

CITY OF ALBUQUERQUE



Richard J. Berry, Mayor

May 12, 2017

David Soule, P.E.
Rio Grande Engineering
P.O. Box 93924
Albuquerque, NM, 87199

RE: 6908 Rim Rock NW – Kiotis Residence
Grading Plan
Stamp Date: 1/13/17
Hydrology File: D10D006

Dear Mr. Soule:

PO Box 1293

Based upon the information provided in your Certification received 5/12/17, the above referenced Certification is acceptable for Building Pad Certification for 6908 Rim Rock NW.

Albuquerque

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov

New Mexico 87103

Sincerely,

Renee C. Brissette

www.cabq.gov

Reneé C. Brissette, P.E.
Senior Engineer, Hydrology
Planning Department



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: _____ **Building Permit #:** _____ **City Drainage #:** _____

DRB#: _____ **EPC#:** _____ **Work Order#:** _____

Legal Description: _____

City Address: _____

Engineering Firm: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Owner: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Architect: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Other Contact: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Check all that Apply:

DEPARTMENT:

- ☐ HYDROLOGY/ DRAINAGE
☐ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ ARCHITECT CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR
- ☐ PRE-DESIGN MEETING
☐ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: ☐ Yes ☐ No

DATE SUBMITTED: _____ **By:** _____

COA STAFF: _____ ELECTRONIC SUBMITTAL RECEIVED: _____

Weighted E Method												
Basin	Area (sf)	Area (acres)	Treatment A		Treatment B		Treatment C		Treatment D		Weighted E Volume (ac-ft)	100-Year, 6-hr. Volume (ac-ft)
			% (acres)	% (acres)	% (acres)	% (acres)	% (acres)	% (acres)	% (acres)	% (acres)		
NATIVE	14400.00	0.331	0%	0	100%	0.331	0%	0	0%	0.000	0.670	0.018
ALLOWED	14400.00	0.331	0%	0	10%	0.033	40%	0.13223	50%	0.165	1.448	0.040
PROPOSED	14400.00	0.331	0%	0	28%	0.093	34%	0.1124	38%	0.126	1.273	0.035
INCREASE												1.06
total												0.043

Equations:

Weighted E = Ea*Aa + Eb*Ab + Ec*Ac + Ed*Ad / (Total Area)

Volume = Weighted D * Total Area

Flow = Qa * Aa + Qb * Ab + Qc * Ac + Qd * Ad

Where for 100-year, 6-hour storm- zone 1
Ea= 0.44 Qa= 1.29
Eb= 0.67 Qb= 2.03
Ec= 0.99 Qc= 2.87
Ed= 1.97 Qd= 4.37

ONSITE Conditions	REQUIRED	PROVIDED
FIRST FLUSH WATER QUALITY VOLUME (CF)		
WATER QUALITY	155	1035
50% of the 100year-24-hour	944	1035

Narrative

This site is within the SAD 227 Master Drainage plan boundaries. The site is to maintain existing drainage patterns. Since the lot can drain to the adjacent street we are to retain 50% of the 100-year, 24-hour storm volume generated. We are ponding the water harvest volume generated by the site. Since the downstream improvements have been constructed the site will drain to the adjacent roadway. Due to existing block wa upland flows impact this site, in the event a block get turned this site will except and pass the flows. The flush volume is retained on site. This plan is in conformance to the masterplan

