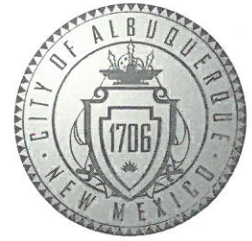


CITY OF ALBUQUERQUE



June 3, 2019

Kevin Juno, NCARB, LEED AP
Juno Architects
7925 Bosque St. NW
Los Ranchos, NM 87114

**Re: Taylor Ranch Self Storage,
6971 Taylor Ranch Dr. NW, 87102
Request for Certificate of Occupancy
Transportation Development Final Inspection
Engineer's/Architect's Stamp dated 3-02-18(AA) (D11D009B2)
Certification dated 5-30-19**

Dear Mr. Juno

Based upon the information provided in your submittal received 6-3-19, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact Ernie Gomez at (505) 924-3981 or me at (505) 924-3991.

Sincerely,

Racquel M. Michel, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

Ernie Gomez,
Plan Checker, Planning Dept.
Development Review Services

EG via: email
C: CO Clerk, File

SITE CRITERIA

PROJECT: TAYLOR RANCH STORAGE PHASE 3
 LOCATION: 8971 TAYLOR RANCH DR. NW
 OWNER: DAN RICH
 ARCHITECT: JUNO ARCHITECTS
 LEGAL DESCRIPTION: TRACTS Y-2A-A, Y-2A-B, Y-2A-C, & Y-2A-D, TAYLOR RANCH, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.
 ZONING ATLAS MAP: D-11-Z
 ZONING CLASSIFICATION: C-2 SC CONDITIONAL USE FOR STORAGE OF HOUSEHOLD GOODS AND A DWELLING UNIT.
 BUILDING TYPE: TYPE V-B, SPRINKLERED (STORAGE H)

TOTAL BUILDING AREA:
 EXISTING RETAIL/SERVICE = 34136 SF
 EXISTING DAY-CARE = 5400 SF
 EXISTING FAST FOOD = 2780 SF
 EXISTING SALES = 1032 SF
 EXISTING DWELLING = 1642 SF
 EXISTING GARAGE = 458 SF
 EXISTING STORAGE = 71205 SF
 NEW STORAGE H = 23488 SF
 TOTAL = 140119 SF

TOTAL LOT AREA: 10.1154 AC.
 TOTAL PARKING AREA:
 PARKING ANALYSIS:

RETAIL/SERVICE:	34136 SF/200	=	171
DAY-CARE:	5400 SF/500 + 2	=	13
FAST FOOD:	1 SP/4 SEATS	=	37
OFFICE:	1032 SF/200	=	6
DWELLING:	1 SPACE/BATH	=	2
STORAGE:	94693 SF/2000	=	48
TOTAL:			277
15% CREDIT:			41
TOTAL REQUIRED:			236
ACCESSIBLE PARKING (8 REQUIRED):			13 (PROVIDED)
MOTORCYCLE PARKING (5 REQUIRED):			6 (PROVIDED)
TOTAL PARKING PROVIDED:			334

