

CITY OF ALBUQUERQUE



September 17, 2018

Jean J. Bordenave, P.E.
Bordenave Designs
P.O. Box 9194 Albuquerque, NM, 87199

Re: Taylor Ranch Self Storage, 6971 Taylor ranch Dr. NW Building A
Request for Certificate of Occupancy
Transportation Development Final Inspection
Engineer's/Architect's Stamp dated 09-12-2018 (D11-D009B1)
Certification dated 09-14-18

Dear Mr. Bordenave,

Based upon the information provided in your submittal received 09-14-18, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact me at (505)924-3675.

Sincerely,

Mojgan Maadandar
Associate Engineer, Planning Dept.
Development Review Services

MM via: email
C: CO Clerk, File

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: Taylor Ranch Self Storage Bldg A Addition Building Permit #: D11-009B1 Hydrology File #: D11-009B1
DRB#: 1002776 EPC#: _____ Work Order#: _____

Legal Description: Tract Y-2A-1-A

City Address: 6971 Taylor Ranch Drive NW

Applicant: BORDENAVE DESIGNS Contact: J. Bordenave

Address: P.O. Box 91194, Alb, NM, 87199

Phone#: 505-823-1344 Fax#: _____ E-mail: jkbordenave@comcast.net

Other Contact: Kevin Juno Architect Contact: Kevin Juno

Address: _____

Phone#: 505-892-8453 Fax#: _____ E-mail: Juno Architects @ aol.com

TYPE OF DEVELOPMENT: _____ PLAT (# of lots) _____ RESIDENCE _____ DRB SITE _____ ADMIN SITE

IS THIS A RESUBMITTAL? _____ Yes X No

DEPARTMENT X TRANSPORTATION X HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- X ENGINEER/ARCHITECT CERTIFICATION
- _____ PAD CERTIFICATION
- _____ CONCEPTUAL G & D PLAN
- _____ GRADING PLAN
- _____ DRAINAGE REPORT
- _____ DRAINAGE MASTER PLAN
- _____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- _____ ELEVATION CERTIFICATE
- _____ CLOMR/LOMR
- _____ TRAFFIC CIRCULATION LAYOUT (TCL)
- _____ TRAFFIC IMPACT STUDY (TIS)
- _____ STREET LIGHT LAYOUT
- _____ OTHER (SPECIFY) _____
- _____ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- _____ BUILDING PERMIT APPROVAL
- X CERTIFICATE OF OCCUPANCY
- _____ PRELIMINARY PLAT APPROVAL
- _____ SITE PLAN FOR SUB'D APPROVAL
- _____ SITE PLAN FOR BLDG. PERMIT APPROVAL
- _____ FINAL PLAT APPROVAL
- _____ SIA/ RELEASE OF FINANCIAL GUARANTEE
- _____ FOUNDATION PERMIT APPROVAL
- _____ GRADING PERMIT APPROVAL
- _____ SO-19 APPROVAL
- _____ PAVING PERMIT APPROVAL
- _____ GRADING/ PAD CERTIFICATION
- _____ WORK ORDER APPROVAL
- _____ CLOMR/LOMR
- _____ FLOODPLAIN DEVELOPMENT PERMIT
- _____ OTHER (SPECIFY) _____

DATE SUBMITTED: 09/12/18 By: [Signature]

