

**Olson, Greg R.**

**From:** Olson, Greg R.  
**Sent:** Tuesday, December 18, 2012 11:23 AM  
**To:** 'Jeff Wooten'  
**Cc:** Olson, Greg R.  
**Subject:** D12-D006 Sagebrush Plaza (Tract 1-D-1-A, Bk 15, Alban Hills Unit 1)

*NO  
12/18/12*

Jeff,  
 I apologize for having to cut our call short on Monday.

Here is a quick list of the concerns discussed:

1. Calcs were not provided for the 8.48 cfs Q in the east swale, however this appears to be the sub-basin discharge for the northern portion of Basin 1.

The new swale sections are acceptable for this flow rate.

2. The Grading Plan does not call out a curb cut from the 3-space parking bay, south of the water harvesting area between the building pads.

There appears to be one shown in the plan, but it must at least be constructed, and included on your Certification plan.

3. This plan reduced the water block on the church lot from 6" to only 4" at one point. Review of your calculations noted:

a. The n-factor for pavement should be 0.017, per the DPM, rather than the 0.015 used.

b. The slope of the existing valley gutter is as low as 0.67%, based upon the new grades provided, rather than the 1% shown in the calc table.

c. The 4" water block only appears to occur at the east side of the southern median nose. The rest of the grades provide a block of 0.4' to 0.5'.

Can the corrected flow be contained within the property by raising that 4" grade(s) ?

4. This submittal requested approval for "Site Development Plan for Building Permit," and "Grading Permit."

The phasing plan to pave and landscape now, and submit for Building permit(s) later is understood, however, site paving would at least require Paving Permit approval.

Once the above issues are resolved, the level of detail provided by this plan will make it acceptable for Building Permit (including Paving).

With your concurrence, I intend to include that "Building Permit" approval in my final letter.

Note: The submitted "Information Sheet" again, erroneously referred to "Hubbell Heights Tracts."

Please review and call me back so that we can resolve final approval of this plan.

Thanks,

*Greg Olson*

924-3994

# DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2012)

PROJECT TITLE: Sagebrush Plaza  
 DRB #: \_\_\_\_\_ EPC #: \_\_\_\_\_

ZONE MAP/DRG. FILE #: D-12 / Doble  
 WORK ORDER #: \_\_\_\_\_

LEGAL DESCRIPTION: Tracts B-2 and B-3 Hubbell Heights TRACT 1-D-1-A, Block 15, Albar Hills Unit 1  
 CITY ADDRESS: \_\_\_\_\_

ENGINEERING FIRM: TIERRA WEST, LLC  
 ADDRESS: 5571 Midway Park Place NE  
 CITY, STATE: ALBUQUERQUE, NM

CONTACT: RONALD R. BOHANNAN, P.E.  
 PHONE: (505) 858-3100  
 ZIP CODE: 87109

OWNER: Sagebrush Community Church  
 ADDRESS: 6440 Coors Blvd. NW  
 CITY, STATE: Albuquerque, NM

CONTACT: \_\_\_\_\_  
 PHONE: \_\_\_\_\_  
 ZIP CODE: 87120

ARCHITECT: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
 PHONE: \_\_\_\_\_  
 ZIP CODE: \_\_\_\_\_

SURVEYOR: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
 PHONE: \_\_\_\_\_  
 ZIP CODE: \_\_\_\_\_

CONTRACTOR: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
 PHONE: \_\_\_\_\_  
 ZIP CODE: \_\_\_\_\_

**CHECK TYPE OF SUBMITTAL:**

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL, **REQUIRES TCL or equal**
- ☒ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☒ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER (SPECIFY) \_\_\_\_\_

**CHECK TYPE OF APPROVAL SOUGHT:**

- ☐ SIA / FINANACIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☒ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☒ GRADING PERMIT APPROVAL
- ☒ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION
- ☐ OTHER (SPECIFY) SO-19 \_\_\_\_\_

