

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

August 2, 2021

David Soule, P.E.
Rio Grande Engineering
PO Box 93924
Albuquerque, New Mexico 87199

RE: **Lot 9 Block 1 S.A.D. 227 Unit 5**
6701 Rim Rock Cir. NW
Grading and Drainage Plan
Engineers Stamp Date 7/30/2021 (D10D022)

Mr. Soule,

Based upon the information provided in your submittal received 7/30/2021, this plan is approved for Grading Permit. Please inform the builder/owner to attach a copy of this approved plan and letter into the construction sets in the permitting process prior to sign-off by Hydrology.

PO Box 1293

Reiterate to the Owner/Contractor that a separate permit for any garden/retaining wall must be obtained, with the approved G&D plan. Advise the owner contractor not to use dirt as a ramp to climb the curb, use lumber or crusher fines for this purpose.

Albuquerque

Also, let the owner/contractor know that if a pool is to be added in the future the G&D plan will need to be modified showing the location of the pool and the land treatment differences.

NM 87103

Prior to Building Permit approval, a **Pad Certification** will be required. Inform the contractor/owner not to pile dirt in the street as a ramp to climb the curb. If dirt is found in the street the pad cert. will be denied.

www.cabq.gov

Prior to **Certificate of Occupancy release**, Engineer Certification per the DPM checklist of this plan will be required.

If you have any questions, please contact me at 924-3986 or Rudy Rael at 924-3977.

Sincerely,

Ernest Armijo, P.E.
Principal Engineer, Planning Dept.
Development Review Services



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: 6701 RIM ROCK **Building Permit #:** _____ **Hydrology File #:** _____

DRB#: _____ **EPC#:** _____ **Work Order#:** _____

Legal Description: LOT 9, BLOCK 1 UNSER CLIFFS

City Address: 6701 RIM ROCK

Applicant: LITTLE BUBBAS **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Other Contact: RIO GRANDE ENGINEERING **Contact:** DAVID SOULE

Address: PO BOX 93924 ALB NM 87199

Phone#: 505.321.9099 **Fax#:** 505.872.0999 **E-mail:** david@riograndeengineering.com

TYPE OF DEVELOPMENT: ☐ PLAT ☒ RESIDENCE ☐ DRB SITE ☐ ADMIN SITE

Check all that Apply:

DEPARTMENT:

☒ HYDROLOGY/ DRAINAGE
☐ TRAFFIC/ TRANSPORTATION

TYPE OF SUBMITTAL:

☐ ENGINEER/ARCHITECT CERTIFICATION
☐ PAD CERTIFICATION
☐ CONCEPTUAL G & D PLAN
☒ GRADING PLAN
☐ DRAINAGE REPORT
☐ DRAINAGE MASTER PLAN
☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
☐ ELEVATION CERTIFICATE
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ STREET LIGHT LAYOUT
☐ OTHER (SPECIFY) _____
☐ PRE-DESIGN MEETING?

IS THIS A RESUBMITTAL?: ☐ Yes ☒ No

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY

☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL

☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR
☐ FLOODPLAIN DEVELOPMENT PERMIT
☐ OTHER (SPECIFY) _____

DATE SUBMITTED: _____ **By:** _____

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

| Weighted E Method | | | | | | | | | | | | 100-Year, 6-hr. | | |
|-------------------|--------------|-----------------|--------------------------|--------------------------|--------------------------|--------------------------|---------------------|-------------------|-------------|-------|-------|-----------------|--|------|
| Basin | Area (sf) | Area (acres) | Treatment A % (acres) | Treatment B % (acres) | Treatment C % (acres) | Treatment D % (acres) | Weighted (ac-ft) | Volume (ac-ft) | Flow cfs | | | | | |
| ALLOWED | 13475.00 | 0.309 | 0% | 0 | 26% | 0.080 | 40% | 0.1237 | 34% | 0.105 | 1.240 | 0.032 | | 0.98 |
| PROPOSED | 13475.00 | 0.309 | 0% | 0 | 26% | 0.080 | 39% | 0.1206 | 35% | 0.108 | 1.250 | 0.032 | | 0.98 |
| total | | | | | | | | | | | | | | |

