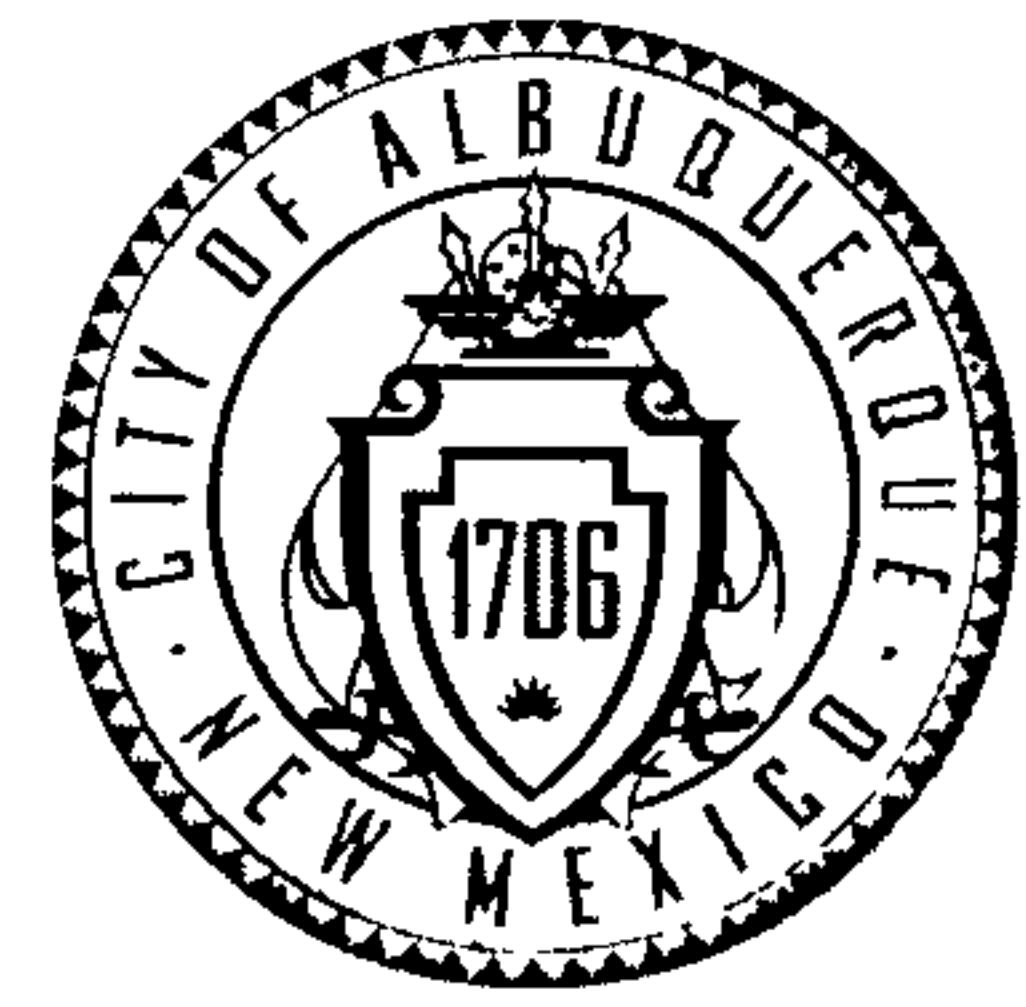


CITY OF ALBUQUERQUE



January 13, 2015

David Soule, P.E.
Rio Grande Engineering
P.O. Box 93924
Albuquerque, NM 87199

RE: **Sheehan Residence, Lot 5, Block 5 Unser Cliffs**
6616 Rimrock Circle NW
Grading and Drainage Plan
Engineer's Stamp Date 12-15-14 (File: E10D005)

Dear Mr. Soule:

Development in SAD 227 is to comply with the **SAD 227, Unser Boulevard Middle Section Drainage Report** (Wilson & Co, 2003) which states: "an architectural review committee for the property owners association will control and monitor the lot development". Therefore the **SAD 227 Development Guidelines** are enforced by the architectural review committee, and includes the Grading and Drainage guidelines. In general, the Guidelines allow for cross-lot drainage and the downstream properties are to carry the flow to the street. Cut and fill is to be kept to a minimum.

PO Box 1293

Grading and Drainage Plans and a formal review from hydrology will generally **not** be required for SAD 227 unless there is potential for upstream or downstream properties to be adversely affected. Nonetheless, the architectural review committee should be reviewing all lots for adherence to the guidelines.