**WAS A PRE-DESIGN CONFERENCE ATTENDED:**

- ☒ YES
- ☐ NO
- ☐ COPY PROVIDED

**RECEIVED**  
**DEC 13 2012**

DATE SUBMITTED: December 12, 2012 BY: Jeff Wooten

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plans:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

## Plan Check

Basin 2  $\approx 25,450 \text{ \#}$

Basin 1  $\approx 134,500 \text{ \#}$

159,950

May Take (Basin 1A  $\approx 96,300 \text{ \#}$

Basin 1B+2  $\approx (159,950 - 96,300) = 63,650 \text{ \#}$

8.6 cfs

## Points

- Label Basin 2 on CU Parcel  $\approx \pm 8.48 \text{ cfs}$   
confusing w/ Basin 2 on La Orilla
- still no build note for curb cut to  
harvest area on E side of Bldg A.
- water block on Church Lot reduced to only 4"??  
but build note says 6" reviewing calcs  
under section C-C (a) slope is less than 1.0%  
(0.3%  $\rightarrow$  x.92 Qc) (b) DPM says  $n = 0.017$  for Pavement vs. 0.015  
used  $\rightarrow$  x.88 Qc) (c) combined issues reduce C-C capacity  
to  $\pm 14.38$

g w

# TIERRA WEST, LLC

December 12, 2012

Mr. Gregory R. Olson, P.E.  
Senior Engineer  
City of Albuquerque  
600 2<sup>nd</sup> NW  
Albuquerque, NM 87102

RECEIVED  
DEC 13 2012

**RE: SAGEBRUSH PLAZA, TRACT 1-D-1-A, BLK 15, ALBAN HILLS-GRADING AND DRAINAGE PLAN NE CORNER OF COORS & LA ORILLA NW  
P.E. STAMP 11/5/12 FILE# D12-D006**

Dear Mr. Olson,

Per your correspondence dated December 6, 2012, regarding the Sagebrush Plaza, Tract 1-D-1-A, Grading & Drainage Plan, please find the following responses addressing the comments listed below

1. Provide the correct legal description for the site. This plan identifies the "Legal Description" of the site as Tracts B-2 and B-3 Hubbell Heights

**Response: The legal description was updated to Tract 1-D-1-A, Block 15, Alban Hills.** ✓

2. East Side Channel appears to be too small. Calculation included used a Manning's n-factor of 0.025 for a cobble surface. DPM and FHWA references suggest that this value should be higher; between 0.035 and 0.050. However, the Site Plan submitted 12/4/12 included a landscaping plan with "Gravel Mulch" ground cover in the channel. It also includes plantings, which will inhibit flow in the channel. The design concept seems fixable, by adjusting calculation to reflect actual landscaping surfaces, and recognizing additional capacity in the pavement west of the channel, via the proposed curb openings. My only remaining concern is a the southern 85' of the channel (Section A-A), where there is no freeboard to inhibit overflow and erosion on the adjacent lot to the east.

**Response: We have reviewed the DPM and do not find a direct reference to cobble for the Manning's n-coefficient. However, we have reviewed the FHWA Guide to Selecting Manning's Roughness Coefficient. According to this document, the Manning's n-coefficient for cobble between 64mm and 256 mm (2.5" to 10") in size should be between 0.30 and 0.050. Since our cobble is on the low end (less than 4"), we have chosen to use the 0.030 value. We have also modified the swale sections such that the west side of the swale matches the FL of the adjacent curb which gave us the additional cross section area we needed. Please review the revised plan and let me know if this alleviates your concern. Upon inspection during the drainage certification, we will ensure the eastern side of the berm is higher than the curb to the west to prevent any breaches in the swale.**

3. Clearly show the limits of the existing, retaining wall (Section B-B) adjacent to the channel. Section A-A is beyond the south end of the existing retaining wall, and proposes grading on the adjacent property. Is this grading approved by the owners of that property?