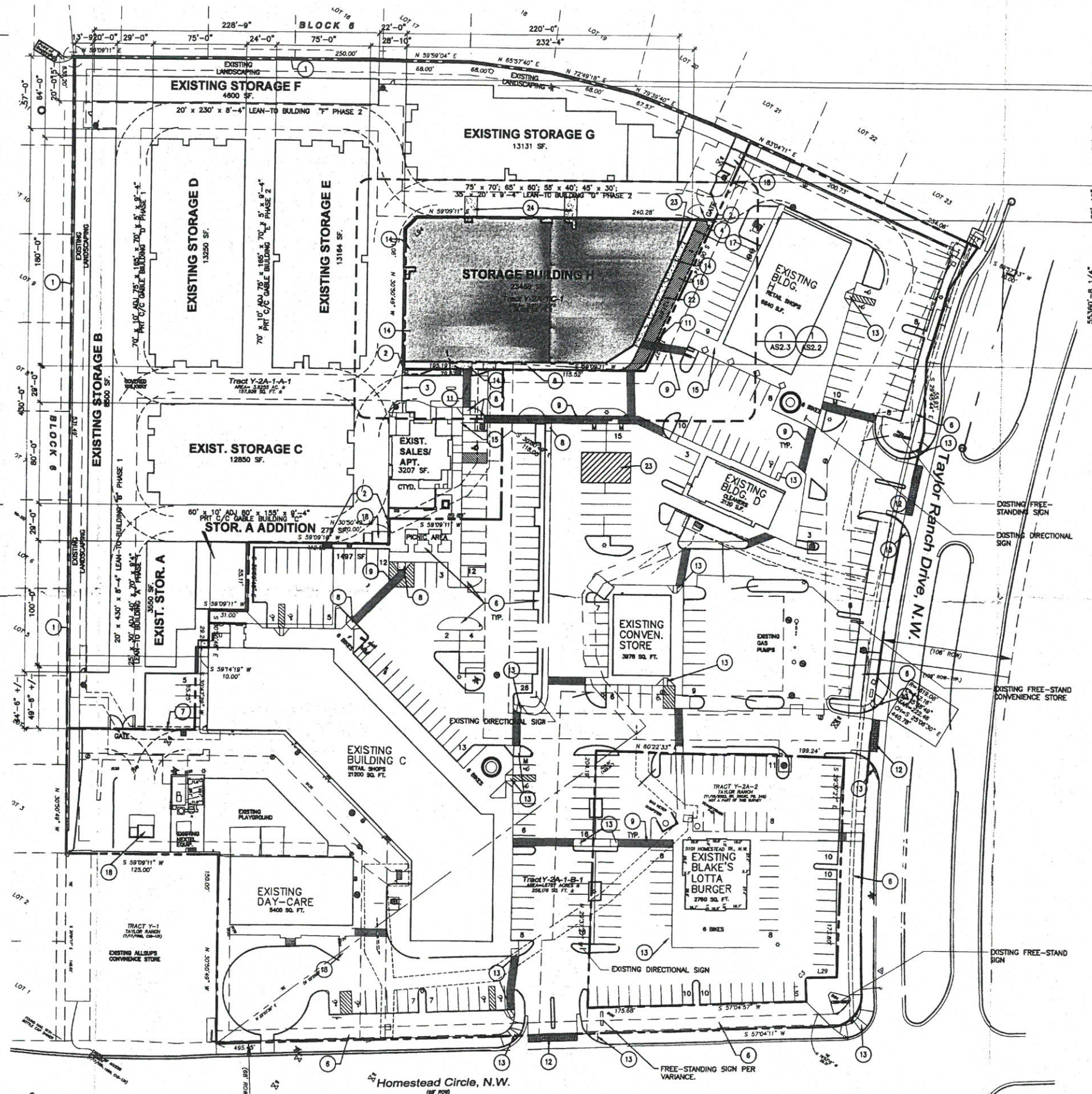
PARKING SPACE SIZES:
 REGULAR 8'-6" X 20'-0" MIN.
 ACCESSIBLE 8'-6" X 20'-0" + 8' ISLE MIN.
 MOTORCYCLE 4' X 8' MIN.

REQUIRED BI-CYCLE SPACES: 1 SPACE/20 PARKING SP. = 12
 NUMBER OF STORAGE UNITS: 587 EXISTING + 180 NEW = 767
 MAXIMUM BUILDING HEIGHT: AS ALLOWED BY C-2 ZONING
 MINIMUM BUILDING SETBACK: AS ALLOWED BY C-2 ZONING
 MAXIMUM TOTAL DWELLING UNITS: 1
 MAXIMUM FLOOR AREA RATIO (F.A.R.): .3

LEGEND

- EXISTING BUILDING
- PROPOSED BUILDING
- EXISTING FIRE HYDRANT
- EXISTING FIRE HYDRANT
- FIRE TRUCK TURNING RADIUS
- EXISTING 30' HIGH POLE LIGHT TO REMAIN UNLESS OTHERWISE NOTED
- BUILDING MOUNTED LIGHT FIXTURE (7'-8" A.F.F. TO BOTTOM)
- VEHICLE ACCESS.
- 4'X8' MIN. MOTORCYCLE PARKING SPACE W/12" X 18" SIGN. BOTTOM OF SIGN SHALL HAVE ITS LOWER EDGE NO LESS THAN FOUR FEET ABOVE GRADE.