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

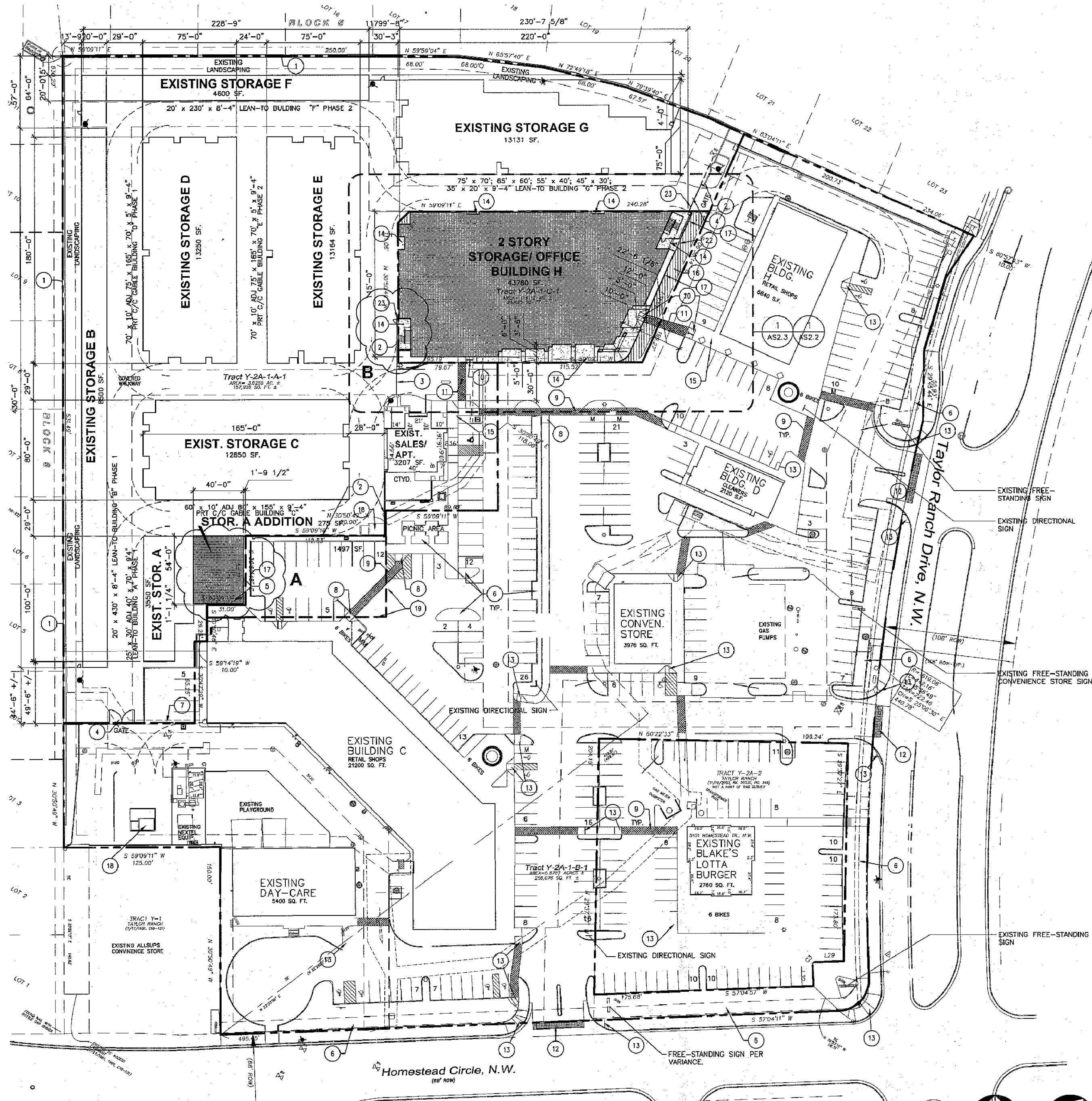
SITE CRITERIA

PROJECT: TAYLOR RANCH STORAGE PHASE 3
 LOCATION: 6971 TAYLOR RANCH DR. NW
 OWNER: DAN RICH
 ARCHITECT: JUNO ARCHITECTS
 LEGAL DESCRIPTION: TRACTS Y-2A-A, Y-2A-B, Y-2A-C, & Y-2A-D, TAYLOR RANCH, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.
 ZONING ATLAS MAP: D-11-Z
 CURRENT ZONING CLASSIFICATION: C-2 SC
 PROPOSED ZONING CLASSIFICATION: C-2 SC CONDITIONAL USE FOR STORAGE OF HOUSEHOLD GOODS AND A DWELLING UNIT.
 BUILDING TYPE: TYPE II-B, SPRINKLERED (STORAGE H); TYPE II-B NON-SPRINKLERED (STORAGE A ADDITION & STORAGE J)
 TOTAL BUILDING AREA:
 EXISTING RETAIL/SERVICE = 34136 SF
 EXISTING DAY-CARE = 5400 SF
 EXISTING FAST FOOD = 2760 SF
 EXISTING SALES = 1032 SF
 EXISTING DWELLING = 1642 SF
 EXISTING GARAGE = 456 SF
 EXISTING STORAGE = 69045 SF
 NEW OFFICE = 42128 SF
 NEW OFFICE = 1652 SF
 TOTAL = 158251 SF
 TOTAL LOT AREA: 10.1154 AC.
 TOTAL PARKING AREA:
 PARKING ANALYSIS:
 RETAIL/SERVICE: 15000 SF/200 = 75
 RETAIL/SERVICE: 20168 SF/250 = 81
 DAY-CARE: 5400 SF/500 + 2 = 13