**Response: The limits of the existing wall were labeled. The developer of this property and the neighbor to the east are the same. They are aware of the grading that will occur off-site and have sent an email to Curtis Cherne that they are ok with this work.** ? ✓

5571 Midway Park Place NE  
(505) 858-3100  
Albuquerque, NM 87109  
Fax (505) 858-1118  
1-800-245-3102  
tierrawestllc.com

4. Missing flow line elevations in La Orilla Rd at the drive entrance are requested to aid in confirmation of an adequate water block on the church site to the east. Provide the grades on La Orilla, and some additional spot elevations along the flow-line of the pavement/swale, upstream of where flow crosses easterly to the church site.

**Response: Additional grades were added.**

5. A depressed Landscaping area is shown between Buildings A and B, and paving grades slope toward this area, which would function well for water harvesting, however no curb cuts are shown to allow runoff to enter the depressed area. This condition traps water in the parking spaces on the south side of the area. Also, the Administrative Amendment documentation which you submitted 12/4/12 shows this area as "Future Outdoor Dining/ Customer Waiting Area." Would this water harvesting area be eliminated by "Future" site improvements?

**Response: The water harvesting area will remain in place. It is labeled future outdoor space to allow for benches, etc., to be added if the future tenants should so choose.**

If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

Sincerely,



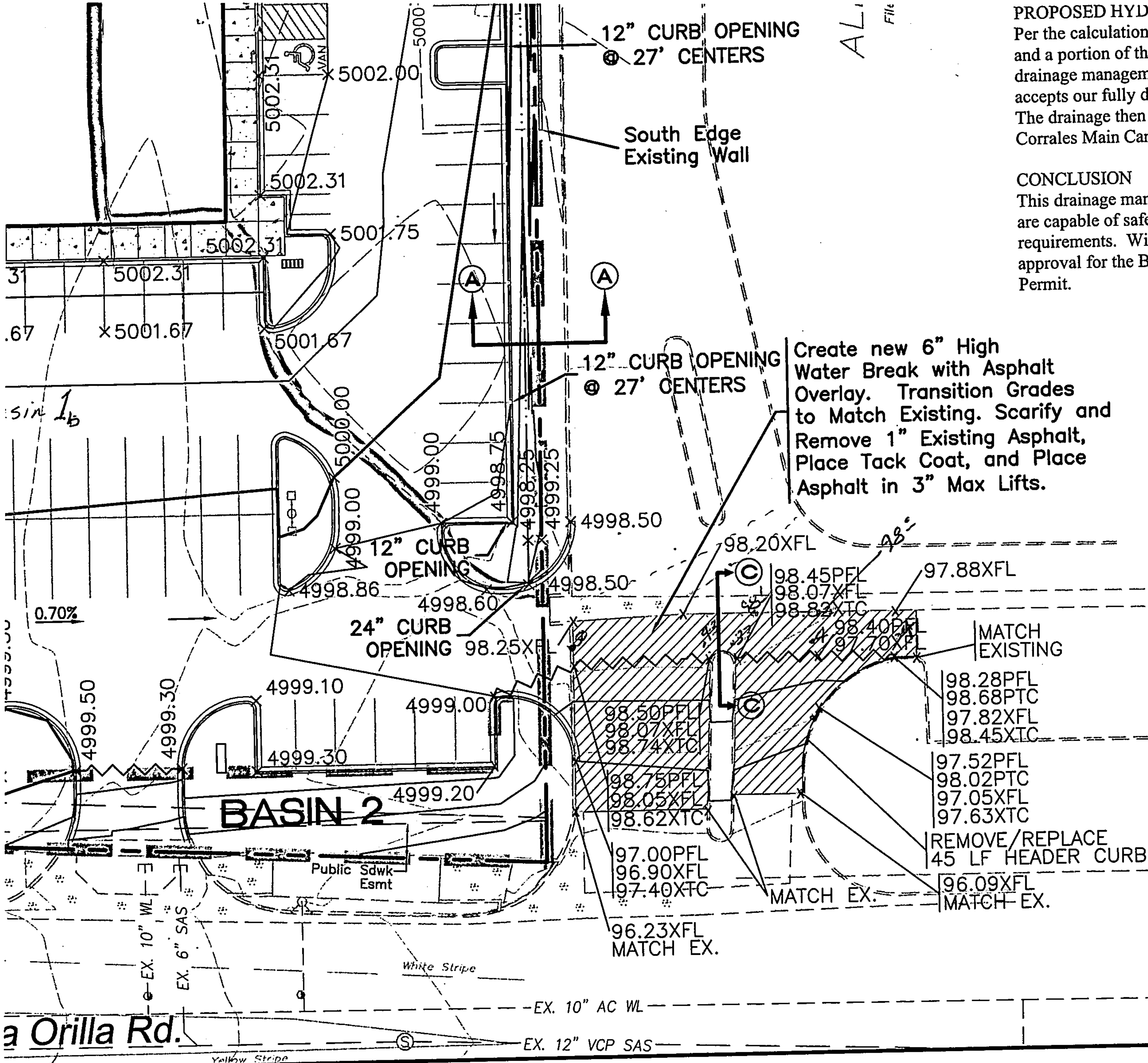
Ronald R. Bohannon, P.E.