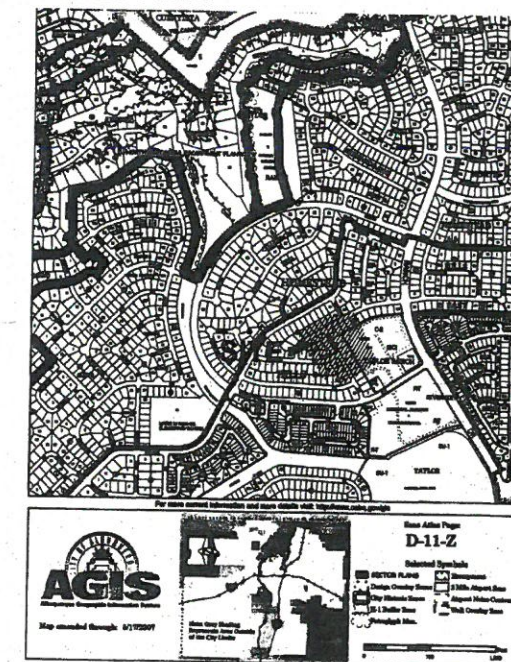
ADMINISTRATIVE AMENDMENT
 FILE # 1804A PROJECT # 1002776
 Change Building H from two-story to one-story and reduce at-grade retail component.
 APPROVED BY: [Signature] DATE: 02 MAR 2018



KEYED NOTES

- 1 EXISTING CMU WALL 8'-0" TO 9'-7" HIGH ON RESIDENTIAL SIDE AND 4'-6" TO 5'-10" HIGH ON COMMERCIAL SIDE.
- 2 EXISTING 7'-8" H. CMU WALL WITH DECORATIVE STUCCO AND BRICK SOLDIER COURSE BANDING AT TOP TO MATCH EXISTING BUILDING WALLS.
- 3 EXISTING 7' H X 18' W AUTOMATIC GATE W/ ADDITIONAL 7' H X 4' W MANUAL GATE (20' TOTAL WIDTH) W/KNOX-BOX FOR FIRE DEPARTMENT EMERGENCY ENTRY.
- 4 7' H X 20' W AUTOMATIC GATE W/KNOX-BOX FOR FIRE DEPARTMENT EMERGENCY ENTRY.
- 5 NOT USED.
- 6 EXISTING LANDSCAPING.
- 7 EXISTING 8' HIGH CHAINLINK FENCE & GATE W/KNOX PADLOCK FOR FIRE DEPARTMENT EMERGENCY ENTRY.
- 8 EXISTING 8' WIDE MIN. RAMP W/1:12 MAX. SLOPE & 1:10 MAX. FLARED SIDES WHERE SHOWN.
- 9 EXISTING 8' WIDE PEDESTRIAN WALKWAY W/COLORED CONCRETE.
- 10.
- 11 8' WIDE PEDESTRIAN WALKWAY W/COLORED CONCRETE.
- 12 EXISTING 8' WIDE PEDESTRIAN PATHWAY OF TEXTURED, COLORED CONCRETE ACROSS OT VEHICLE ENTRANCES ON TAYLOR RANCH ROAD AND HOMESTEAD CIRCLE.
- 13 EXIST. 3' WIDE MIN. RAMP W/1:12 MAX. SLOPE & 1:10 MAX. FLARED SIDES (1:12 WHERE TOP LANDING IS LESS THAN 48") WHERE SHOWN.
- 14 CONCRETE SIDEWALK.
- 15 EXISTING CONCRETE SIDEWALK.
- 16 ASPHALT PAVING.
- 17 CONCRETE CURB.
- 18 EXISTING TRASH AND RECYCLE ENCLOSURE.
- 19.
- 20.
- 21.
- 22 DROP CURB TO DRIVEWAY ELEVATION AND SLOPE WALK TO ENTRY.
- 23 WATER HARVESTING AREA. REFER TO CIVIL SHEETS.
- 24 10' X 16' HEATED CONCRETE SLAB.

