

CITY OF ALBUQUERQUE



March 5, 2018

Jake Bordenave, P.E., P.S.
Bordenave Designs
PO Box 91194
Albuquerque, NM 87199

**RE: Taylor Ranch Storage Bldg H
6971 Taylor Ranch Dr NW
Grading and Drainage Plan
Engineer's Stamp Date 2/14/18 (File: D11D009B2)**

Dear Mr. Bordenave:

PO Box 1293

Based on the information provided in your submittal received 2/16/18, the Grading and Drainage Plan is approved for Building Permit. Prior to requesting Certificate of Occupancy, the Drainage Covenant will need to have been recorded.

Albuquerque

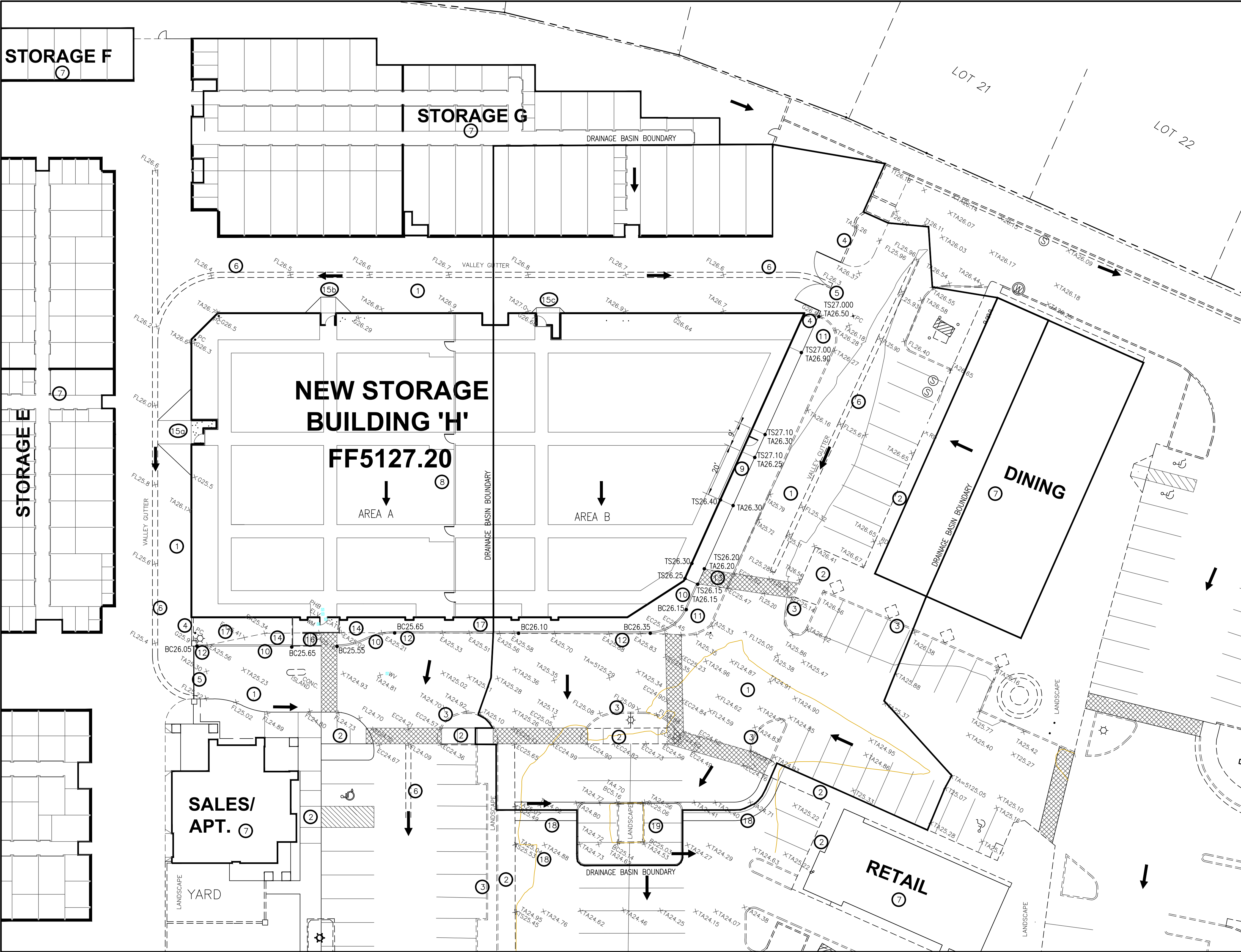
If you have any questions, please contact me at 924-3695 or dpeterson@cabq.gov.

