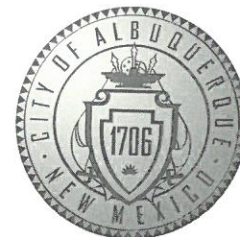


# CITY OF ALBUQUERQUE

Planning Department  
David Campbell, Director



Mayor Timothy M Keller

April 17, 2018

David Soule, PE  
Rio Grande Engineering  
1606 Central SE Suite 201  
Albuquerque, NM 87106

**Re: Lot 10 Block 1 Unser Cliffs SAD 227  
6901 Rimrock Cr. NW  
Request Permanent C.O. - Accepted  
Engineer's Stamp dated: 2-15-17 (D10D007)  
Certification dated: 5-7-18**

PO Box 1293

Dear Mr. Soule,

Albuquerque

Based on the Certification received 5/7/2018, the site is acceptable for release of Certificate of Occupancy by Hydrology.

If you have any questions, you can contact me at 924-3986 or Rudy Rael at 924-3977.

NM 87103

Sincerely,

www.cabq.gov

James D. Hughes, P.E.  
Principal Engineer, Hydrology  
Planning Department

RR/JDH  
C: File D10D007



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

**Project Title:** \_\_\_\_\_ **Building Permit #:** \_\_\_\_\_ **City Drainage #:** \_\_\_\_\_

**DRB#:** \_\_\_\_\_ **EPC#:** \_\_\_\_\_ **Work Order#:** \_\_\_\_\_

**Legal Description:** \_\_\_\_\_

**City Address:** \_\_\_\_\_

**Engineering Firm:** \_\_\_\_\_ **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**Owner:** \_\_\_\_\_ **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**Architect:** \_\_\_\_\_ **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**Other Contact:** \_\_\_\_\_ **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

Check all that Apply:

**DEPARTMENT:**

- ☐ HYDROLOGY/ DRAINAGE  
☐ TRAFFIC/ TRANSPORTATION  
☐ MS4/ EROSION & SEDIMENT CONTROL

**TYPE OF SUBMITTAL:**

- ☐ ENGINEER/ ARCHITECT CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN  
☐ GRADING PLAN  
☐ DRAINAGE MASTER PLAN  
☐ DRAINAGE REPORT  
☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ TRAFFIC IMPACT STUDY (TIS)  
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ OTHER (SPECIFY) \_\_\_\_\_

**CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:**

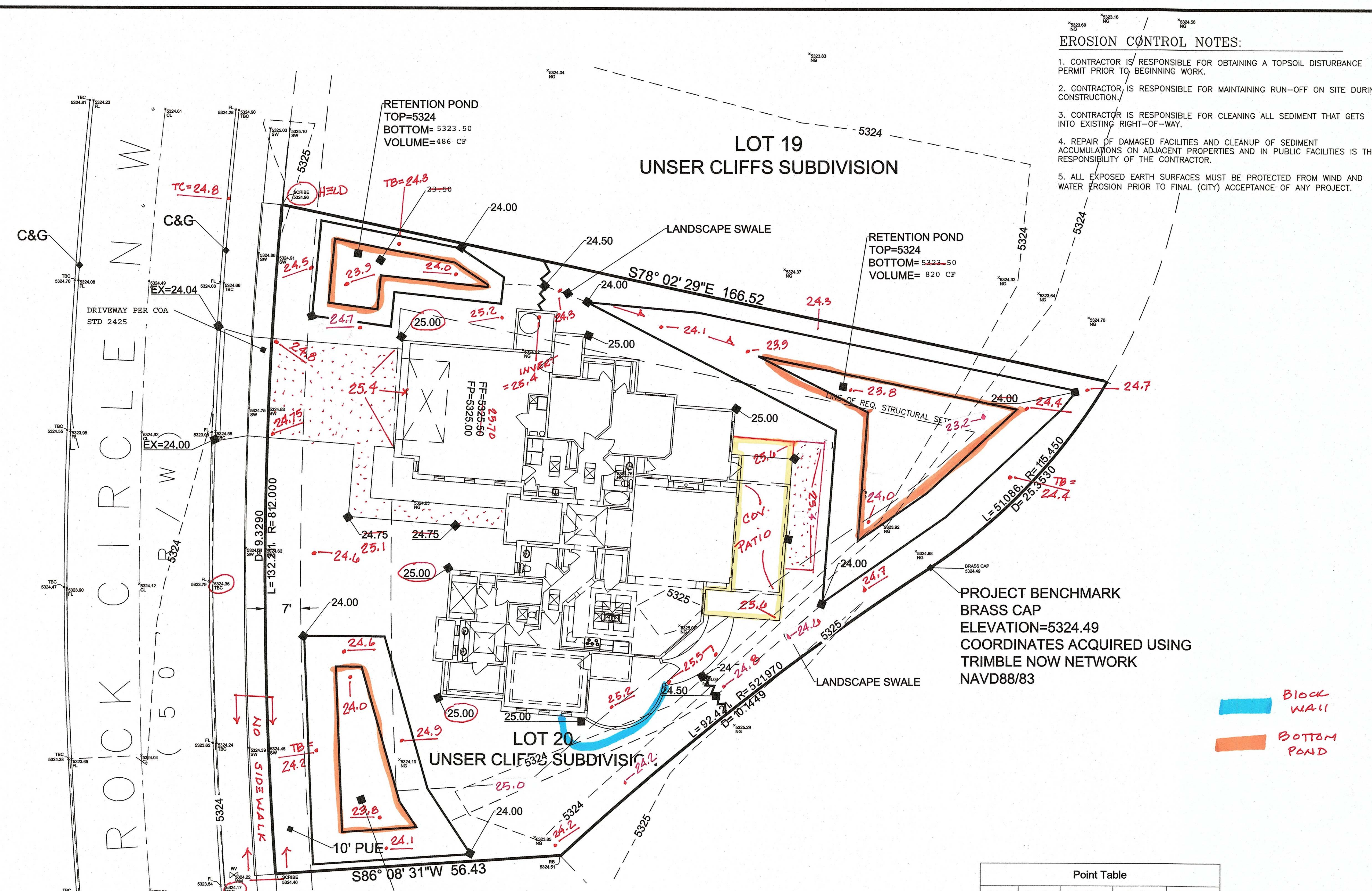
- ☐ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL  
☐ SITE PLAN FOR SUB'D APPROVAL  
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE  
☐ FOUNDATION PERMIT APPROVAL  
☐ GRADING PERMIT APPROVAL  
☐ SO-19 APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ GRADING/ PAD CERTIFICATION  
☐ WORK ORDER APPROVAL  
☐ CLOMR/LOMR
- ☐ PRE-DESIGN MEETING  
☐ OTHER (SPECIFY) \_\_\_\_\_