VICINITY MAP



JUNO
 ARCHITECTS
 7925 Bosque ST. NW, Albuquerque, NM 87114 Ph. (505) 892-8453 Fax. (505) 890-1736

PROJECT:
**TAYLOR RANCH SELF STORAGE
 PHASE 3**

SHEET TITLE:
**ARCHITECTURAL SITE PLAN
 (APPROVED ADMINISTRATIVE AMENDMENT)**

NO.	REVISION	DATE

ARCHITECT STAMP	CONSULTANT STAMP	DATE: 1-18-18 PROJECT NO. 1607 SHEET NO.
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AS2.1

ARCHITECTURAL SITE PLAN

0 20' 40' 80'
 SCALE: 1" = 40'-0"
AS2.1
 PLAN NORTH
 TRUE NORTH

SITE CRITERIA

PROJECT: TAYLOR RANCH STORAGE PHASE 3
LOCATION: 6971 TAYLOR RANCH DR. NW
OWNER: DAN RICH
ARCHITECT: JUNO ARCHITECTS
LEGAL DESCRIPTION: TRACTS Y-2A-A, Y-2A-B, Y-2A-C, & Y-2A-D, TAYLOR RANCH, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.
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ZONING CLASSIFICATION: C-2 SC CONDITIONAL USE FOR STORAGE OF HOUSEHOLD GOODS AND A DWELLING UNIT.
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TOTAL = 140119 SF

TOTAL LOT AREA: 10,1154 AC.
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DWELLING: 1 SPACE/BATH = 2
STORAGE: 94693 SF/2000 = 48
TOTAL = 278
15% CREDIT = 41
TOTAL REQUIRED = 236
ACCESSIBLE PARKING (8 REQUIRED): 13 (PROVIDED)
MOTORCYCLE PARKING (5 REQUIRED): 6 (PROVIDED)
TOTAL PARKING PROVIDED = 334