NM 87103

Sincerely,

Dana Peterson, P.E.
Senior Engineer, Planning Dept.
Development Review Services

www.cabq.gov



DRAINAGE PLAN

KEYED NOTES

1. EXISTING ASPHALT PAVING TO REMAIN.

2. EXISTING CONCRETE SIDEWALK TO REMAIN.

3. EXISTING CONCRETE CURB TO REMAIN.

4. EXISTING CMU WALL TO REMAIN.

5. EXISTING VEHICULAR GATE TO REMAIN.

6. EXISTING CONCRETE VALLEY GUTTER TO REMAIN.

7. EXISTING BUILDING TO REMAIN.

8. PROPOSED BUILDING. SEE ARCHITECTURAL FOR DETAILS.

9. PROPOSED CONCRETE TURNDOWN SIDEWALK. REVEAL DIMENSION VARIES. SEE TS/TA ELEVATIONS ON THIS SHEET TO DETERMINE REVEAL DIMENSION. SEE SHEET C1.2 FOR DETAILS.
10. PROPOSED CONCRETE HEADER CURB. SEE SHEET C1.2 FOR DETAILS.

11. PROPOSED HEAVY DUTY ASPHALT PAVEMENT. SEE SHEET C1.2 FOR DETAILS.

12. SAW CUT NEAT EDGE AT LEAST 12" FROM NEW HEADER CURB PLACE HEAVY DUTY ASPHALT PAVEMENT IN SPACE BETWEEN SAWN EDGE AND HEADER CURB.

13. PROPOSED PATTERNED CONCRETE WALKWAY. SEE ARCHITECTURAL FOR DETAILS.

14. PROPOSED SAW CUT EXISTING ASPHALT AT FACE OF NEW HEADER CURB ALIGNMENT.

15. PROPOSED ASPHALT RAMP. SEE SHEET C1.2 FOR DETAILS.

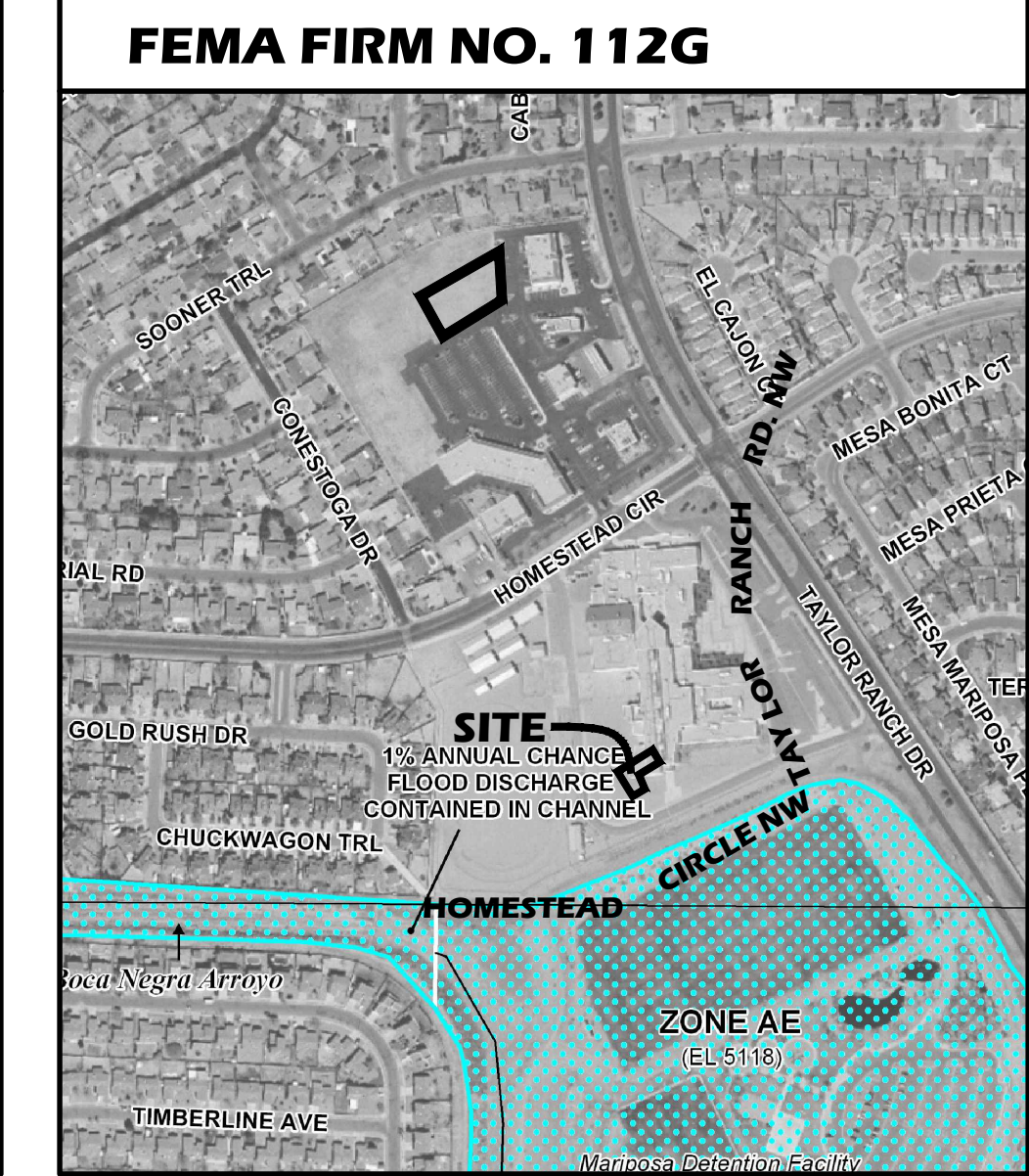
16. PROPOSED STAIRS AND LANDING. SEE ARCHITECTURAL FOR DETAILS.