 FAST FOOD: 1 SP/4 SEATS = 37
 OFFICE: 1652 SF/200 = 9
 DWELLING: 1 SPACE/BATH = 2
 STORAGE: 111173 SF/2000 = 56
 TOTAL = 273
 15% CREDIT = 40
 TOTAL REQUIRED = 233
 ACCESSIBLE PARKING (8 REQUIRED): 13 (PROVIDED)
 MOTORCYCLE PARKING (5 REQUIRED): 6 (PROVIDED)
 TOTAL PARKING PROVIDED = 340
 PARKING SPACE SIZES:
 REGULAR 8'-6" x 20'-0" MIN.
 ACCESSIBLE 8'-6" x 20'-0" + 8' ISLE MIN.
 MOTORCYCLE 4' x 8' MIN.
 REQUIRED BICYCLE SPACES: 1 SPACE/20 PARKING SP. = 15
 NUMBER OF STORAGE UNITS: 595 EXISTING + 356 NEW = 942
 MAXIMUM BUILDING HEIGHT: AS ALLOWED BY ZONING
 MINIMUM BUILDING SETBACK: AS ALLOWED BY C-2 ZONING
 MAXIMUM TOTAL DWELLING UNITS: 1
 MAXIMUM FLOOR AREA RATIO (F.A.R.): .3

LEGEND

- EXISTING BUILDING
- PROPOSED BUILDING
- EXISTING FIRE HYDRANT
- EXISTING FIRE HYDRANT
- FIRE TRUCK TURNING RADIUS
- EXISTING 30' HIGH POLE LIGHT TO REMAIN UNLESS OTHERWISE NOTED
- BUILDING MOUNTED LIGHT FIXTURE (7'-6" A.F.F. TO BOTTOM)
- VEHICLE ACCESS.
- 4'x8' MIN. MOTORCYCLE PARKING SPACE W/12" X 18" SIGN. BOTTOM OF SIGN SHALL HAVE ITS LOWER EDGE NO LESS THAN FOUR FEET ABOVE GRADE.