IS THIS A RESUBMITTAL?: ☐ Yes ☐ No

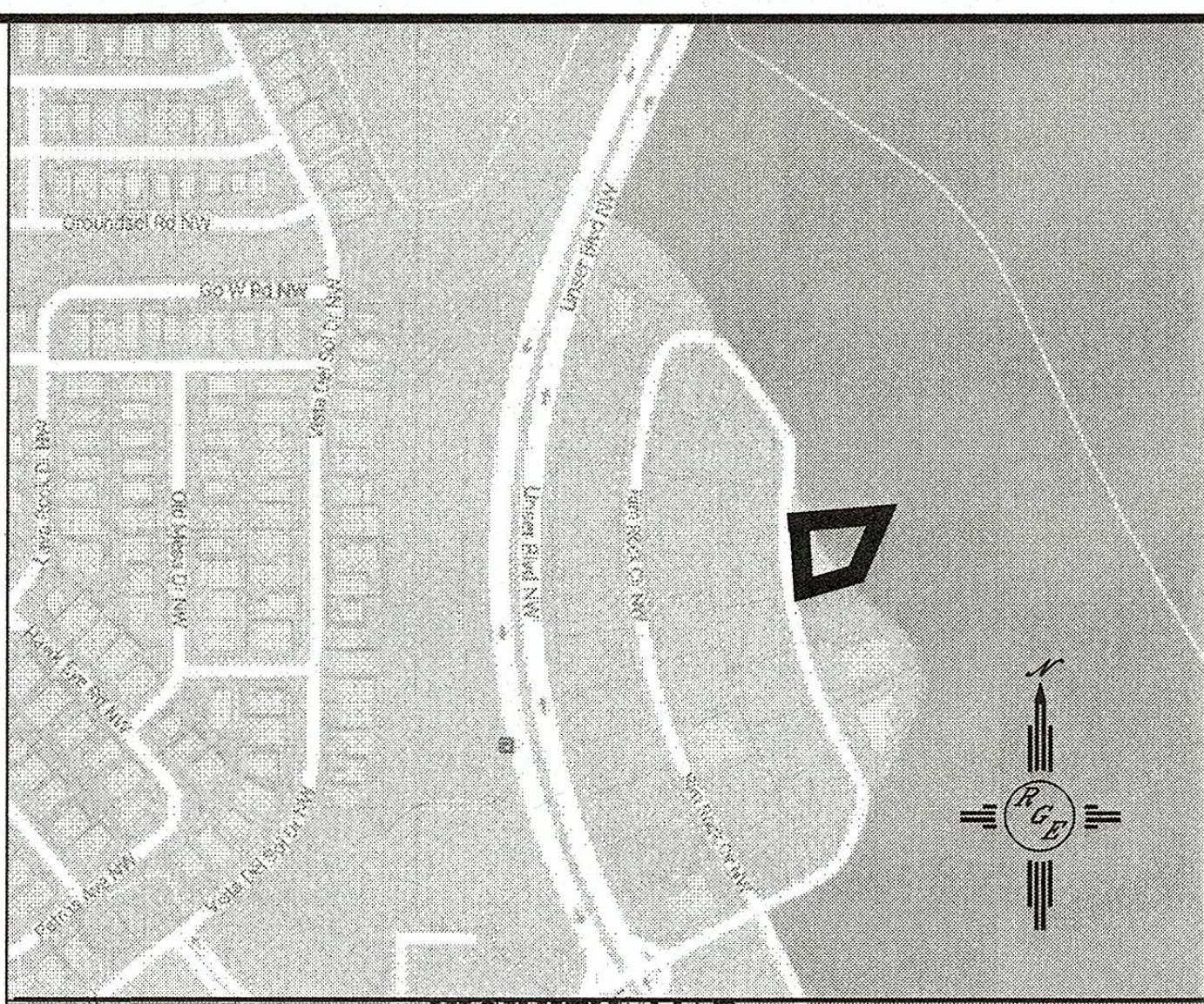
**DATE SUBMITTED:** \_\_\_\_\_ **By:** \_\_\_\_\_

COA STAFF: \_\_\_\_\_ ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_





- EROSION CONTROL NOTES:**
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
  2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
  3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
  4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
  5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.



- LEGAL DESCRIPTION:**  
LOT 20 UNSER CLIFFS SUBDIVISION
- NOTES:**
1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
  2. TOPOGRAPHIC SURVEY INFORMATION SHOWN ON THIS PLAN WAS OBTAINED BY CONSTRUCTION SURVEY TECHNOLOGIES DATED DECEMBER 2015
  3. ALL DISTURBED AREAS MUST BE RESEED OR LANDSCAPED PRIOR TO FINAL C.O.. ALL AREAS OUTSIDE THE BUILDING ENVELOPE MUST BE RESEED WITH NATIVE MIX
  4. DUE TO EXISTING TOPOGRAPHY AND UNDEVELOPED NATURE OF THE DOWN STEAM AREA, PERIODIC MAINTENANCE OF PONDS AND SWALES ARE REQUIRED.
  5. BLOCK WALLS SHALL HAVE 1 BLOCK TURNED 3" ABOVE FINISHED GRADE FOR EACH PROPERTY LINE WALL. TO ALLOW FOR POTENTIAL CROSS LOT DRAINAGE

**LEGEND**

---	5411	---	EXISTING CONTOUR
---	5410	---	EXISTING INDEX CONTOUR
---	5411	---	PROPOSED CONTOUR
---	5410	---	PROPOSED INDEX CONTOUR
---	100.00	---	PROPOSED FLOWLINE ELEVATIONS
---	---	---	PROPERTY LINE

I David Soule, NMPE 14522, of the firm Rio Grande Engineering, hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intend of the approved plan dated 2/5/17. The record information edited on the original design document has performed by me or under my direct supervision and is true and correct to the best of my knowledge and belief. The as-built survey was provided by THOMAS PATRICK NMPS 12651. The certification is submitted in support of a request for PERMANENT CERTIFICATE OF OCCUPANCY. The record information presented heron is not necessarily complete and intended only to verify substantial compliance of the grading and drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose



**RETENTION POND**  
TOP=5324  
BOTTOM= 5323.50  
VOLUME= 620 CF

**Weighted E Method**

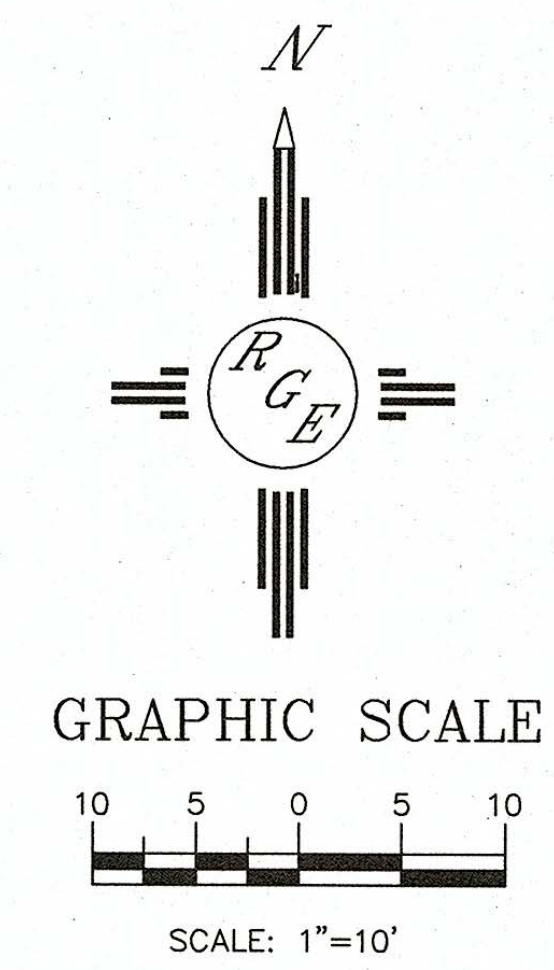
Basin	Area (sf)	Area (acres)	Treatment A % (acres)	Treatment B % (acres)	Treatment C % (acres)	Treatment D % (acres)	Weighted E (ac-ft)	100-Year, 6-hr. Volume (ac-ft)	Flow cfs	24-hour Volume (ac-ft)
NATIVE	13765.00	0.316	20%	0.0632	80%	0.253	0%	0.000	0.624	0.016
PROPOSED INCREASE	13765.00	0.316	0%	0	29%	0.092	29%	0.09164	42%	0.133
total							1.309		0.034	0.049

**Equations:**  
Weighted E = Ea \* Aa + Eb \* Ab + Ec \* Ac + Ed \* Ad / (Total Area)  
Volume = Weighted D \* Total Area  
Flow = Qa \* Aa + Qb \* Ab + Qc \* Ac + Qd \* Ad  
Where for 100-year, 6-hour storm- zone 1  
Ea= 0.44  
Eb= 0.67  
Ec= 0.99  
Ed= 1.97  
Qa= 1.29  
Qb= 2.03  
Qc= 2.87  
Qd= 4.37

**ONSITE Conditions:**  
FIRST FLUSH WATER QUALITY VOLUME REQUIRED (CF) 164  
PROVIDED (CF) 633  
WATER QUALITY 50% of the 100-year-24 hour 941  
Narrative This site is within the SAD 227 Master Drainage plan boundaries. The site is to maintain existing drainage patterns. Since the lot can not drain to the the adjacent street we are to retain in excess of the 50% of the 100-year, 24-hour storm volume generated. We are ponding the water harvest v generated by the site. Since the downstream walls have been constructed the weep holes on the bottom course will serve as overflow. The first flush volume is retained on site. This plan is in conformance to the masterplan

**Point Table**

Point #	Elevation	Northing	Easting	Description
80042	5324.96	1514950.96	1498385.89	SCRIBE
80051	5324.40	1514818.99	1498385.13	SCRIBE
80058	5324.51	1514822.62	1498441.18	RB
80063	5324.49	1514879.64	1498513.99	BRASS CAP



**5-5-18 TCY G&D AS-BUILT**

ENGINEER'S SEAL	6901 RIM ROCK CIRCLE NW MILLIGAN BATES RESIDENCE LOT 20 BLOCK 1 UNSER CLIFFS	DRAWN BY JDG
DAVID SOULE NEW MEXICO REGISTERED PROFESSIONAL ENGINEER 14522	GRADING AND DRAINAGE PLAN	DATE 02-15-2016
2/15/17 DAVID SOULE P.E. #14522	Rio Grande Engineering 1606 CENTRAL AVENUE SE SUITE 201 ALBUQUERQUE, NM 87106 (505) 872-0999	SHEET # 1 OF 1 JOB #