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REGULAR 8'-6" x 20'-0" MIN.
ACCESSIBLE 8'-6" x 20'-0" + 8' ISLE MIN.
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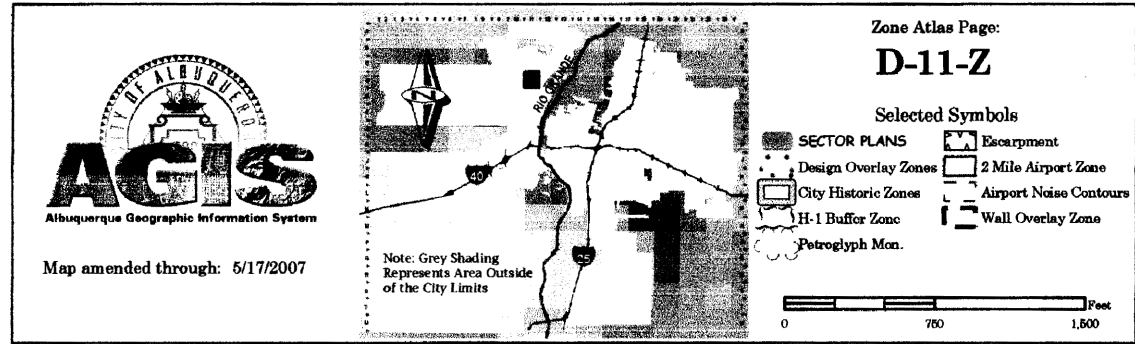
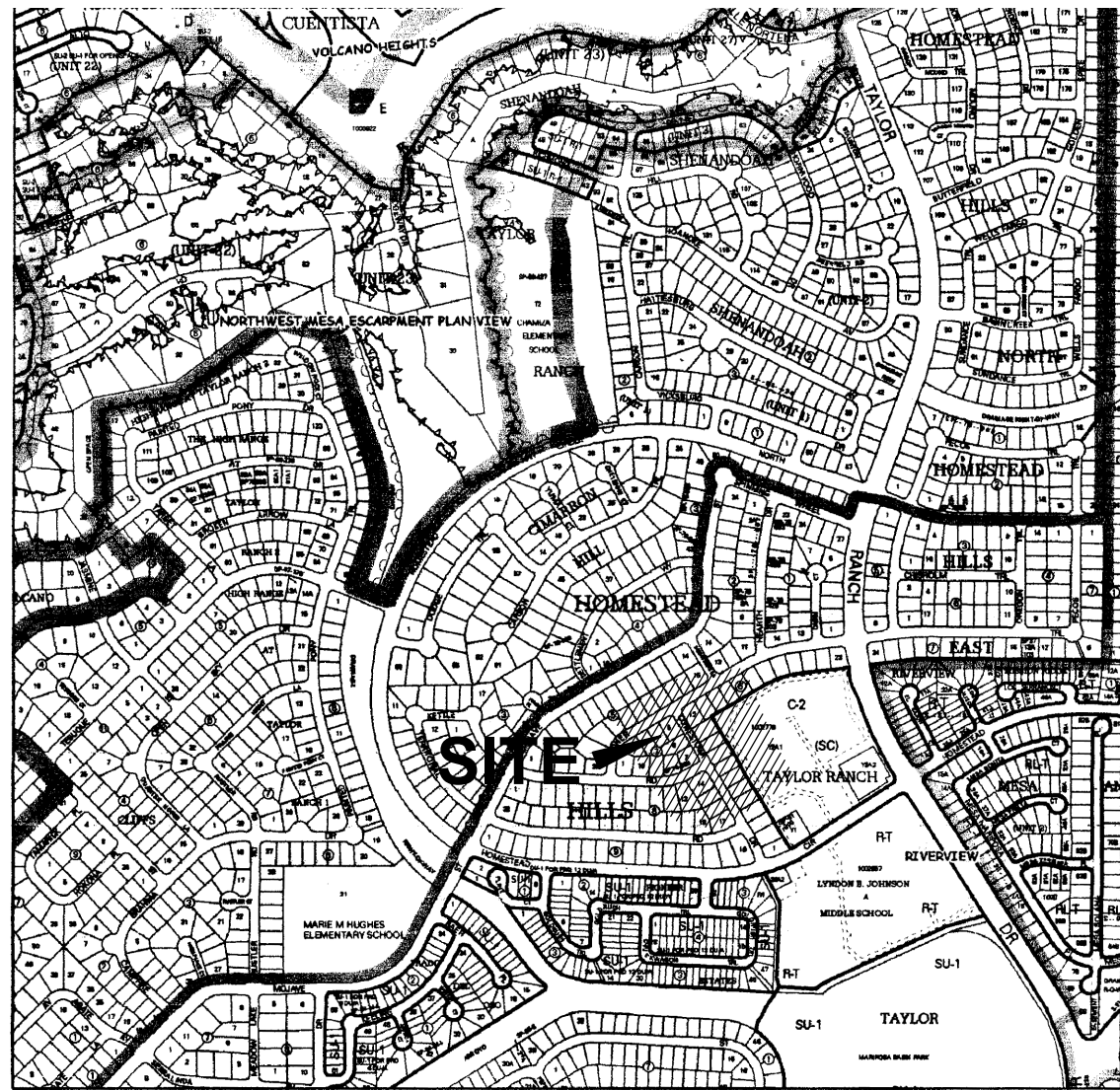
LEGEND