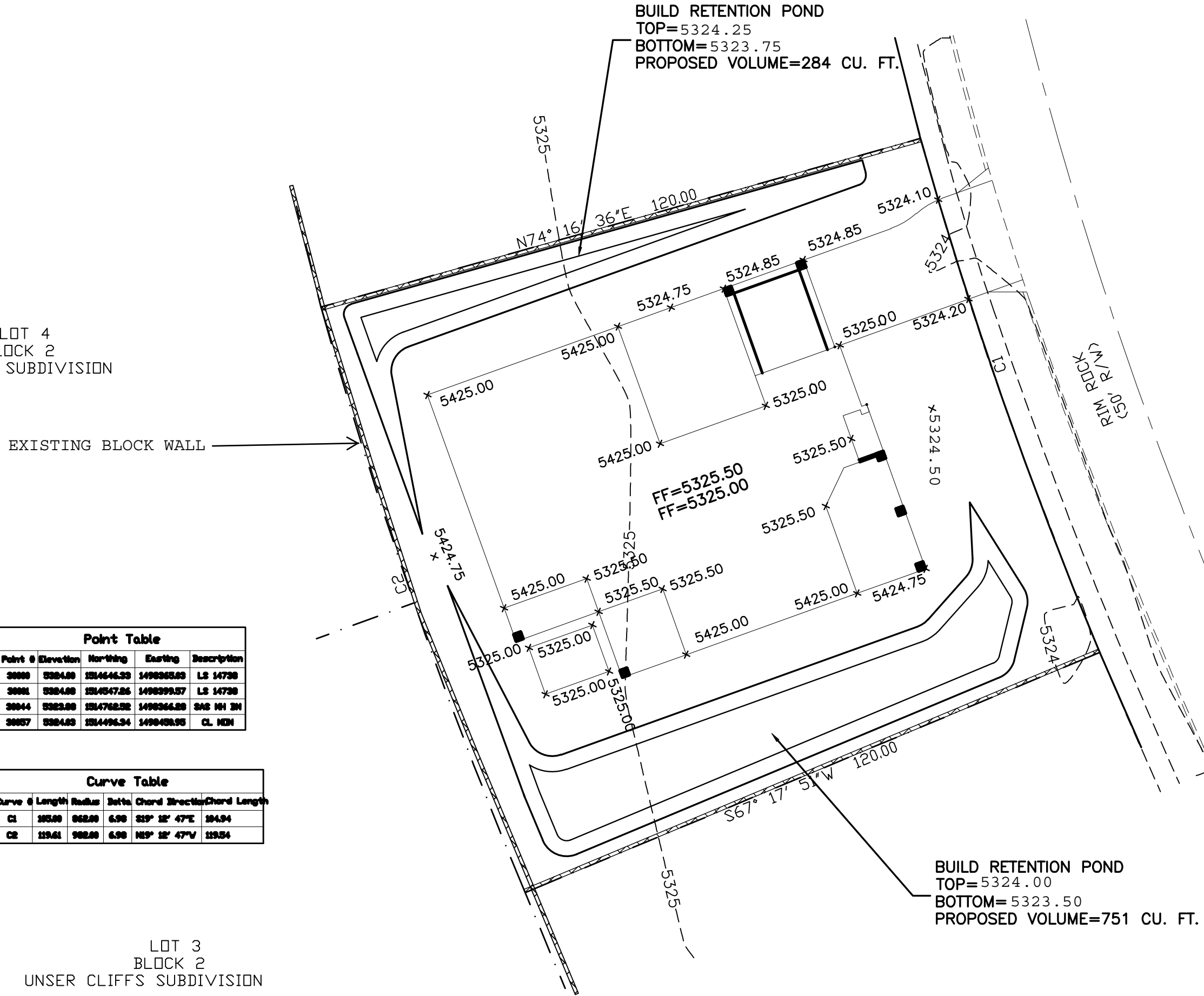
PAD CERTIFICATION

I DAVID SOULE HAVE PERSONALLY INSPECTED THE SITE. THE MASS GRADING FOR THE BUILDING PAD HAS BEEN CONSTRUCTED IN SUBSTANTIAL CONFORMANCE TO THE APPROVED GRADING PLAN DATED 1/13/17



5/11/17

LOT 13
BLOCK 2
UNSER CLIFFS SUBDIVISION



Point Table			
Point #	Elevation	Northing	Easting
2088	5324.00	525446.52	540855.63
2089	5324.00	5254547.08	540859.67
2094	5325.00	5254748.20	540854.50
2097	5324.00	5254495.34	540849.50