Albuquerque

New Mexico 87103

Based upon the information provided in your submittal received 1-6-14, this lot discharges historic flows to into adjacent lots, which does not require a formal review from hydrology. Since a Grading and Drainage plan has been submitted, Hydrology has reviewed the submittal and based upon our review, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan in the construction sets when submitting for a building permit.

www.cabq.gov

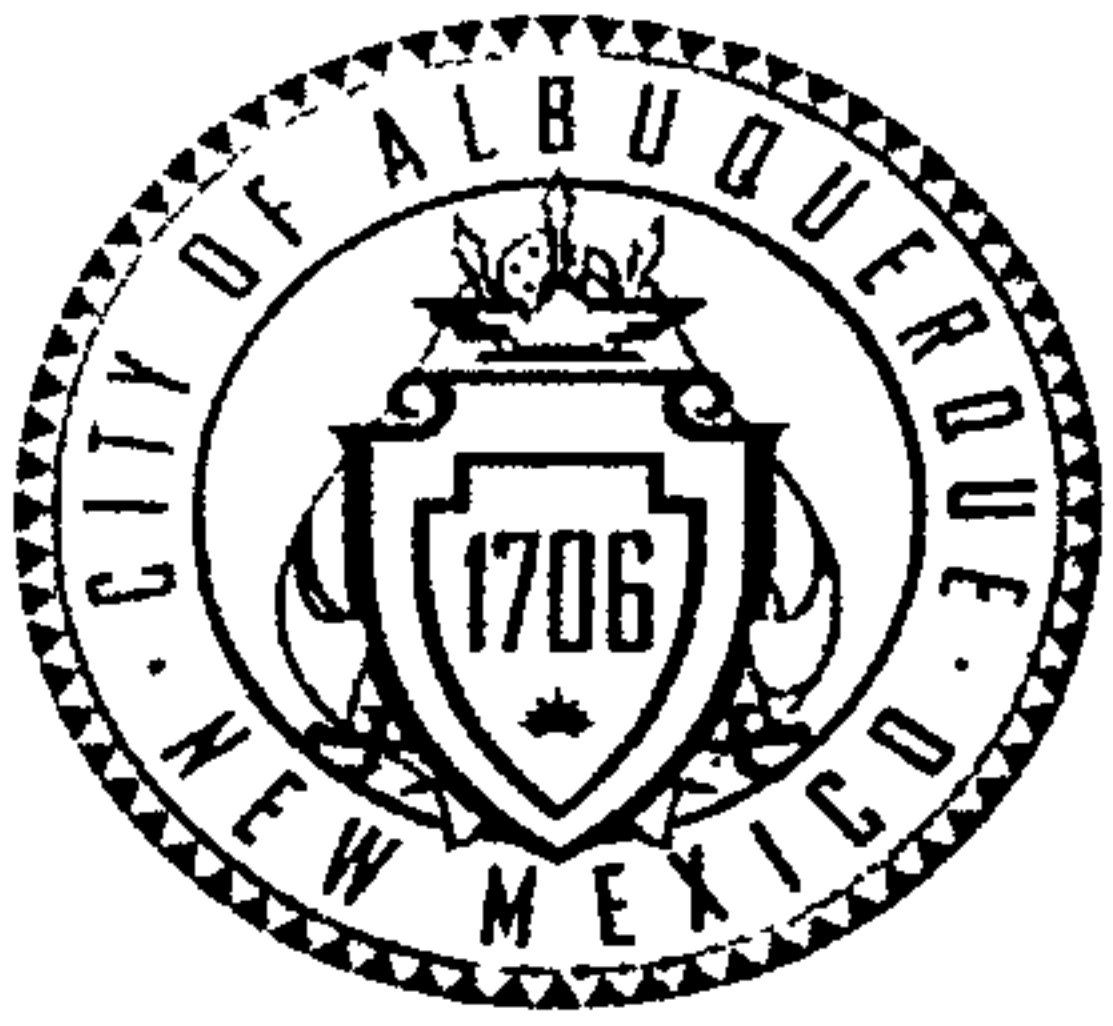
If you have any questions, you can contact me at 924-3695 or Rudy Real at 924-3977.