- EXISTING BUILDING
- PROPOSED BUILDING
- EXISTING FIRE HYDRANT
- EXISTING FIRE HYDRANT
- FIRE TRUCK TURNING RADIUS
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- BUILDING MOUNTED LIGHT FIXTURE (7'-6" A.F.F. TO BOTTOM)
- VEHICLE ACCESS.
- 4'x8' MIN. MOTORCYCLE PARKING SPACE W/12" X 18" SIGN. BOTTOM OF SIGN SHALL HAVE ITS LOWER EDGE NO LESS THAN FOUR FEET ABOVE GRADE.

KEYED NOTES

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- CONCRETE PAVING.
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- CONCRETE RAMP.
- CONCRETE CURB.
- EXISTING TRASH AND RECYCLE ENCLOSURE.
- TOTAL
- CONCRETE STOOP.
- WATER HARVESTING AREA. REFER TO CIVIL SHEETS.
- 10' x 16' HEATED CONCRETE SLAB.

VICINITY MAP



JUNO

ARCHITECTS

7925 Bosque ST. NW, Albuquerque, NM 87114 Ph. (505) 892-8453 Fax. (505)890-1736

PROJECT:
**TAYLOR RANCH SELF STORAGE
PHASE 3**

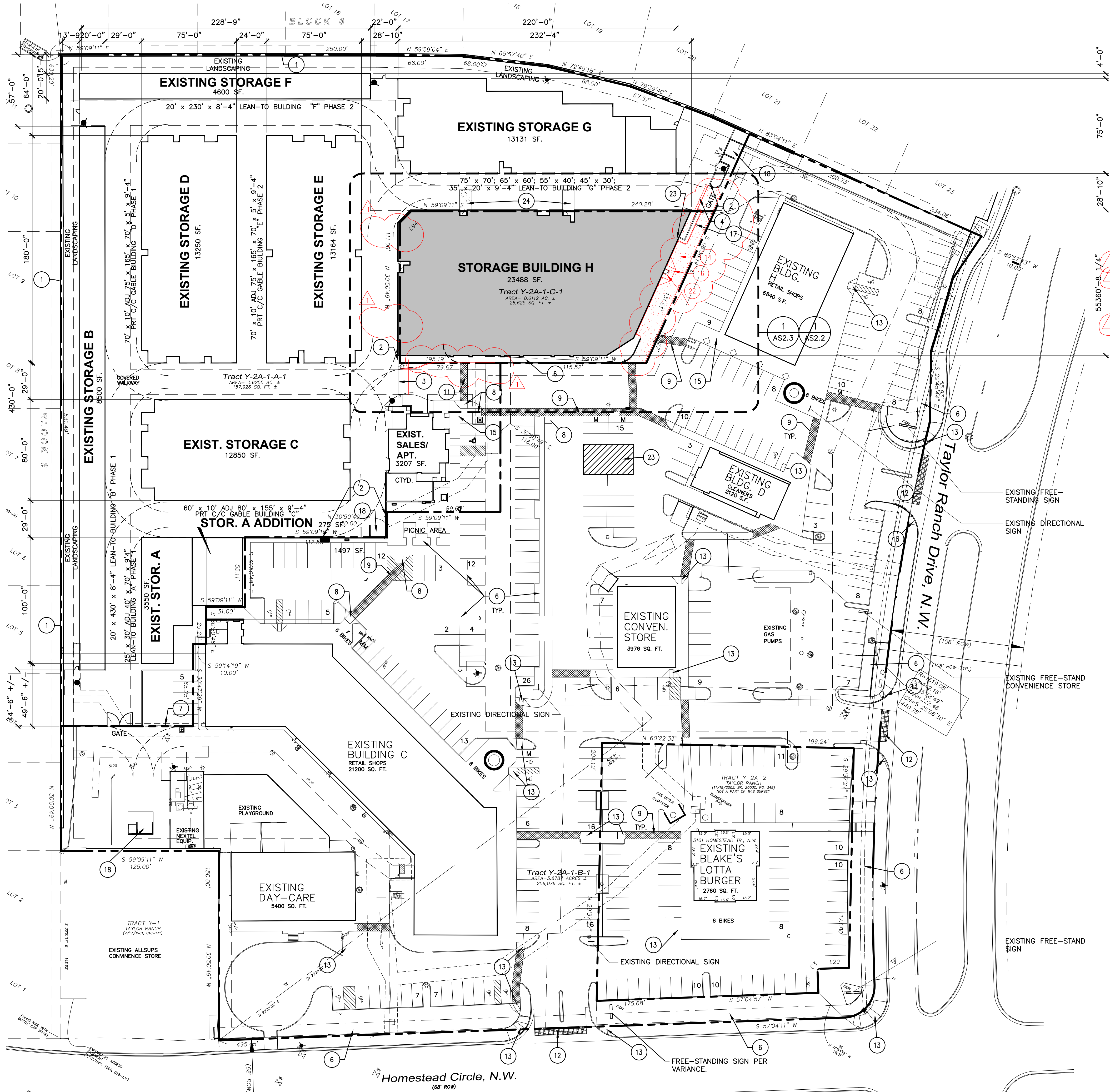
SHEET TITLE:
**ARCHITECTURAL SITE PLAN
AS-BUILT TCL**