Enclosure/s

JN: 2011058  
RRB/JW/jng

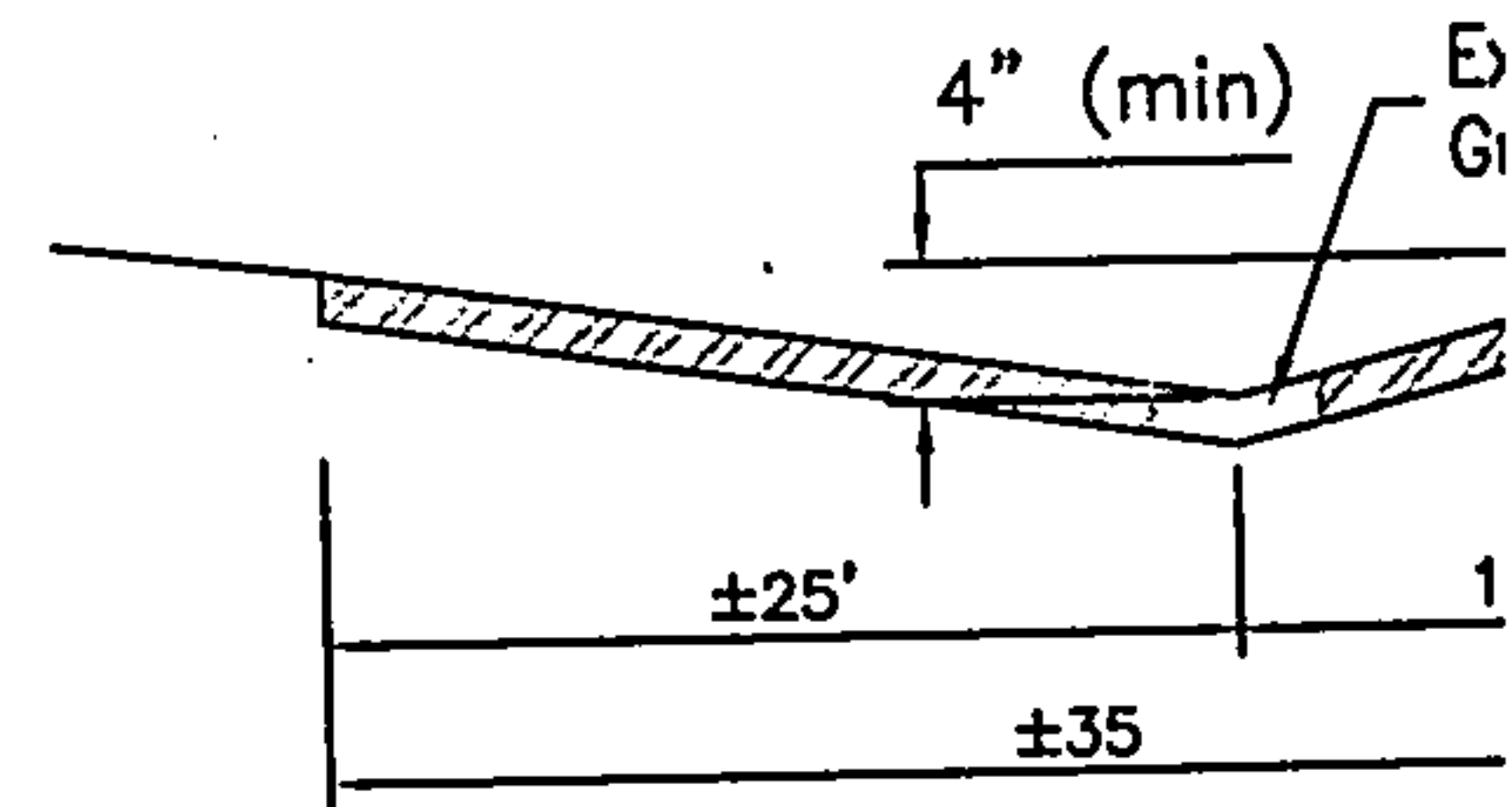
Z:\2011\2011058 Sagebrush Church\Correspondence\2011058 Response letter Greg Olson.doc.docx

