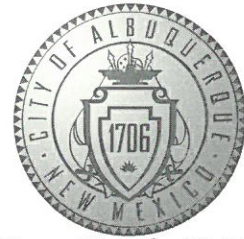


# CITY OF ALBUQUERQUE

Planning Department

Suzanne Lubar, Acting Director



Mayor Timothy M. Keller

December 14, 2017

David Soule, P.E.  
Rio Grande Engineering  
PO Box 93924  
Albuquerque, New Mexico 87199

**RE: Lot 15 Block 2 Unser Cliffs SAD 227  
6912 Rimrock NW  
Grading and Drainage Plan  
Engineers Stamp Date 7/18/17 (E10D040)  
Pad Certification Date 12/12/17**

Dear Mr. Soule,

Based upon the information provided in your submittal received 12/12/17, this plan is approved for Building Permit.

Please inform the builder/owner to attach a copy of this approved plan and this letter to the construction sets in the permitting process prior to sign-off by Hydrology.

Reiterate to the Owner/Contractor that a separate permit for a garden/retaining wall must be obtained, with the approved G&D plan dated 7/18/17.

Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist of this plan will be required.

If you have any questions, please contact me at 924-3986 or Rudy Rael at 924-3977.

Sincerely,

James D. Hughes, P.E.  
Principal Engineer, Hydrology  
Planning Department

RR/JDH  
C: File



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

**Project Title:** 6912 RIMROCK **Building Permit #:** \_\_\_\_\_ **City Drainage #:** D10D009  
**DRB#:** \_\_\_\_\_ **EPC#:** \_\_\_\_\_ **Work Order#:** \_\_\_\_\_  
**Legal Description:** lot 15 block 2 UNSER CLIFFS  
**City Address:** 6912 RIMROCK

**Engineering Firm:** RIO GRANDE ENGINEERING **Contact:** DAVID SOULE  
**Address:** PO BOX 93924, ALBUQUERQUE, NM 87199  
**Phone#:** 505.321.9099 **Fax#:** 505.872.0999 **E-mail:** DAVID@RIOGRANDEENGINEERING.COM

**Owner:** JUAN AND MAYRA URIOSTE **Contact:** \_\_\_\_\_  
**Address:** PO BOX 65415 ALB NM 87183-5415  
**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**Architect:** none **Contact:** \_\_\_\_\_  
**Address:** \_\_\_\_\_  
**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**Other Contact:** \_\_\_\_\_ **Contact:** \_\_\_\_\_  
**Address:** \_\_\_\_\_  
**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

Check all that Apply:

### DEPARTMENT:

☒ HYDROLOGY/ DRAINAGE  
☐ TRAFFIC/ TRANSPORTATION  
☐ MS4/ EROSION & SEDIMENT CONTROL

### TYPE OF SUBMITTAL:

☒ ENGINEER/ ARCHITECT CERTIFICATION  
☐ CONCEPTUAL G & D PLAN  
☐ GRADING PLAN  
☐ DRAINAGE MASTER PLAN  
☐ DRAINAGE REPORT  
☐ CLOMR/LOMR  
☐ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ TRAFFIC IMPACT STUDY (TIS)  
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)  
☐ OTHER (SPECIFY) \_\_\_\_\_

IS THIS A RESUBMITTAL?: ☐ Yes ☒ No

### CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☒ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY  
☐ PRELIMINARY PLAT APPROVAL  
☐ SITE PLAN FOR SUB'D APPROVAL  
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE  
☐ FOUNDATION PERMIT APPROVAL  
☐ GRADING PERMIT APPROVAL  
☐ SO-19 APPROVAL  
☐ PAVING PERMIT APPROVAL  
☒ GRADING/ **PAD CERTIFICATION**  
☐ WORK ORDER APPROVAL  
☐ CLOMR/LOMR  
☐ PRE-DESIGN MEETING  
☐ OTHER (SPECIFY) \_\_\_\_\_