Sincerely,

Rita Harmon, P.E.
Senior Engineer, Planning Dept.
Development Review Services

RR/RH

Orig: Drainage file



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: SHEEHAN RESIDENCE Building Permit #: _____ City Drainage #: D10D005
DRB#: _____ EPC#: _____ Work Order#: _____
Legal Description: LOT 5, BLOCK 2 UNSER CLIFFS
City Address: 6616 RIMROCK CIRCLE NW

Engineering Firm: RIO GRANDE ENGINEERING Contact: DAVID SOULE
Address: PO BOX 93924, ALBUQUERQUE, NM 87199
Phone#: 505.321.9099 Fax#: 505.872.0999 E-mail: DAVID@RIOGRANDEENGINEERING.COM

Owner: sheehan fondron Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

Architect: NA Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

Surveyor: CONSTRUCTION SURVEY, INC Contact: DAVID ACOSTA
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

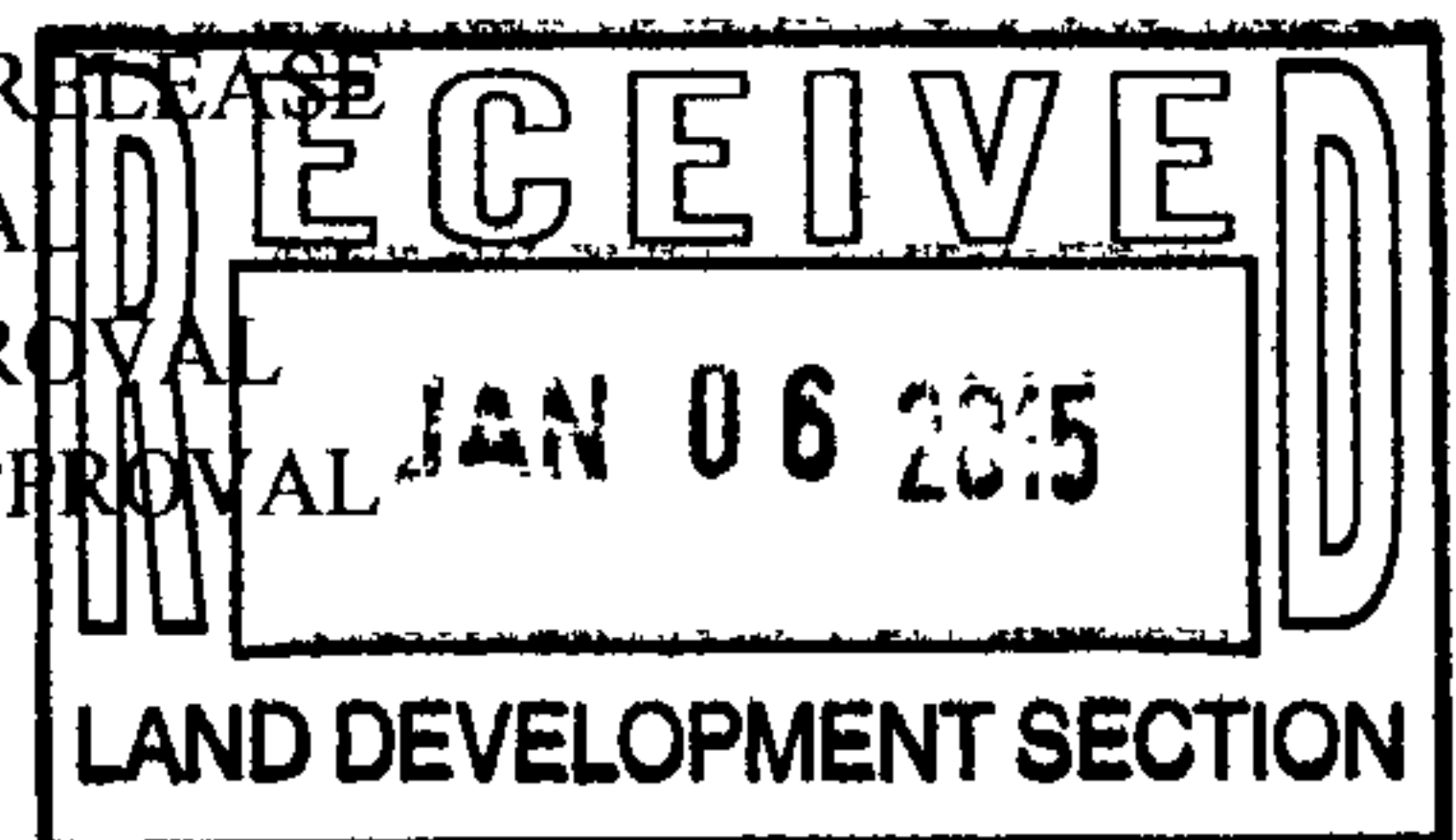
Contractor: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☒ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☒ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☒ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY) _____



WAS A PRE-DESIGN CONFERENCE ATTENDED: _____ Yes ☒ No _____ Copy Provided _____

DATE SUBMITTED: 1/5/15 By: _____

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development