Equations:

Weighted E = Ea*Aa + Eb*Ab + Ec*Ac + Ed*Ad / (Total Area)

Volume = Weighted D * Total Area

Flow = Qa * Aa + Qb * Ab + Qc * Ac + Qd * Ad

Where for 100-year, 6-hour storm- zone 1

| | |
|----------|----------|
| Ea= 0.44 | Qa= 1.29 |
| Eb= 0.67 | Qb= 2.03 |
| Ec= 0.99 | Qc= 2.87 |
| Ed= 1.97 | Qd= 4.37 |

ONSITE Conditions

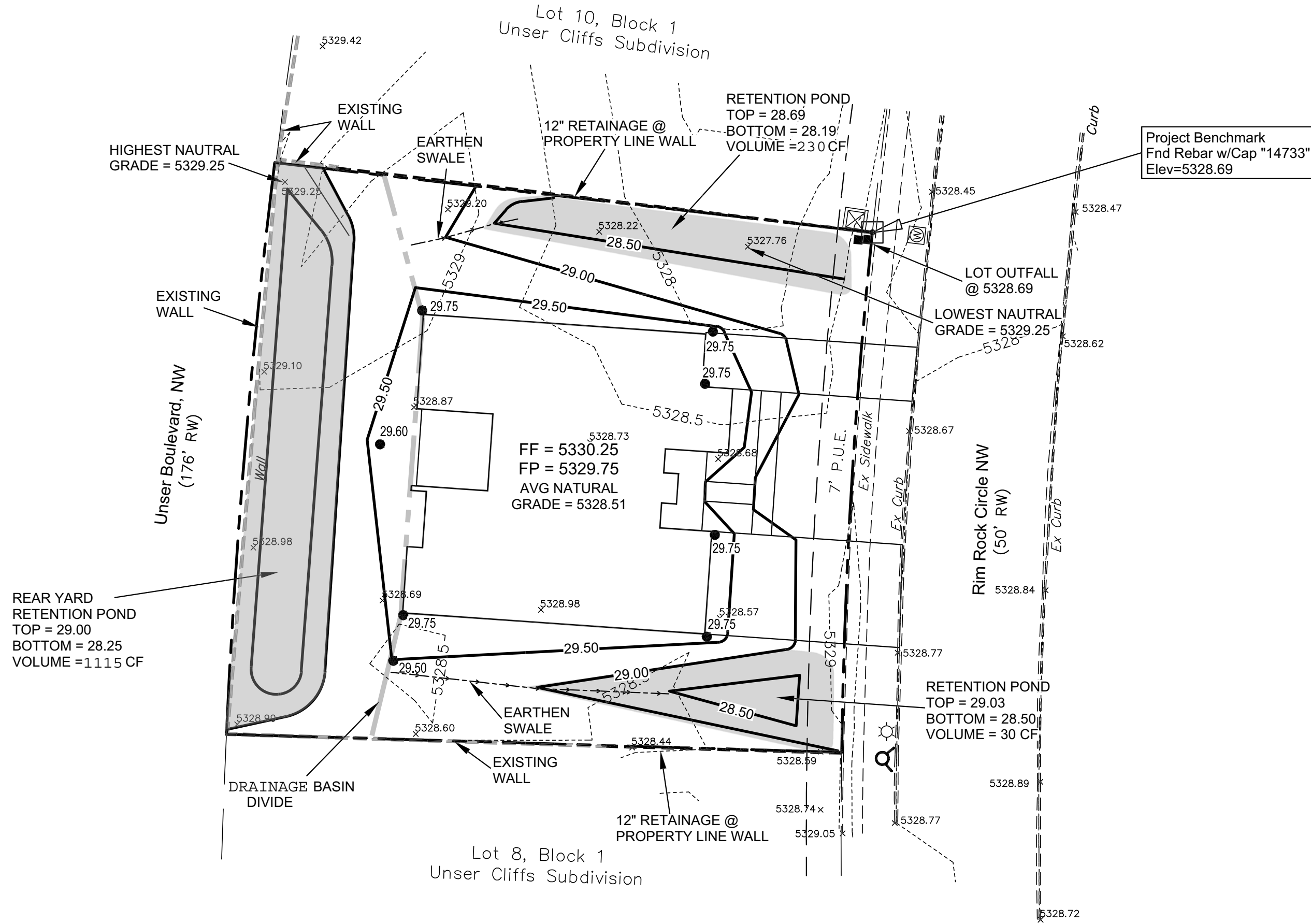
PONDING REQUIREMENTS

WATER QUALITY
FLOOD CONTROL

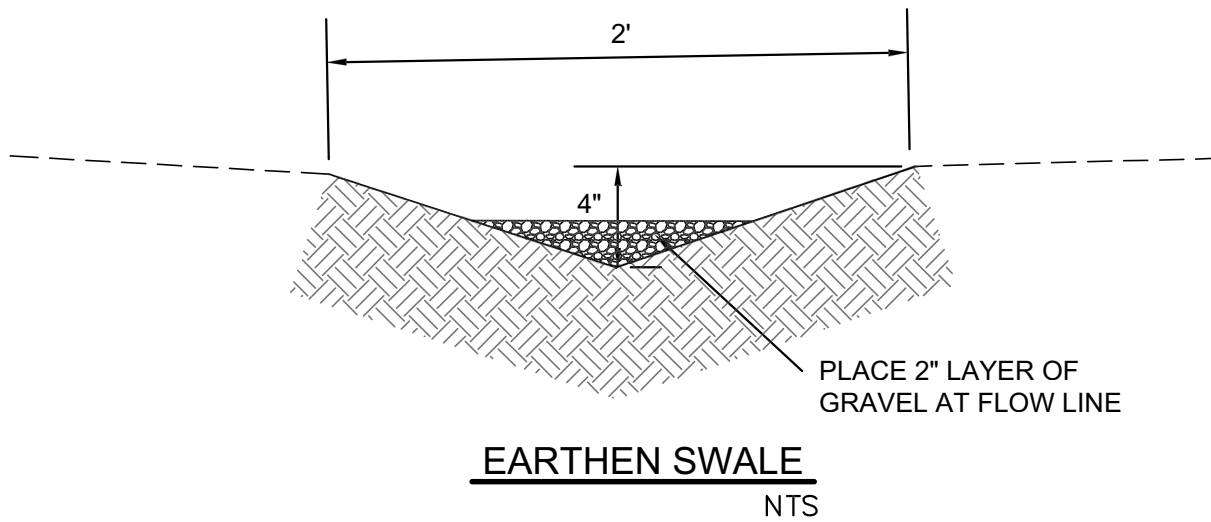
| REQUIRED (CF) | PROVIDED (CF) |
|------------------|------------------|
| 0 | 1375 |
| 11 | 1375 |

Narrative

This site is within the SAD 227 Master Drainage plan boundaries. The site is to maintain existing patterns and drain to the the adjacent roadway per the master drainage plan. We are ponding the water harvest volume generated by the site. The site is not impacted by upland flow. This plan has a shallow water harvest pond in excess of the drainage regulations. This plan generate flow in excess of the allowed in the master drainage plan developed conditions assumption. Therefore ponding is of 11 CF is required. Additional ponding and low slopes are utilized to maintain as low of pad as possible due to height restrictions



CONSTRUCT ALL SWALES AND EROSION PROTECTION (SHOWN HATCHED) BELOW ADJACENT GRADE TO ENSURE RUNOFF CAN BE CAPTURED AND CONVEYED PROPERLY.