DATE SUBMITTED: 12/12/12 By: \_\_\_\_\_

COA STAFF: ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_



Weighted E Method

										100-Year, 6-hr.		
Basin	Area (sf)	Area (acres)	Treatment A % (acres)	Treatment B % (acres)	Treatment C % (acres)	Treatment D % (acres)	Weighted (ac-ft)	Volume (ac-ft)	Flow cfs			
ALLOWED	13328.00	0.306	0%	0	10%	0.031	40%	0.1224	50%	0.153	1.448	0.037
PROPOSED	13328.00	0.306	0%	0	25%	0.076	29%	0.0887	46%	0.141	1.361	0.035
total												1.02

Equations:

Weighted E = Ea\*Aa + Eb\*Ab + Ec\*Ac + Ed\*Ad / (Total Area)

Volume = Weighted D \* Total Area

Flow = Qa \* Aa + Qb \* Ab + Qc \* Ac + Qd \* Ad

Where for 100-year, 6-hour storm- zone 1

Ea= 0.44	Qa= 1.29
Eb= 0.67	Qb= 2.03
Ec= 0.99	Qc= 2.87
Ed= 1.97	Qd= 4.37

ONSITE Conditions

FIRST FLUSH WATER QUALITY	VOLUME REQUIRED (CF)	PROVIDED (CF)
WATER QUALITY	174	283

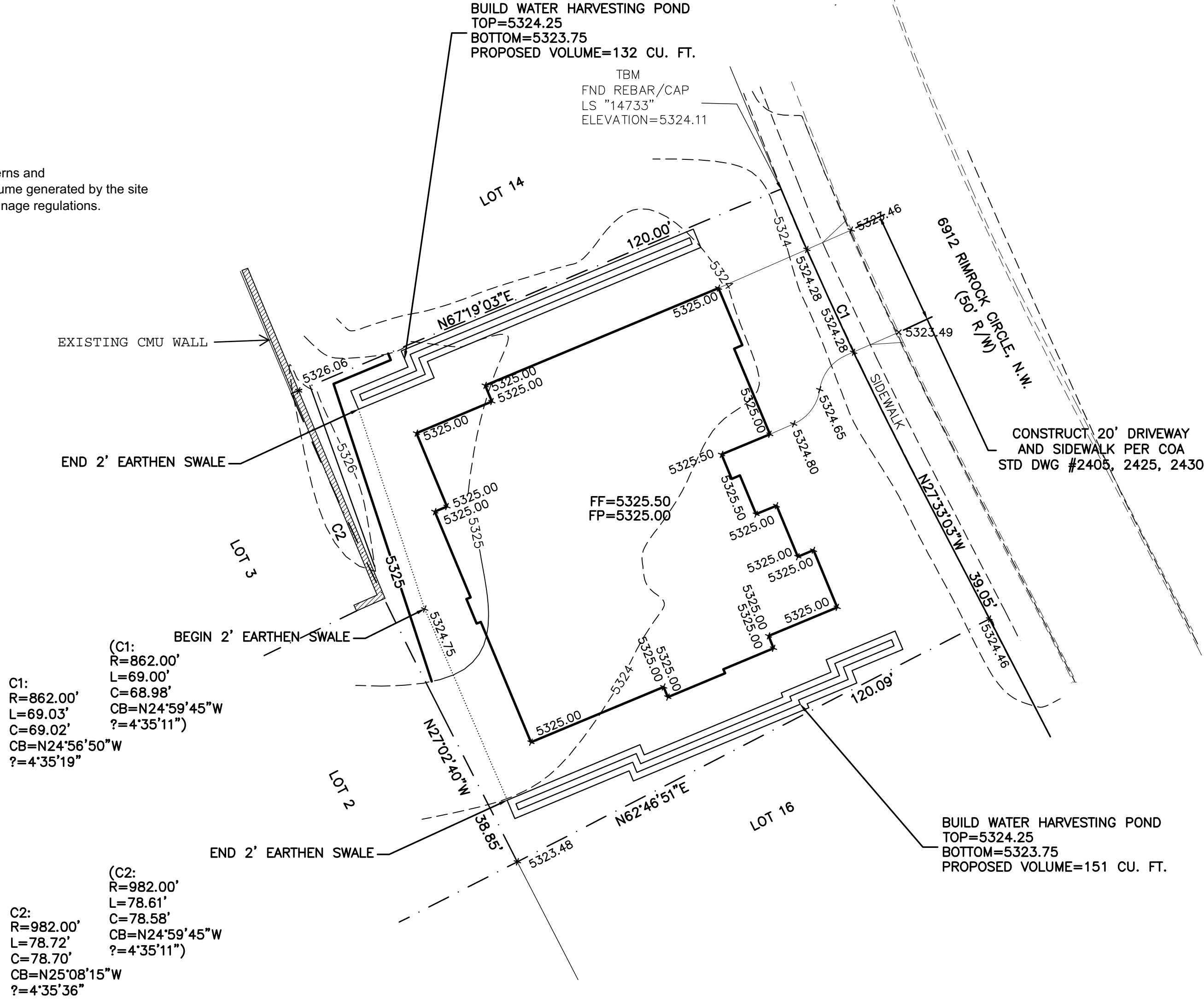
Narrative

This site is within the SAD 226 Master Drainage plan boundaries. The site is to maintain existing patterns and drain to the the adjacent roadway per the master drainage plan. We are ponding the water harvest volume generated by the site there is not measurable upland flow. This plan has a shallow water harvest pond in excess of the drainage regulations. This plan is in conformance to the master drainage plan

I, DAVID SOULE HAVE PERSONALLY INPECTED THE SITE. I HEREBY CERTIFY THE PAD HAS BEEN CONSTRUCTED SUCH THAT IT IS IN SUBSTANTIAL CONFORMANCE TO THE APPROVED GRADING PLAN DATED 7/18/17