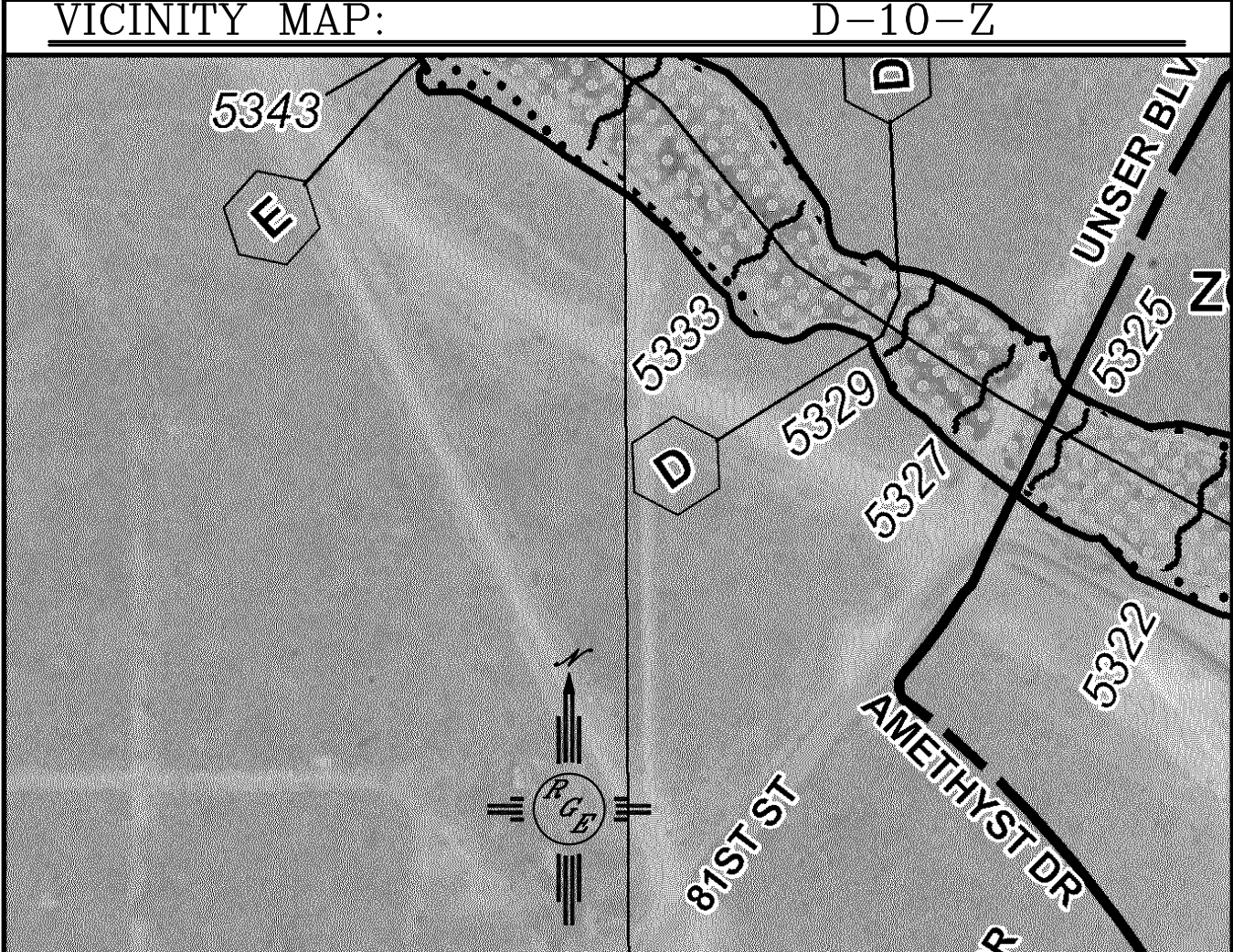
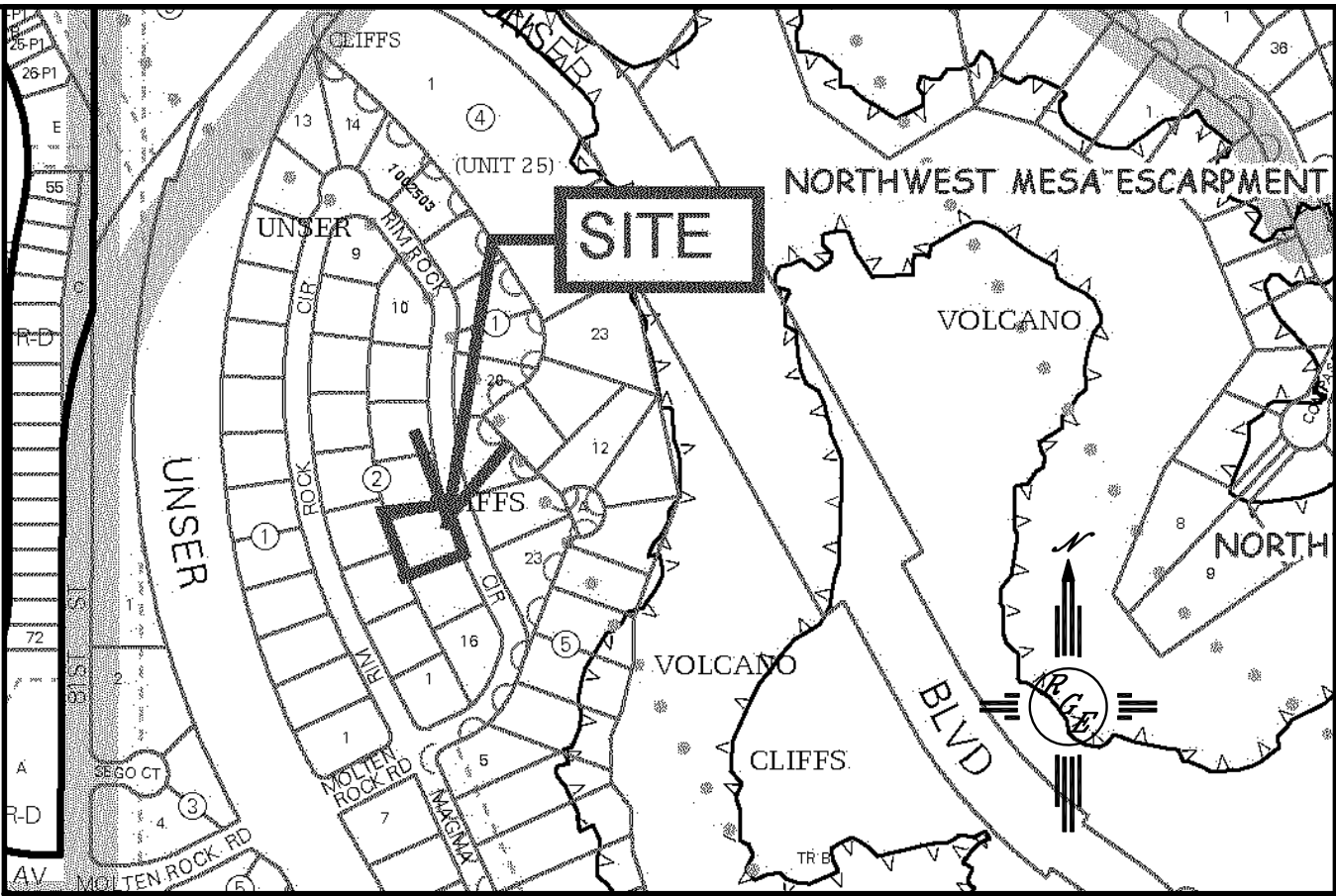
Curve Table			
Curve #	Length	Radius	Delta
C1	25.00	600.00	32° 30' 47\"
C2	25.00	600.00	32° 30' 47\"

