CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director

Mayor Timothy M. Keller

April 18, 2023

Reza Afaghpour, PE
SBS Construction and Engineering, LLC
10209 Snowflake Ct NW
Albuquerque, NM 87114

RE: **Lot 8 Block 2 Unser Cliffs SAD 227**
6704 Rim Rock Circ. NW
Grading and Drainage Plan
Engineers Stamp Date 3/25/2023 (D10D025)

Mr. Afaghpour,

Based upon the information provided in your submittal received 4/17/2023, this plan cannot be approved for grading until the following comments are addressed.

- The building pad cannot be higher than 1 foot above the road elevation, unless there is a reason given on the plan as to why it must be higher than 1 foot.
- Provide a table of land treatments for existing and proposed.

If you have any questions, please contact me at 924-3695 or Rudy Rael at 924-3977.

Sincerely,

Tiequan Chen, P.E.
Principal Engineer, Hydrology
Planning Department, Development Review Services

RR/TC
File D10D025

PO Box 1293
Albuquerque
NM 87103
www.cabq.gov

City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: 6704 Rim Rock Circle, NW Building Permit #: _____ Hydrology File #: _____

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: Lot 8, Block 2, Unser Cliffs Subdivision

City Address: 6704 Rim Rock Circle, NW

Applicant: SBS CONSTRUCTION AND ENGINEEING, LLC Contact: SHAWN BIAZAR

Address: 7632 William Moyers Avenue, NE, ALBUQUERQUE, NM 87114

Phone#: (505) 804-5013 Fax#: (505) 897-4996 E-mail: AECLLC@AOL.COM

Other Contact: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF DEVELOPMENT: _____ PLAT (# of lots) __X__ RESIDENCE _____ DRB SITE ___ ADMIN SITE

IS THIS A RESUBMITTAL? _____ Yes ___X___ No

DEPARTMENT _____ TRANSPORTATION __X__ HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

____ ENGINEER/ARCHITECT CERTIFICATION
____ PAD CERTIFICATION
____ CONCEPTUAL G & D PLAN
__X__ GRADING PLAN
____ DRAINAGE REPORT
____ DRAINAGE MASTER PLAN
____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
____ ELEVATION CERTIFICATE
____ CLOMR/LOMR
____ TRAFFIC CIRCULATION LAYOUT (TCL)
____ TRAFFIC IMPACT STUDY (TIS)
____ STREET LIGHT LAYOUT
____ OTHER (SPECIFY) _____
____ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

__X__ BUILDING PERMIT APPROVAL
____ CERTIFICATE OF OCCUPANCY

____ PRELIMINARY PLAT APPROVAL
____ SITE PLAN FOR SUB'D APPROVAL
____ SITE PLAN FOR BLDG. PERMIT APPROVAL
____ FINAL PLAT APPROVAL

____ SIA/ RELEASE OF FINANCIAL GUARANTEE
____ FOUNDATION PERMIT APPROVAL
__X__ GRADING PERMIT APPROVAL
____ SO-19 APPROVAL
____ PAVING PERMIT APPROVAL
____ GRADING/ PAD CERTIFICATION
____ WORK ORDER APPROVAL
____ CLOMR/LOMR
____ FLOODPLAIN DEVELOPMENT PERMIT
____ OTHER (SPECIFY) _____

DATE SUBMITTED: 3/27/2023 By: SHAWN BIAZAR

COA STAFF: ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

Location

This project is located at 6704 Rim Rock Cir. Albuquerque, NM 87120 and contains 0.3076 acre. See attached portion of Vicinity Map D-10-Z for exact location.

Purpose

The purpose of this drainage report is to present a grading and drainage solution for the new house.

Existing Drainage Conditions

This project falls within SAD 227 master drainage plan and drain to Rim Rock Cir.

Proposed Conditions and On-Site Drainage Management Plan

The drainage patterns will remain the same. The site will drain to ponds A & B and then to Rim Rock Cir. Ponds A & B are designed to hold a total volume of 537.21 cf. The required first flush volume is 248.58 cf

RUNOFF CALCULATIONS

BASIN	AREA (SF)	AREA (AC)	AREA (MI^2)
ON-SITE	13,400.47	0.30763	0.000481

$$E = \frac{EA(AA) + EB(AB) + EC(AC) + ED(AD)}{AA + AB + AC + AD}$$

EA = 0.55
EB = 0.73
EC = 0.95
ED = 2.24

P-60 = 1.69
P-360 = 2.17
P-1440 = 2.49
P-10 Day = 3.90

AA = 0.00%
AB = 27.00%
AC = 20.00%
AD = 53.00%

E = 1.46 IN
V-360 = 0.0435 AC-FT
V-360 = 1,895.31

A =1.54 CFS/AC
B = 2.16 CFS/AC
C = 2.87 CFS/AC
D = 4.12 CFS/AC

TOTAL QP = Q_{PA}*AA+Q_{PB}*AB+Q_{PC}*AC+Q_{PD}*AD
= 1.23 CFS (PROPOSED)