17. PROPOSED LANDSCAPED AREA. SEE LANDSCAPE PLANS FOR DETAILS.

18. ASPHALT SPEED HUMP TO DIRECT RUNOFF TO WATER HARVESTING POND. SEE SHEET C1.2

19. REMOVE EXISTING LANDSCAPED AREA. CONSTRUCT WATER HARVESTING POND. SEE SHEET C1.2 FOR DETAILS.

LEGAL DESCRIPTION
LOT Y2A1, TAYLOR RANCH
PERMANENT BENCHMARK
ACS STATION 16-E11, ELEV. 5115.814 (NAVD 88)



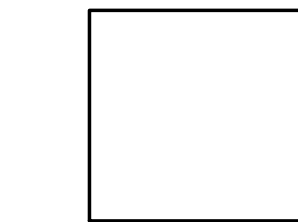
VICINITY MAP D-11

FEMA FIRM NO. 112G

6971 TAYLOR RANCH DRIVE NW

DRAINAGE NOTES

1. THE SHOPPING CENTER SITE HAS BEEN DEVELOPED AS NEED BECAME APPARENT. THIS PROPOSED PHASE WILL COMPLETE THE PROPOSED CONSTRUCTION ON THE SHOPPING CENTER SITE.
2. THE FOLLOWING NOTE REGARDING SITE DRAINAGE WAS STATED ON THE PREVIOUS GRADING AND DRAINAGE PLAN FOR THIS PARCEL BY MR. G. JACKSON AND APPROVED BY THE COA IN 2013 AND IS REITERATED BY THIS DESIGNER. "As indicated on the grading and drainage plan prepared by Isaacson & Arfman, date 10/18/07, the proposed improvements increase the discharge from the entire property (Lot Y2A1) from 35.2 cfs to 45.1 cfs for the 100 year, 6 hour storm event.
The proposed on-site improvements will surface drain to the surrounding existing pavement to follow the historic on-site discharge paths to the paved cul-de-sac at the southwest corner of the property.
Per the COA approved overall grading plan for the Homestead Hill Shopping Center, the fully developed site is permitted free discharge to Homestead Circle NW via four 24" wide sidewalk culverts constructed as part of COA Project 26-4091.90-91. Flow will continue along the historic route across Homestead Circle to an existing drainage system to the Mariposa detention facility (AMAFCA). No discharge will be directed to Taylor Ranch Drive NW."
3. THE SITE IS LOCATED IN AN AREA DESIGNATED 'ZONE X' PER FEMA FIRM MAP NO. 112G, DATED SEPTEMBER, 2008.
4. EXISTING TOPOGRAPHY FOR THE SITE WAS OBTAINED BY HARRIS SURVEYING INC. IN JUNE, 2017.



ARCHITECTS

7925 Bosque ST. NW, Albuquerque, NM 87114 Ph. (505) 892-8453 Fax. (505)890-1736

PROJECT:
TAYLOR RANCH SELF STORAGE
STORAGE BUILDING 'H'

SHEET TITLE:
GRADING & DRAINAGE PLAN

NO.	REVISION	DATE
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ARCHITECT STAMP

CONSULTANT STAMP



DATE:
01/30/18
PROJECT NO.
1707
SHEET NO.

C1.1