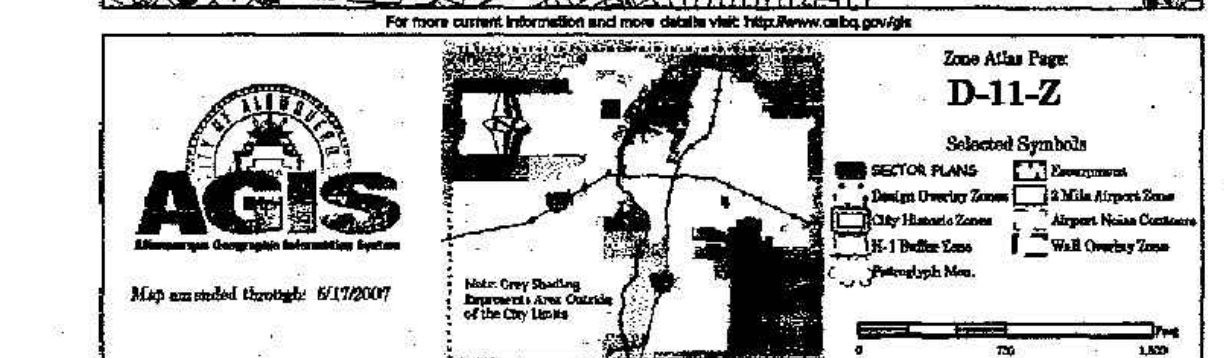
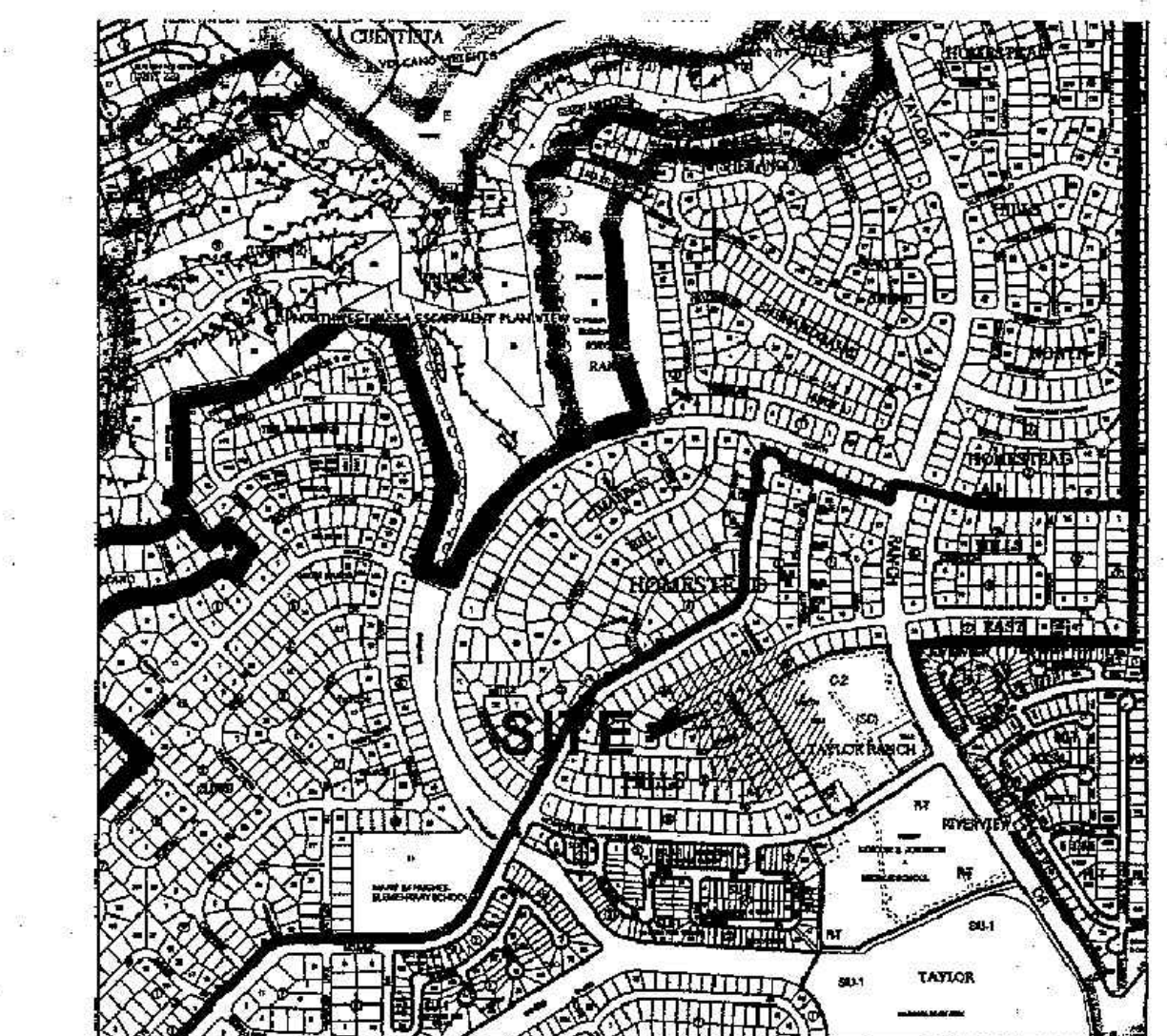
ADMINISTRATIVE AMENDMENT
 FILE # 13-10184 PROJECT # 1002776
 Modifications to Bldgs
 A + H
 APPROVED BY Manne DATE 3/18/13