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DEC 13 2012



**PROPOSED HYDROLOGIC CONDITIONS**  
 Per the calculations on this sheet, the total 100-Yr, 6-Hr di and a portion of the Credit Union is 14.35cfs. As stated at drainage management plan for Hoffmantown West (Sageb accepts our fully developed flows across their parking lot: The drainage then drains into a water inlet/pond and ultim Corrales Main Canal.

**CONCLUSION**  
 This drainage management plan provides for grading and are capable of safely passing the 100 Yr, 6-Hr storm and v requirements. With this submittal, we are requesting drain approval for the Building Permit and the Site Developer Permit.



**SECTION C**  
 NTS

Drainage Calculations:

|                |                    |
|----------------|--------------------|
| Known:         | Calculated:        |
| S=1.0%         | Qcalc = A(1.486/n  |
| A=5.83 SF      | Qcalc = 5.83(1.486 |
| Wp=35.01'      | Qcalc = 17.72 'cfs |
| R=0.17         |                    |
| n=0.015        |                    |
| Q100=14.35 cfs |                    |

**ROUGH GRADING**

1" = 30'

D12/0006

# CITY OF ALBUQUERQUE

PLANNING DEPARTMENT – Development & Building Services



December 6, 2012

Ronald R. Bohannon, P.E.  
Tierra West, LLC  
5571 Midway Park Pl NE  
Albuquerque, NM 87109

Richard J. Berry, Mayor

RE: **Sagebrush Plaza, Tract 1-D-1-A**, Blk 15, Alban Hills - Grading and Drainage Plan  
NE Corner of Coors & La Orilla NW P.E. Stamp: 11/5/12 File # **D12-D006**