NO.	REVISION	DATE
1	AS-BUILT TCL REVISIONS	5-30-19

ARCHITECT STAMP	CONSULTANT STAMP	DATE:
STATE OF NEW MEXICO KEVIN JUNO No. 1603		5-30-19
		PROJECT NO. 1607
		SHEET NO.

AS2.1

ARCHITECTURAL SITE PLAN



0 20' 40' 80'
SCALE: 1" = 40'-0"

1
AS2.1



JUNO

ARCHITECTS

May 30, 2019

Albuquerque Transportation Department
602 2nd. St. NW,
Albuquerque, NM 87102

Re: Taylor Ranch Self Storage
6971 Taylor Ranch Dr. NW
Albuquerque, NM 87120

TRAFFIC CERTIFICATION

I, KEVIN JUNO, NMRA 1603, OF THE FIRM JUNO ARCHITECTS, HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 1-18-18. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY KEVIN JUNO OF THE FIRM JUNO ARCHITECTS. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 5-29-19 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR A CERTIFICATE OF OCCUPANCY.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.



Signature of Architect



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: TAYLOR RANCH SELF STORAGE Building Permit #: 2018-12358 Hydrology File #: _____
DRB#: _____ EPC#: _____ Work Order#: _____
Legal Description: TRACTS Y-2A-A, Y-2A-B, Y-2A-C & Y-2A-D, TAYLOR RANCH, ABQ., BERNALILLO CO. NM
City Address: 6971 TAYLOR RANCH DR. NW 87102

Applicant: JUNO ARCHITECTS Contact: KEVIN JUNO
Address: 7925 BOSQUE ST. NW, LOS RANCHOS, NM 87114
Phone#: 505-892-8453 Fax#: _____ E-mail: junoarchitects@aol.com

Other Contact: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF DEVELOPMENT: _____ PLAT (# of lots) _____ RESIDENCE _____ DRB SITE ☒ ADMIN SITE

IS THIS A RESUBMITTAL? _____ Yes ☒ No

DEPARTMENT ☒ TRANSPORTATION _____ HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- ☒ ENGINEER/ARCHITECT CERTIFICATION
☐ PAD CERTIFICATION
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE REPORT
☐ DRAINAGE MASTER PLAN
☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
☐ ELEVATION CERTIFICATE
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ STREET LIGHT LAYOUT
☐ OTHER (SPECIFY) _____
☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY
☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR
☐ FLOODPLAIN DEVELOPMENT PERMIT
☐ OTHER (SPECIFY) _____

DATE SUBMITTED: 5-31-19 By: [Signature]

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____