KEYED NOTES

- 1 EXISTING CMU WALL 8'-0" TO 9'-7" HIGH ON RESIDENTIAL SIDE AND 4'-6" TO 5'-10" HIGH ON COMMERCIAL SIDE.
- 2 EXISTING 7'-8" H. CMU WALL WITH DECORATIVE STUCCO AND BRICK SOLDIER COURSE BANDING AT TOP TO MATCH EXISTING BUILDING WALLS.
- 3 EXISTING 7' H X 16' W AUTOMATIC GATE W/ ADDITIONAL 7' H X 4' W MANUAL GATE (20' TOTAL WIDTH) W/KNOX-BOX FOR FIRE DEPARTMENT EMERGENCY ENTRY.
- 4 7' H X 20' W AUTOMATIC GATE W/KNOX-BOX FOR FIRE DEPARTMENT EMERGENCY ENTRY.
- 5 STUCCO WALL TO MATCH EXISTING SITE WALLS.
- 6 EXISTING LANDSCAPING.
- 7 EXISTING 6' HIGH CHAINLINK FENCE & GATE W/KNOX PADLOCK FOR FIRE DEPARTMENT EMERGENCY ENTRY.
- 8 EXISTING 6' WIDE MIN. RAMP W/1:12 MAX. SLOPE & 1:10 MAX. FLARED SIDES WHERE SHOWN.
- 9 EXISTING 6' WIDE PEDESTRIAN WALKWAY W/COLORED CONCRETE.
- 10 CONCRETE RAMP W/1:12 MAX. SLOPE & 1:10 MAX. FLARED SIDES WHERE SHOWN.
- 11 6' WIDE PEDESTRIAN WALKWAY W/COLORED CONCRETE.
- 12 EXISTING 6' WIDE PEDESTRIAN WALKWAY OF TEXTURED, COLORED CONCRETE ACROSS VEHICLE ENTRANCES ON TAYLOR RANCH ROAD AND HOMESTEAD CIRCLE.
- 13 EXIST. 3' WIDE MIN. RAMP W/1:12 MAX. SLOPE & 1:10 MAX. FLARED SIDES (1:12 WHERE TOP LANDING IS LESS THAN 48") WHERE SHOWN.
- 14 CONCRETE SIDEWALK.
- 15 EXISTING CONCRETE SIDEWALK.
- 16 ASPHALT PAVING.
- 17 CONCRETE CURB.
- 18 EXISTING TRASH AND RECYCLE ENCLOSURE.
- 19 EXISTING PROPERTY LINE TO BE REMOVED.
- 20 NEW PROPERTY LINE.
- 21 PORTION OF EXISTING SITE WALL TO BE REMOVED.
- 22 DROP CURB TO DRIVEWAY ELEVATION AND SLOPE WALK TO ENTRY.
- 23 7' H FENCE WITH 3' W X 7' H GATE.

VICINITY MAP



JUN

ARCHITECTS

7925 Bosque ST. NW, Albuquerque, NM 87114 Ph. (505) 892-8453 Fax. (505) 890-1738

PROJECT:
TAYLOR RANCH SELF STORAGE PHASE 3
ADMINISTRATIVE AMENDMENT

SHEET TITLE:
AMENDED SITE PLAN FOR BUILDING PERMIT

NO. _____ REVISION _____ DATE _____

ARCHITECT STAMP STATE OF NEW MEXICO KEVIN JUNO No. 1603 09/12/18	CONSULTANT STAMP PROFESSIONAL Jean J. Bordenave No. 5110 09/12/18	DATE: 2-22-13 PROJECT NO. 0923 SHEET NO. AS1.1
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TRAFFIC CERTIFICATION FOR BLDG A ADDITION (AA USED IN BUILDING PERMIT PLAN SET.)

AMENDED SITE PLAN FOR BUILDING PERMIT

0 20' 40' 80'
 SCALE: 1" = 40'-0"

AS1.1

