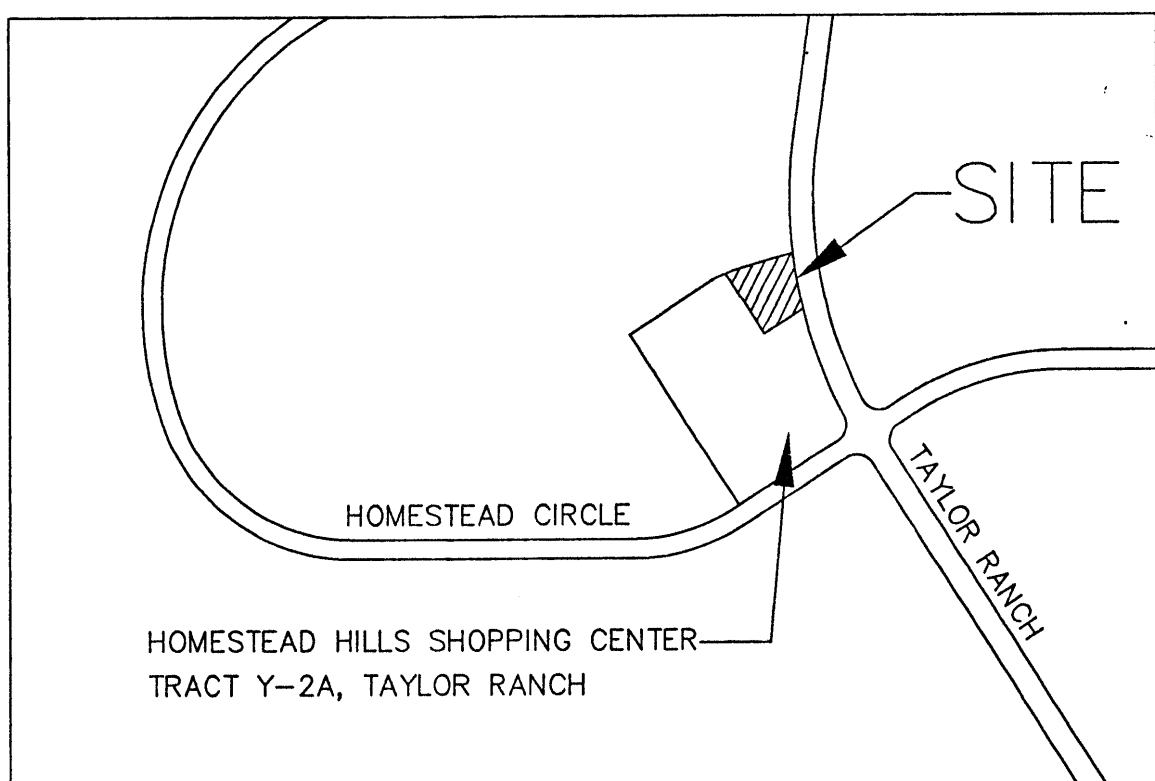


D11-09B



VICINITY MAP D-11-Z

SCALE: 1" = 20'

GENERAL TOPOGRAPHIC SURVEY NOTES:
1: ADD 5100 TO SPOT ELEVATIONS TO SHOW TRUE ELEVATIONS.
2: CONTOUR INTERVAL IS ONE (1) FOOT.
3: ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE CONTROL STATION "1-D11", HAVING AN ELEVATION OF 5116.47 FEET ABOVE SEA LEVEL.
4: UTILITIES SHOWN HEREON ARE IN THEIR APPROXIMATE LOCATION BASED ONLY ON ABOVE GROUND EVIDENCE FOUND IN THE FIELD AND AS-BUILT INFORMATION PROVIDED BY THE CLIENT. UTILITIES SHOWN HEREON, WHETHER INDICATED AS ABANDONED OR NOT, SHALL BE VERIFIED BY OTHERS FOR EXACT LOCATION AND/ OR DEPTH PRIOR TO EXCAVATION OR DESIGN CONSIDERATIONS.
5: THIS NOT A BOUNDARY SURVEY. BEARINGS AND DISTANCES SHOWN ON THIS SURVEY IS OUT FOR REFERENCE ONLY.

ON-SITE FLOW:

The site is west of the Rio Grande River and is, therefore, in Precipitation Zone 1.