Dear Mr. Bohannon,

Based upon the information provided in your submittal received 11/7/2012, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. **Provide the correct legal description for the site.** This plan identifies the "Legal Description" of the site as Tracts B-2 and B-3 Hubbell Heights.
2. **East Side Channel appears to be too small.** Calculation included used a Manning's n-factor of 0.025 for a cobble surface. DPM and FHWA references suggest that this value should be higher; between 0.035 and 0.050. However, the Site Plan submitted 12/4/12 included a landscaping plan with "Gravel Mulch" ground cover in the channel. It also includes plantings, which will inhibit flow in the channel. The design concept seems fixable, by adjusting calculations to reflect actual landscaping surfaces, and recognizing additional capacity in the pavement west of the channel, via the proposed curb openings. My only remaining concern is at the southern 85' of the channel (Section A-A), where there is no freeboard to inhibit overflow and erosion on the adjacent lot to the east.
3. **Clearly show the limits of the existing, retaining wall** (Section B-B) adjacent to the channel. Section A-A is beyond the south end of the existing retaining wall, and proposes grading on the adjacent property. Is this grading approved by the owners of that property?
4. **Missing flow line elevations in La Orilla Rd** at the drive entrance are requested to aid in confirmation of an adequate water block on the church site to the east. Provide the grades on La Orilla, and some additional spot elevations along the flow-line of the pavement/swale, upstream of where flow crosses easterly to the church site.
5. **A depressed Landscaping area** is shown between Buildings A and B, and paving grades slope toward this area, which would function well for water harvesting, however no curb cuts are shown to allow runoff to enter the depressed area. This condition traps

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

**D12-D006**

Sagebrush Plaza, Tract 1-D-1-A, Blk 15, Alban Hills

December 6, 2012

Page 2

water in the parking spaces on the south side of the area. Also, the Administrative Amendment documentation which you submitted 12/4/12, shows this area as "Future Outdoor Dining/Customer Waiting Area." Would this water harvesting area be eliminated by "Future" site improvements?

If you have any questions, you may contact me by email at [grolson@cabq.gov](mailto:grolson@cabq.gov), or telephone 505-924-3695.

Sincerely,

Handwritten signature of Gregory R. Olson, dated 12/6/12.

Gregory R. Olson, P.E.

Senior Engineer

Orig: Drainage file D12-D006

c.pdf Addressee via Email [rrb@tierrawestllc.com](mailto:rrb@tierrawestllc.com) & JWooten @tierrawestllc.com

# DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2012)

PROJECT TITLE: Sagebrush Plaza  
DRB #: \_\_\_\_\_ EPC #: \_\_\_\_\_

ZONE MAP/DRG. FILE #: D-12 Dole  
WORK ORDER #: \_\_\_\_\_

LEGAL DESCRIPTION: Tracts B-2 and B-3 Hubbell Heights Alban Hills, Block 15, Tract 1-D-1A  
CITY ADDRESS: \_\_\_\_\_

ENGINEERING FIRM: TIERRA WEST, LLC  
ADDRESS: 5571 Midway Park Place NE  
CITY, STATE: ALBUQUERQUE, NM

CONTACT: RONALD R. BOHANNAN, P.E.  
PHONE: (505) 858-3100  
ZIP CODE: 87109

OWNER: Sagebrush Community Church  
ADDRESS: 6440 Coors Blvd. NW  
CITY, STATE: Albuquerque, NM

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: 87120

ARCHITECT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

SURVEYOR: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

CONTRACTOR: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

## CHECK TYPE OF SUBMITTAL:

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\_\_\_\_ DRAINAGE PLAN 1st SUBMITTAL, **REQUIRES TCL or equal**  
☒ DRAINAGE PLAN RESUBMITTAL  
\_\_\_\_ CONCEPTUAL GRADING & DRAINAGE PLAN  
☒ GRADING PLAN  
\_\_\_\_ EROSION CONTROL PLAN  
\_\_\_\_ ENGINEER'S CERTIFICATION (HYDROLOGY)  
\_\_\_\_ CLOMR/LOMR  
\_\_\_\_ TRAFFIC CIRCULATION LAYOUT (TCL)  
\_\_\_\_ ENGINEERS CERTIFICATION (TCL)  
\_\_\_\_ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)  
\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_

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\_\_\_\_ SIA / FINANACIAL GUARANTEE RELEASE  
\_\_\_\_ PRELIMINARY PLAT APPROVAL  
\_\_\_\_ S. DEV. PLAN FOR SUB'D. APPROVAL  
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☒ GRADING PERMIT APPROVAL  
\_\_\_\_ PAVING PERMIT APPROVAL  
\_\_\_\_ WORK ORDER APPROVAL  
\_\_\_\_ GRADING CERTIFICATION  
\_\_\_\_ OTHER (SPECIFY) SO-19 \_\_\_\_\_

## WAS A PRE-DESIGN CONFERENCE ATTENDED:

☒ YES  
\_\_\_\_ NO  
\_\_\_\_ COPY PROVIDED

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NOV 07 2012

DATE SUBMITTED: November 6, 2012 BY: Jeff Wooten

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal.