FIRST FLIUSH PONDING REQUIREMENT

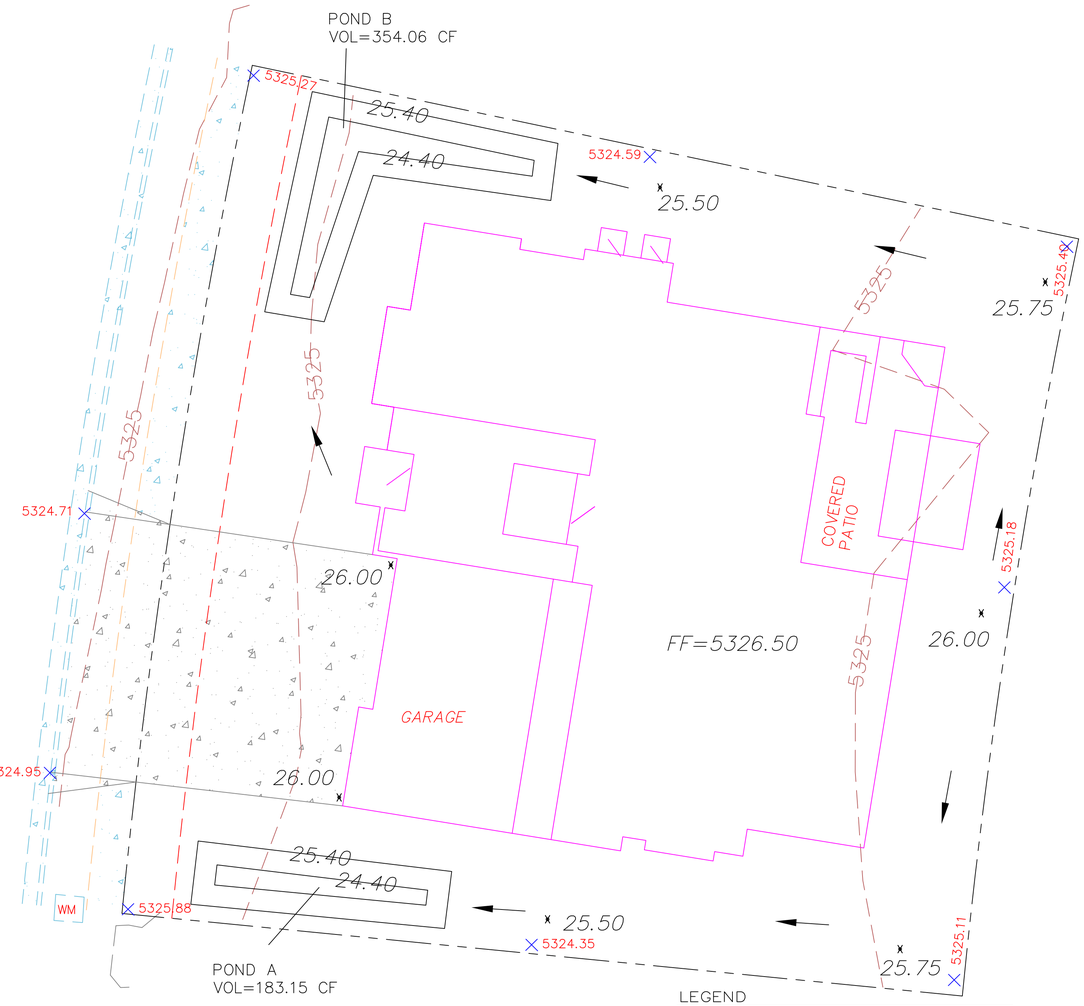
IMPERVIOUS AREA =7,102.55 SF
FIRST FLUSH VOL. REQUIRED. = 0.42" x 7,102.55 / 12 = 248.58 CF