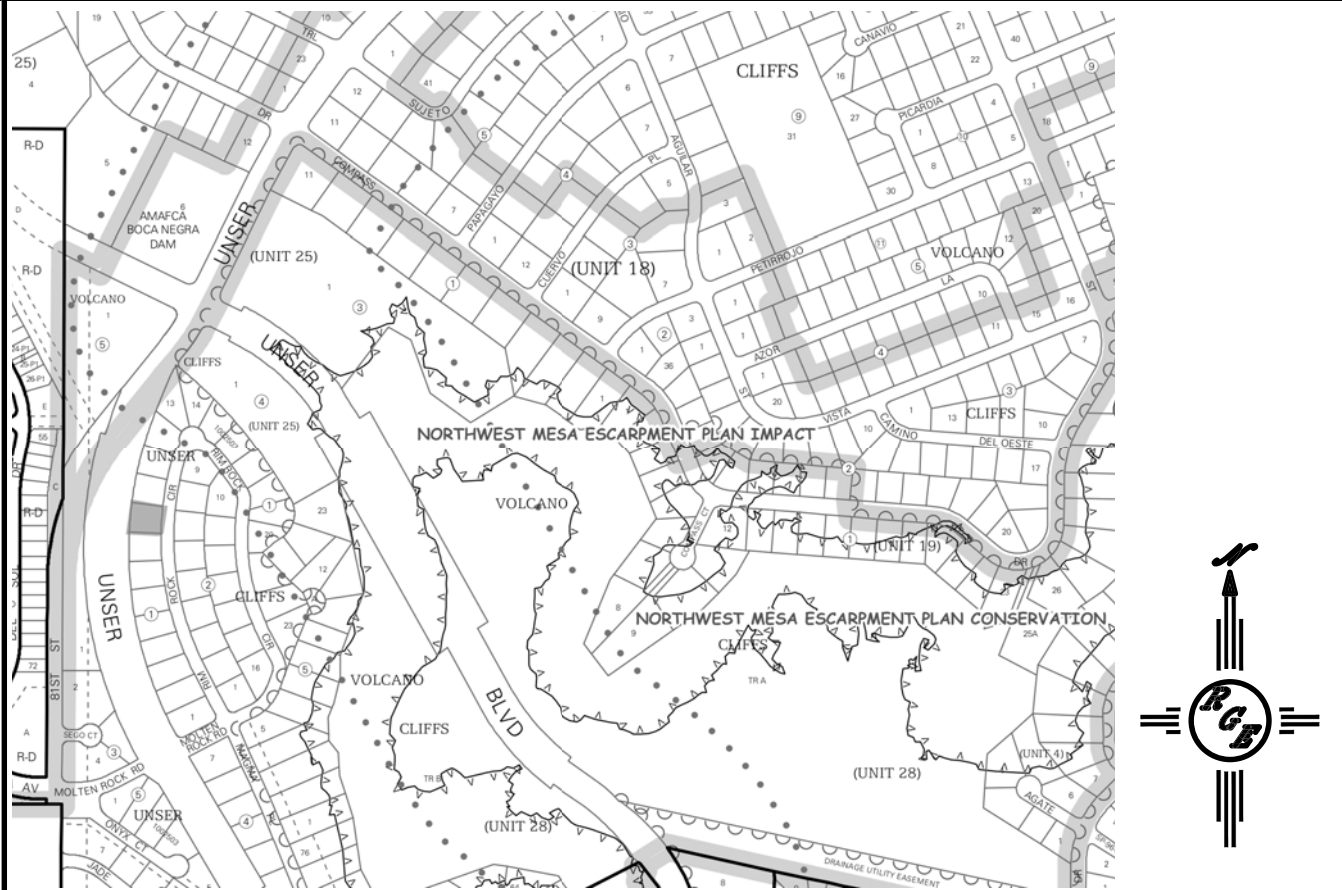


CAUTION:

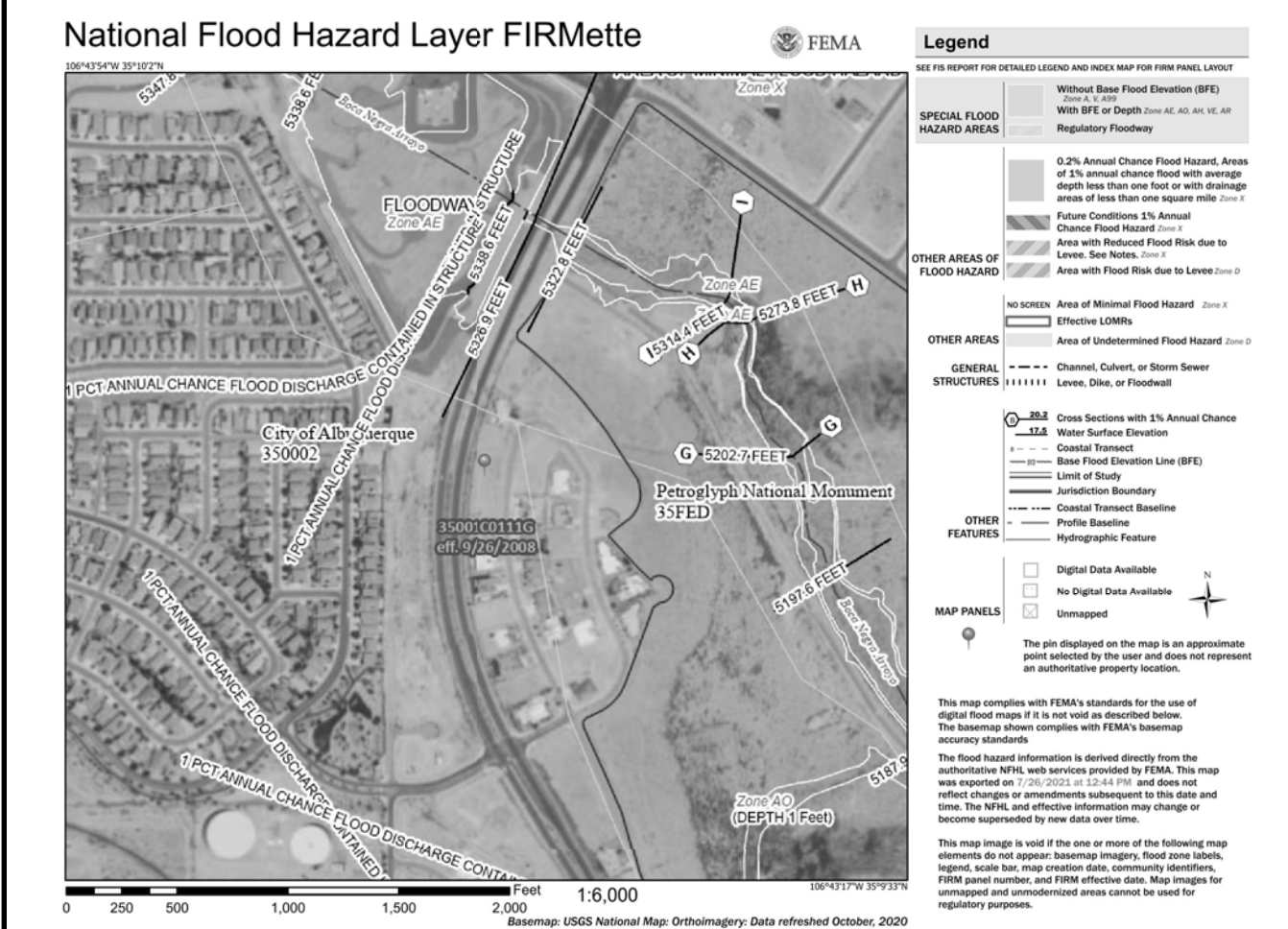
EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.