12/12/17

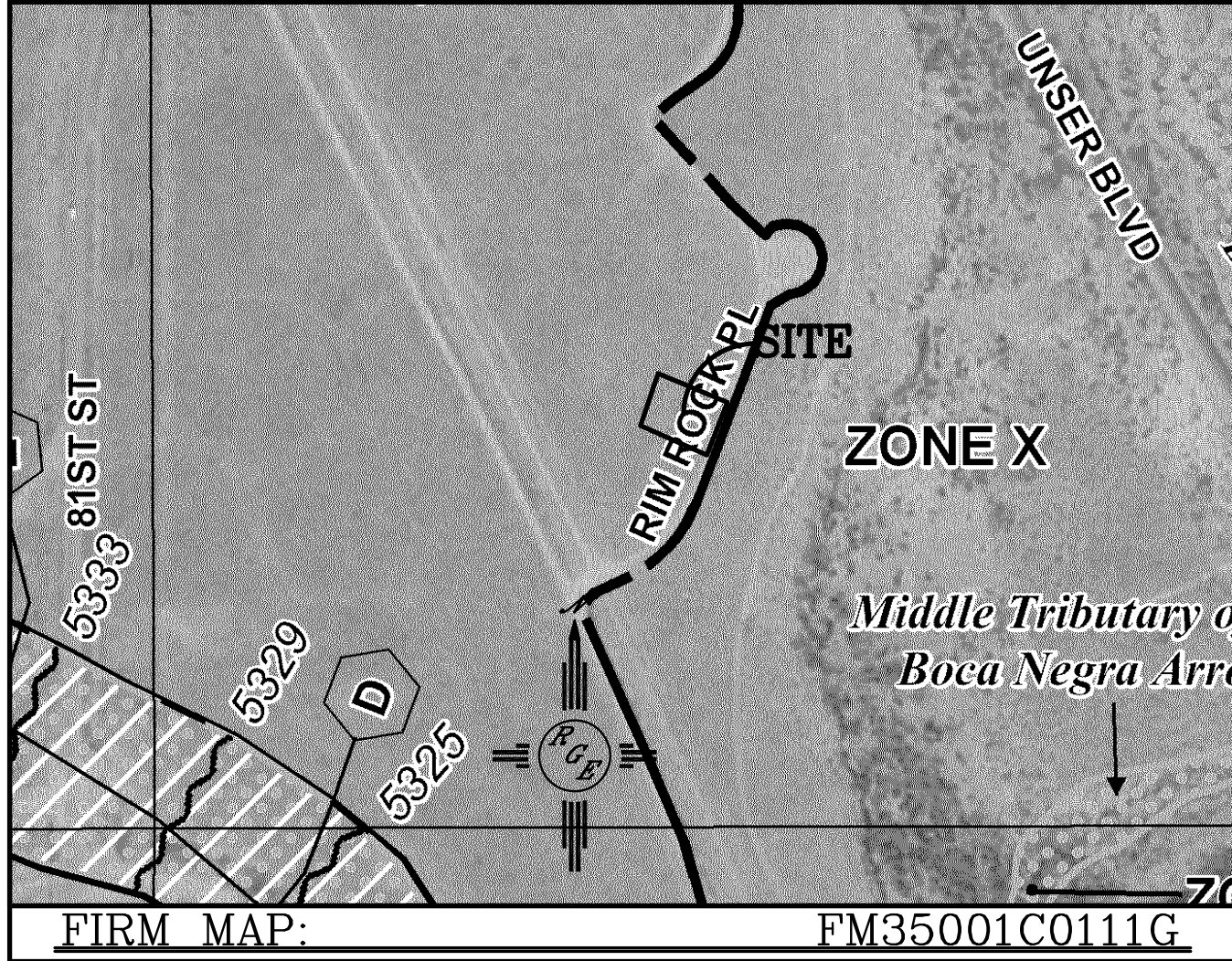