The particular nature, location and scope of the proposed development defines the degree of drainage detail.

One or more of the following levels of submittal may be required based on the following:

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2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
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5571 Midway Park Place NE  
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# TIERRA WEST, LLC

November 1, 2012

Curtis Cherne, P.E., Section Manager  
City of Albuquerque  
600 Second Street NW, 3<sup>rd</sup> Floor  
Albuquerque, NM 87102

**RE: SAGEBRUSH PLAZA, GRADING AND DRAINAGE PLAN  
ENGINEER'S STAMP DATE 10/2/2012 (D12/D006)**

Dear Mr. Cherne:

The purpose of this letter is to address comments on the grading and drainage plan received from your office October 30, 2012.

1. Provide the depth and calculations for the capacity of the swale in Section A-A and B-B.

**RESPONSE:** Requested calculations are shown. *n-factor of 0.025 is too low  
FHWA Guideline 0.035 to 0.050*

2. Show and label the valley gutter and the high point on the site to the east.

**RESPONSE:** Per your phone discussion with Jeff Wooten on 11/1/2012, the existing water break as shown on the Hoffmantown West Drainage Study was not adequately constructed. The attached revised plans show a proposed asphalt overlay that will create a 6" water break and will keep the flows on the parking lot to the east rather than allowing them to drain to La Orilla.

3. Provide flow line elevations in La Orilla Rd at the drive entrance to aid in the determination of an adequate water block.

**RESPONSE:** Proposed grades for the asphalt overlay which creates a 6" water break are shown on the attached revised plan. Sagebrush Church is the owner of Sagebrush Plaza and has approved this work. *- See Email*

4. Please remove the SO-19 notes since they are not needed for this site.

**RESPONSE:** The SO-19 notes were removed. ✓

5. Does this site receive offsite flows in the north drive entrance?

**RESPONSE:** There is a very small portion of the north shared driveway that drains onto the site. The drainage basin and calculations were revised accordingly. ✓

6. Retaining walls are only required for grade differences of 2 feet or more.

**RESPONSE:** The walls we have identified are needed in order to keep any transition slopes from exceeding 3:1.

7. The DRB may impose requirements that alter the site plan. Hydrology would like to see the DRB site plan submittal and hear comments, if any, from other board members prior to approving the plan for Building Permit.

**RESPONSE:** As you and Jeff Wooten discussed, this Site Plan for Building Permit is being approved administratively by the 'Planning Director or his/her designee and the City Engineer' and noted on the approved Site Plan for Subdivision. *NOV 15 2012*  
Russell Brito and Richard Dourte have both reviewed the plan and commented. To the best of our knowledge, we have addressed their comments satisfactorily.

If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

Sincerely,



Ronald R. Bohannon, P.E.

Enclosure/s

JN: 2011058  
RRB/jw/jg

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Channels A B

$$\frac{500.54 - 498.25}{2.29000 / 2387} \rightarrow 0.9\% \text{ slope}$$

Q Calc 10.2 cfs

W/  $n = 0.025$

Research recommends  
at least 0.035 for collars  
to capacity Max 7.3 cfs

8.48 required

Set Wood  
996 9839  
0010.050  
0010.050



# YOUR GARAGE COULD BE THE HOME TO A BRAND NEW 2012 LEXUS CT200H



It is time to buy your ticket to win. Tickets are \$100 each and only 1499 tickets will be sold. All proceeds benefit the New Mexico Philharmonic. The drawing will take place Sunday, September 9, 2012, 4pm-8pm at the Scalo Northern Italian Grill Restaurant. You do not need to be present to win. Thank you for your support for the NM Phil.