EROSION CONTROL NOTES:

- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
- REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.



VICINITY MAP: D-10-Z



FIRM MAP:

LEGAL DESCRIPTION:

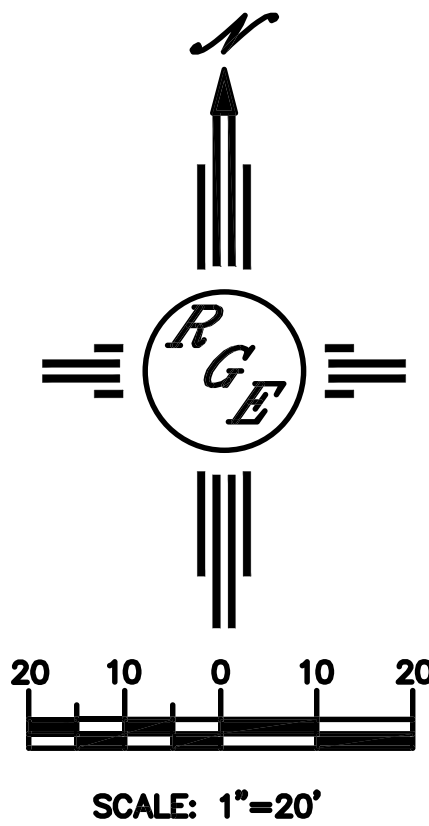
LOT 9 BLOCK 1 UNSER CLIFFS SUBDIVISION
CITY OF ALBUQUERQUE, BERNAILLO COUNTY, NEW MEXICO

NOTES:

- ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
- ALL SLOPES SHALL BE 3:1 MAX. AND GRAVEL OR NATIVE SEEDING PRIOR TO CO.
- ANY PERIMETER WALLS MUST BE PERMITTED SEPARATELY ALL RETAINING WALL DESIGN SHALL BE BY OTHERS.
- SURVEY INFORMATION PROVIDED BY COMMUNITY SCIENCES CORPORATION USING NAVD DATUM 1988.
- A PAD ELEVATION CERTIFICATION SHALL BE REQUIRED PRIOR TO RELEASE OF BUILDING PERMIT.

LEGEND

| | | | |
|-----|------|-----|--------------------------|
| --- | XXXX | --- | EXISTING CONTOUR |
| --- | XXXX | --- | EXISTING INDEX CONTOUR |
| --- | XXXX | --- | PROPOSED CONTOUR |
| --- | XXXX | --- | PROPOSED INDEX CONTOUR |
| + | XXXX | | EXISTING SPOT ELEVATION |
| ● | XXXX | | PROPOSED SPOT ELEVATION |
| --- | | | BOUNDARY |
| --- | | | ADJACENT BOUNDARY |
| == | | | EXISTING CURB AND GUTTER |
| --- | | | PROPOSED EARTHEN SWALE |
| --- | | | PROPOSED RETAINING WALL |
| --- | | | PROPOSED CONCRETE |
| --- | | | PROPOSED PONDING |



| | | |
|--|---|----------------------------------|
| ENGINEER'S SEAL | Lot 9 Blk 1 Unser Cliffs Sub 6701 RIM ROCK CIRCLE | DRAWN BY DEM |
| DAVID SOULE NEW MEXICO REGISTERED PROFESSIONAL ENGINEER 14522 | GRADING AND DRAINAGE PLAN | DATE 7-29-21 |
| 7/30/21 | Rio Grande Engineering P.O. BOX 53924 ALBUQUERQUE, NM 87199 (505) 321-9099 | lot 9 Blk 1 Unser Cliffs Sub DWG |
| DAVID SOULE P.E. #14522 | | SHEET # C1 |
| | | JOB # |