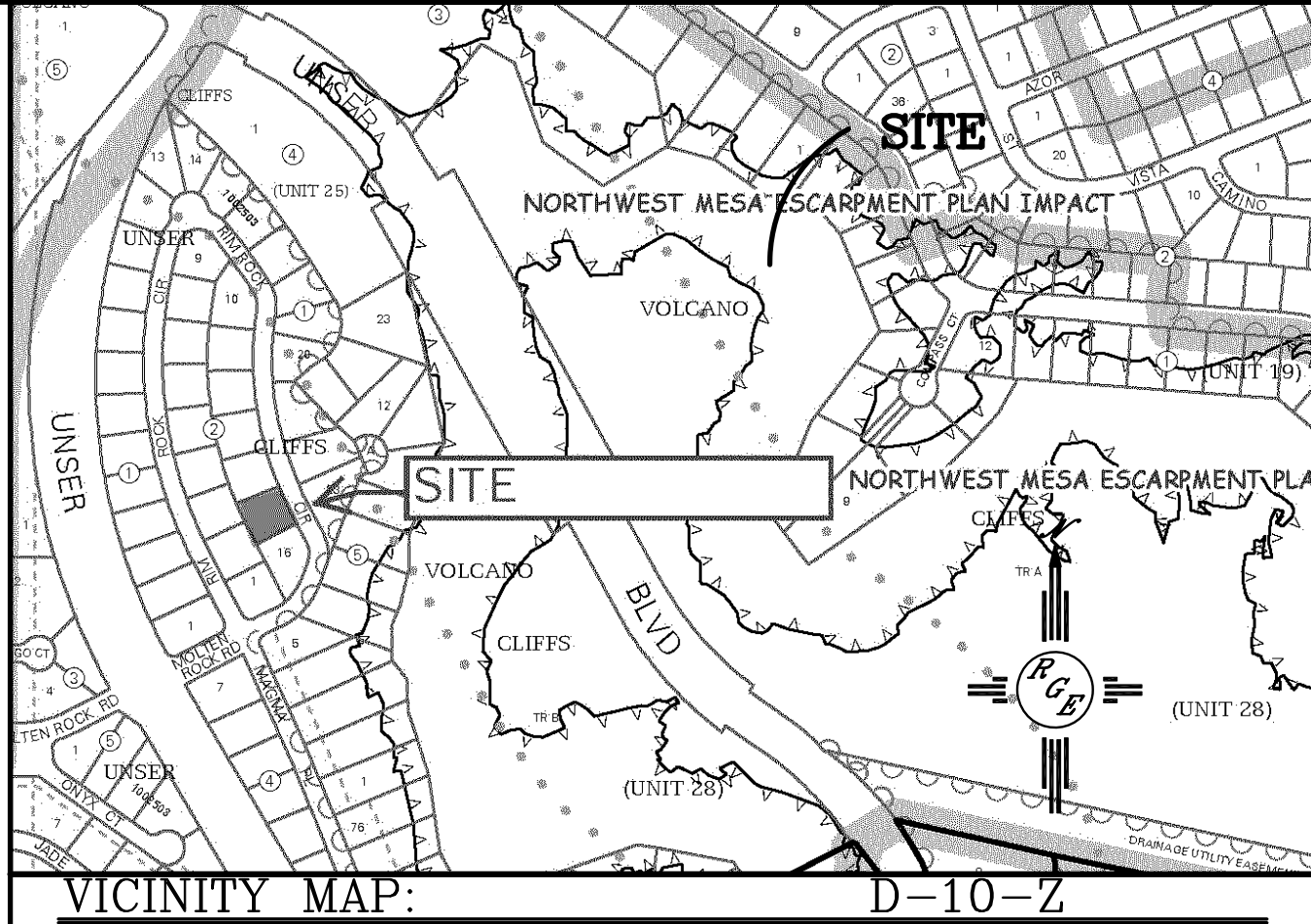