LAND TREATMENT	q(cfs/ac)				E (in)		Existing Site Areas		Developed Site Areas		Runoff - Existing Conditions				Runoff - Developed Conditions			
	100-yr.	10-yr.	100-yr.	10-yr.	%	Sq. Ft.	%	Sq. Ft.	%	Sq. Ft.	Q-100	Q-10	V-100	V-10	Q-100	Q-10	V-100	V-10
A	1.29	0.24	0.44	0.08	0.0	0	0.0000	00.0	0	0.0000	0.00	0.00	0	0	0.00	0.00	0	0
B	2.03	0.76	0.67	0.22	3.4	1,510	0.0348	4.9	2,150	0.0494	0.07	0.03	84	28	0.10	0.04	120	39
C	2.87	1.49	0.99	0.44	7.4	32,905	0.7554	0.0	0	0.0000	2.17	1.13	2,714	107	0.00	0.00	0	0
D	4.37	2.89	1.97	1.24	21.9	9,660	0.2218	95.1	41,925	0.9624	0.97	0.64	1,586	998	4.21	2.78	6,883	4,332
Totals					100.0	44,075	1.0118	100.0	44,075	1.0118	3.21	1.80	4,394	1,133	4.31	2.82	7,003	4,371

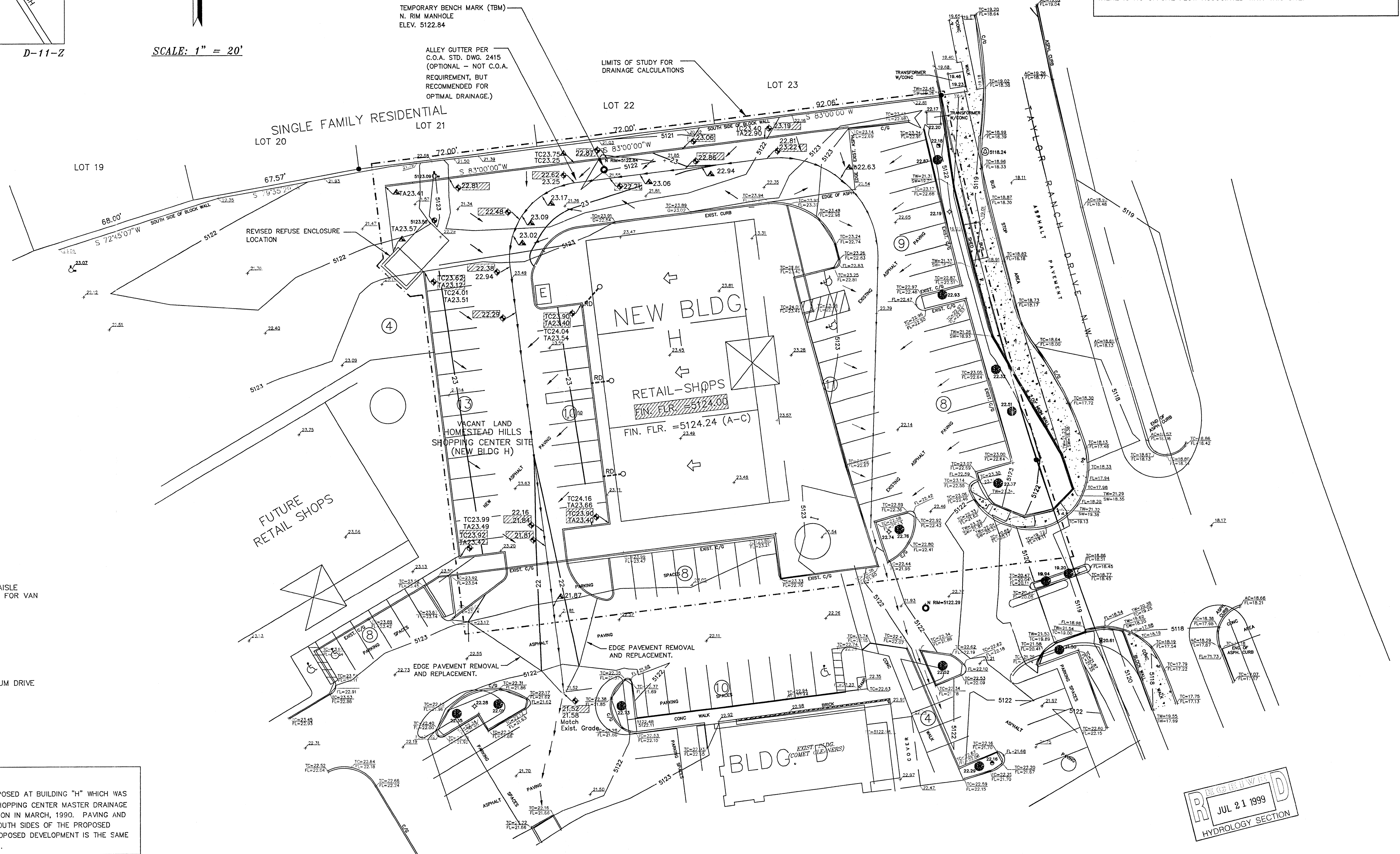
OFF-SITE FLOW:
THERE IS NO OFFSITE FLOW ASSOCIATED WITH THIS SITE.