PONDING VOLUME CALCULATION

POND A:
AREA @ ELEV. 25.40 = 302.04 SF
AREA @ ELEV. 24.40 = 64.25 SF
POND VOLUME=(302.04+64.25)/2*1.00=183.15 CF

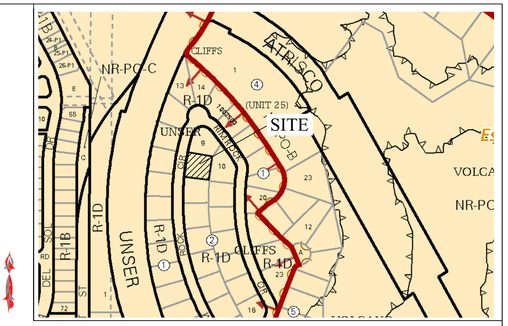
POND B:
AREA @ ELEV. 25.40 = 530.61 SF
AREA @ ELEV. 24.40 = 177.51 SF
POND VOLUME=(530.61+177.51)/2*1.00=354.06 CF

TOTAL PONDING VOLUME PROVIDED = 183.15+354.06 = 537.21 CF

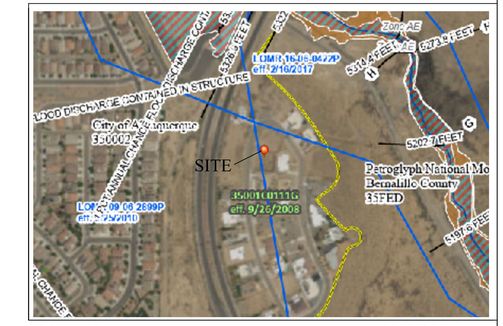


LEGEND

5030	EXISTING CONTOUR (MAJOR)
5029	EXISTING CONTOUR (MINOR)
	BOUNDARY LINE
X 28.50	PROPOSED SPOT ELEVATION
X 5029.16	EXISTING GRADE
X 5075.65 FL	EXISTING FLOWLINE ELEVATION
	PROPOSED RETAINING WALL
BC=89.08	BOTTOM OF CHANEL
TF=28.50	TOP OF FOOTING
TRW=28.00	TOP OF RETAINING WALL
HP	HIGH POINT
86.65 ~~85.47~~	AS-BUILT GRADES
X 5325.64 ~~FF=5326.60~~ FP=5325.90	AS-BUILT SPOT ELEVATIONS



VICINITY MAP: D-10-Z



FIRM MAP: 35001C0111G

LEGAL DESCRIPTION:
LOT 8, BLOCK 2, UNSER CLIFFS SUBDIVISION
ADDRESS: 6704 RIM ROCK CIR NW ALBUQUERQUE NM 87120

BENCHMARK
CITY BNCHMARK 17_D10, ELEEVATION OF 5325.068 FEET ABOVE SEA LEVEL.

EROSION CONTROL PLAN AND POLLUTION PREVENTION NOTES

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
3. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUNOFF ON SITE.
4. REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.

GENERAL NOTES:

1: CONTOUR INTERVAL IS HALF (1.00) FOOT.
2: ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE CONTROL STATION 17_D10, HAVING AN ELEVATION OF 5325.068 FEET ABOVE SEA LEVEL.
3: UTILITIES SHOWN HEREON ARE IN THEIR APPROXIMATE LOCATION BASED ONLY ON ABOVE GROUND EVIDENCE FOUND IN THE FIELD AND AS-BUILT INFORMATION PROVIDED BY THE CLIENT. UTILITIES SHOWN HEREON, WHETHER INDICATED AS ABANDONED OR NOT, SHALL BE VERIFIED BY OTHERS FOR EXACT LOCATION AND/ OR DEPTH PRIOR TO EXCAVATION OR DESIGN CONSIDERATIONS.
4: THIS IS NOT A BOUNDARY SURVEY, BEARINGS ARE ASSUMED, DISTANCES AND FOUND PROPERTY CORNERS ARE FOR INFORMATIONAL PURPOSES ONLY.
5: SLOPES ARE AT 3:1 MAXIMUM.
6: ADD 5300 TO ALL PROPOSED SPOT ELEVATIONS.

GRAPHIC SCALE
10 5 0 10
SCALE: 1"=10'

REZA AFAGHPOUR
NEW MEXICO
11814
3/25/2023
LICENSED PROFESSIONAL ENGINEER

REZA AFAGHPOUR
P.E. #11814

SBS CONSTRUCTION AND ENGINEERING, LLC
7632 WILLIAM MOYERS AVE., NE
ALBUQUERQUE, NEW MEXICO 87122
(505)804-5013

6704 RIM ROCK CIR NW GRADING PLAN

DRAWING:	DRAWN BY:	DATE:	SHEET #
RIM ROCK GD.dwg	SH-B	3/25/2023	1

LAST REVISION: 3/25/2023