Contact: Address: Phone#: Fax#: E-mail: Contact: DAVID ACOSTA Address: Phone#: Fax#: E-mail: Contact: DAVID ACOSTA Address: Phone#: Fax#: F-mail: Contractor: Address: Phone#: Fax#: F-mail: Contractor: Contact: DAVID ACOSTA Address: Phone#: Fax#: F-mail: Contractor: Contact: DAVID ACOSTA Address: Phone#: Fax#: F-mail: Land Contact: DAVID ACOSTA Address: Phone#:	Project Title: SHEEHAN RESIDENCE	Building Permit #:	City Drainage #: DIODO
Engineering Firm: RIO GRANDE ENGINEERING Address: PO BOX 98924, ALBUQUERQUE, NM 87199 Fax#: 505.872.0899 E-mail: DAVID@RIOGRANDEENGINEERING.COM Owner: sheehan fondron Contact: Address: Phone#: Fax#: E-mail: Surveyor: CONSTRUCTION SURVEY, INC Contact: Address: Phone#: Fax#: E-mail: Surveyor: CONSTRUCTION SURVEY, INC Contact: Address: Phone#: Fax#: E-mail: Contact: Address: Phone#: Surveyor: CONSTRUCTION SURVEY, INC Contact: Address: Phone#: Fax#: E-mail: Contact: Address: Phone#: Fax#: L-mail: Contact: Address: Phone#: L-mail: Contact: Address: Phone#: L-mail: Contact: Address: Phone#: L-mail: Contact: Address: Phone#: L-mail: Contact: Address: Phone#: L-mail: Contact: Address: Phone#: L-mail: Contact: Address: Phone#: L-mail: Contact: Address: Phone#: L-mail: Contact: Address: Phone#: L-mail: Contact: Address: Phone#: L-mail: Contact: Address: Phone#: L-mail: Contact: Address: Phone#: L-mail: Contact: Address: Phone#: L-mail: Contact: Address: Phone#: L-mail: Contact: Address: Phone#: L-mail: Contact: Address: Phone#: L-mail: Contact: Address: Phone#: L-mail: Contact: Address: Phone#: L-mail: Contact: Address: Phone#: L-mail: Contact: Address: Phone#: L-mail: Contact: Address: Phone#: L-mail: Contact: Address: Phone#: L-mail: Contact: Address: Phone#: L-mail: Contact: Address: Phone#: L-mail: Contact: Address: Address: Phone#: L-mail: Address: Address: Address: P	DRB#: EPC#:		Work Order#:
Engineering Firm: BIO GRANDE ENGINEERING Address: PO BOX 93924, ALBUQUERQUE, NM 87199 Phone#: 905.321.9099 Fax#: 505.872.0999 E-mail: DAVID@RIOGRANDEERING.COM Owaer: sheethan fondfron Contact: Address: Phone#: Fax#: E-mail: Architect: NA Contact: Address: Phone#: Fax#: E-mail: Contractor: Construction survey, INC Contact: Contractor: Contact: Address: Phone#: Fax#: E-mail: TYPE OF SUBMITTAL: CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT: DRAINAGE REPORT SIAFINANCIAL GUARANTEE REPORT SECTOR PLAN APPROVAL LAND DEVELOPMENT SECTION CONCEPTUAL G & D PLAN S. DEV. FOR BLDG. PERMIT APPROVAL LAND DEVELOPMENT SECTION EROSION & SEDIMENT CONTROL PLAN (ESC) EROSION & SEDIMENT APPROVAL EROSION & SEDIMENT CONTROL PLAN (ESC) EROSION & SEDIMENT CONTROL	Legal Description: LOT 5, BLOCK 2 UNSER CLIFFS		
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Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following

- 1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
- 2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres
- 3. Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
- 4. Erosion and Sediment Control Plan: Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development