- LEGEND
- ASPHALT CURBING W/FLOWLINE
 - CONCRETE CURBING W/GUTTER
 - CONCRETE
 - TELEPHONE MANHOLE
 - PHONE RISER
 - FIRE HYDRANT
 - WATER VALVE
 - WATER METER
 - IRRIGATION CONTROL VALVE
 - SAN. SEW MANHOLE
 - TRANSFORMER W/CONC PADS
 - LIGHT POLE
 - PARKING SPACES
 - TOP OF WALL
 - TOP OF SIDEWALK
 - TREES
 - ROOF SLOPE
 - ROOF DRAIN THROUGH CURB
 - FLOW DIRECTION
 - EXIST. SPOT ELEV.
 - NEW SPOT ELEV.
 - EXIST. CONTOUR
 - NEW CONTOUR
- KEY - FROM SITE PLAN
- T TRASH ENCLOSURE
 - E ELECTRICAL TRANSFORMER
 - F FOUNTAIN
 - SC SMALL CAR PARKING 7.5' X 15'
 - Handicap Parking 8.5' X 20' PLUS AISLE EITHER 3.5' OR 8' FOR VAN
 - EXISTING FIRE HYDRANT
 - EXISTING 18" ELECTRIC POLE PARKING LOT LIGHT (ALL LIGHTING IS DOWN LIGHTING)
 - STANDARD PARKING SPACE 8.5' X 20' 24' MINIMUM DRIVE
 - A-C AS-CONSTRUCTED.
 - REVISED SPOT ELEV. (AS-CONSTRUCTED)
 - NEW SPOT ELEV. (AS-CONSTRUCTED)
 - VOIDED SPOT ELEVATION

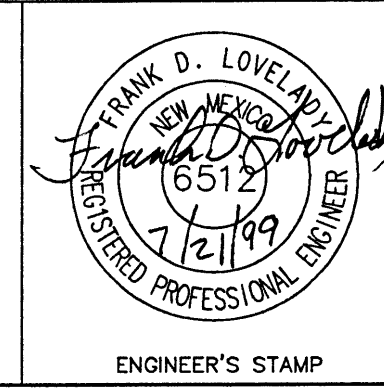
PROJECT DESCRIPTION:
A BUILDING CONTAINING THREE RETAIL SHOPS IS PROPOSED AT BUILDING "H" WHICH WAS ORIGINALLY THE EAST WING OF BUILDING "A". THE SHOPPING CENTER MASTER DRAINAGE PLAN WAS DONE BY COMMUNITY SCIENCES CORPORATION IN MARCH, 1990. PAVING AND CONCRETE CURBS ARE EXISTING ON THE EAST AND SOUTH SIDES OF THE PROPOSED BUILDING. THE LAND TREATMENT AREAS FOR THE PROPOSED DEVELOPMENT IS THE SAME AS FOR THE APPROVED GRADING AND DRAINAGE PLAN.

FLOOD IMPROVEMENT RATE MAP:
PANEL NO. 112 OF 825. NO FLOOD ZONES ARE ASSOCIATED WITH THIS SITE.

LEGAL DESCRIPTION:
TRACT Y-2A, TAYLOR RANCH.



ENGINEERS CERTIFICATION
HAVING PERSONALLY INSPECTED THE SITE AND HAVING TAKEN CRITICAL SPOT ELEVATIONS AND FINISH FLOOR ELEVATION OF THE SITE, I HEREBY CERTIFY THAT THIS AS-CONSTRUCTED GRADING AND DRAINAGE PLAN IS IN SUBSTANTIAL CONFORMANCE WITH THE APPROVED GRADING AND DRAINAGE PLAN WITH ENGINEER'S STAMP DATED 3/4/99.
FRANK D. LOVELADY N.M.P.E. 6512 DATE: 7/21/99



FRANK D. LOVELADY, P.E.
300 ALAMOSA ROAD NW
ALBUQUERQUE, NEW MEXICO 87107
Ph. (505)345-2267 Fax (505)345-2215

AS-CONSTRUCTED
GRADING AND DRAINAGE PLAN
BUILDING H
HOMESTEAD HILLS SHOPPING CENTER
ALBUQUERQUE, NEW MEXICO