LOT 3
BLOCK 2
UNSER CLIFFS SUBDIVISION

LOT 15
BLOCK 2
UNSER CLIFFS SUBDIVISION

EROSION CONTROL NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.



FIRM MAP: FM35001C0111G

LEGAL DESCRIPTION:

LOT 11, BLOCK 13, VOLCANO CLIFFS, UNIT - 5

NOTES:

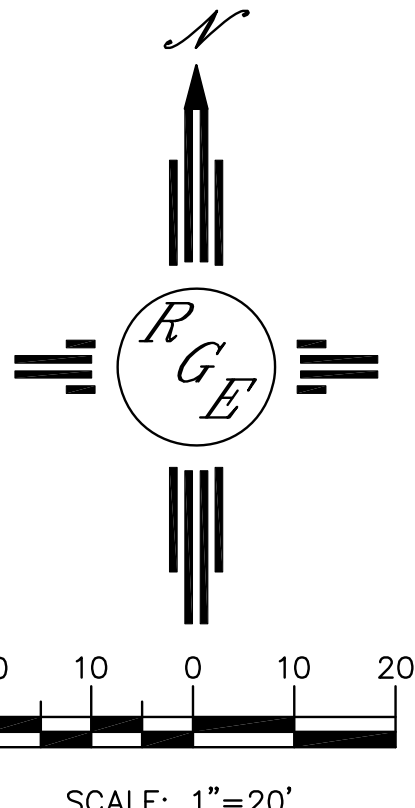
1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.

LEGEND

- - - - -XXXX- - - - - EXISTING CONTOUR
- - - - -XXXX- - - - - EXISTING INDEX CONTOUR
- - - - -XXXX- - - - - PROPOSED CONTOUR
- - - - -XXXX- - - - - PROPOSED INDEX CONTOUR
- - - - -XXXX- - - - - SLOPE TIE
- - - - -XXXX- - - - - EXISTING SPOT ELEVATION
- - - - -XXXX- - - - - PROPOSED SPOT ELEVATION
- - - - -XXXX- - - - - BOUNDARY
- - - - -XXXX- - - - - CENTERLINE
- - - - -XXXX- - - - - RIGHT-OF-WAY
- - - - -XXXX- - - - - EXISTING CURB AND GUTTER
- - - - -XXXX- - - - - PROPOSED CMU SCREEN WALL

CAUTION:

EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.



ENGINEER'S SEAL 1/13/17 DAVID SOULE P.E. #14522	KIOTIS RESIDENCE 6908 RIM ROCK NW GRADING AND DRAINAGE PLAN 1606 CENTRAL AVENUE SE SUITE 201 ALBUQUERQUE, NM 87106 (505) 872-0999	DRAWN BY WCMJ DATE 2-13-17 21712-LAYOUT-2-11-17 SHEET # JOB # 21712