CAUTION:

EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.

EROSION CONTROL NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.



LEGAL DESCRIPTION:

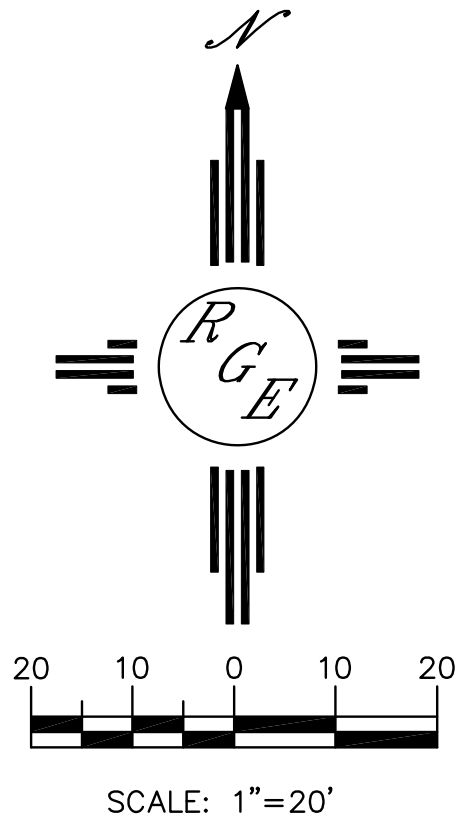
LOT 15, BLOCK 2 UNSER CLIFFS SUBDIVISION

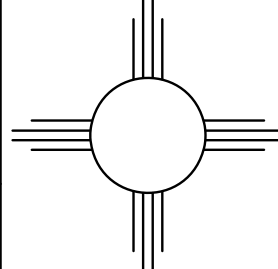
NOTES:

1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
2. ALL SLOPES SHALL BE 3:1 MAX. AND GRAVEL OR NATIVE SEEDING PRIOR TO CO.
3. ANY PERIMETER WALLS MUST BE PERMITTED SEPARATELY. ALL RETAINING WALL DESIGN SHALL BE BY OTHERS. THIS PLAN MUST BE SUBMITTED WHEN PERMITTING ANY WALLS.
4. A PAD CERTIFICATION IS REQUIRED PRIOR TO RELEASE OF BUILDING PERMIT

LEGEND

-----XXXX-----	EXISTING CONTOUR
- - - - -XXXX- - - - -	EXISTING INDEX CONTOUR
-----XXXX-----	PROPOSED CONTOUR
-----XXXX-----	PROPOSED INDEX CONTOUR
-----XXXX-----	SLOPE TIE
+ XXXX	EXISTING SPOT ELEVATION
+ XXXX	PROPOSED SPOT ELEVATION
-----	BOUNDARY
-----	CENTERLINE
-----	RIGHT-OF-WAY
=====	EXISTING CURB AND GUTTER
=====	PROPOSED CMU SCREEN WALL 0'-3' MAX RETAINAGE (DESIGN BY OTHERS)



ENGINEER'S SEAL  DAVID SOULE NEW MEXICO 14522 REGISTERED PROFESSIONAL ENGINEER  7/18/17 7/16/17  DAVID SOULE P.E. #14522	6912 RIM ROCK	DRAWN BY WCMJ
	GRADING AND DRAINAGE PLAN	DATE 7-15-17
	 <b>Rio Grande Engineering</b> 1606 CENTRAL AVENUE SE SUITE 201 ALBUQUERQUE, NM 87106 (505) 872-0999	21764-LAYOUT-7-14-17
		SHEET # —  JOB # 21764