PO Box 21428  
Albuquerque, NM 87154



[www.lexusofsantafe.com](http://www.lexusofsantafe.com)  
[www.lexusofalbuquerque.com](http://www.lexusofalbuquerque.com)

Return form:

Checks should be made payable to New Mexico Philharmonic.

You may purchase tickets by phone with your credit card by calling the NM Phil at (505) 323-4343

Yes! I would like to purchase \_\_\_\_\_ chances at \$100 each.

My payment total is \$ \_\_\_\_\_

My preferred ticket #s are: \_\_\_\_\_

Please charge my Credit Card (check one) \_\_\_\_\_Master Card \_\_\_\_\_Visa \_\_\_\_\_AMEX \_\_\_\_\_Discover

Credit Card# \_\_\_\_\_ Expiration Date \_\_\_\_\_

Name on Card (please print) \_\_\_\_\_ Phone Number \_\_\_\_\_

Signature \_\_\_\_\_ Email \_\_\_\_\_

Billing Address \_\_\_\_\_ City/State \_\_\_\_\_ Zip \_\_\_\_\_

Tickets will be mailed to address above unless you specify a different address:

~~Billing Address~~ \_\_\_\_\_ City/State \_\_\_\_\_ Zip \_\_\_\_\_

MAILING

Winner is responsible for applicable taxes and license fees. Not allowable as a charitable contribution deduction under IRS. Sec. 170. Winner will have a choice to credit the value of the Lexus CT200h toward another Lexus of higher value. The difference in price will have to be paid by the winner.

**Olson, Greg R.**

**From:** Jeff Wooten [jwooten@tierrawestllc.com]  
**Sent:** Wednesday, December 05, 2012 8:43 AM  
**To:** Olson, Greg R.  
**Cc:** Cherne, Curtis  
**Subject:** RE: D12-D006: Sagebrush Plaza  
**Attachments:** 2011058 APPROVED Administrative Approval Plans 11-14-12.pdf.pdf

Greg,

Just FYI, the site is under construction and nearing completion. I have already been through these comments with Curtis and believe all is ok. In regards to your comments, I offer the following.

- The n-value of 0.25 I used was for the cobble treatment. My research shows an average of 0.25 for this. An n-value of 0.35 is typically used for a 'canal or river with many boulders and weeds'. Our swale does not have large boulders that will impact the flows. An n-value of 0.25 is typically used for 'typical canals and rivers free from large boulders and heavy weeds.' We do have some yuccas proposed in the swale which would have a slight impact on the drainage through the swale, but not enough in my opinion to go to a 0.35-0.50 n-value. There is also some maidengrass called out on the plan...I have contacted Hilltop to revise this to a different plant so that it will not impact the drainage. If we split the difference and use a 0.30 n-value, the allowable flow in the swale is 8.52 cfs, which is just over the requirement; however, I feel the 0.30 n-value is too high. Let me know what you think.
- We have already worked out the new water break with Curtis. The plans were revised and resubmitted to show an adequate water break and the calculations for the cross section. Again, the site is under construction and the main parking lot should be complete before Dec 13<sup>th</sup>. The water break will be constructed within two weeks after that.
- The east retaining wall is an existing wall. We do not plan to remove it. *- show limits*
- I have attached the Approved Administrative Amendment. We are only constructing phase 1 (parking/lighting/landscaping) for now. *Plan different from G&D notes. Gravel vs Cobble plantings in swale*



*provide more spot elev's*

Feel free to call if you have any questions.

Thanks,

**Jeff Wooten, PE, LEED AP**

**Tierra West, LLC**

5571 Midway park Place, NE

Albuquerque, NM 87109

Office: (505) 858-3100

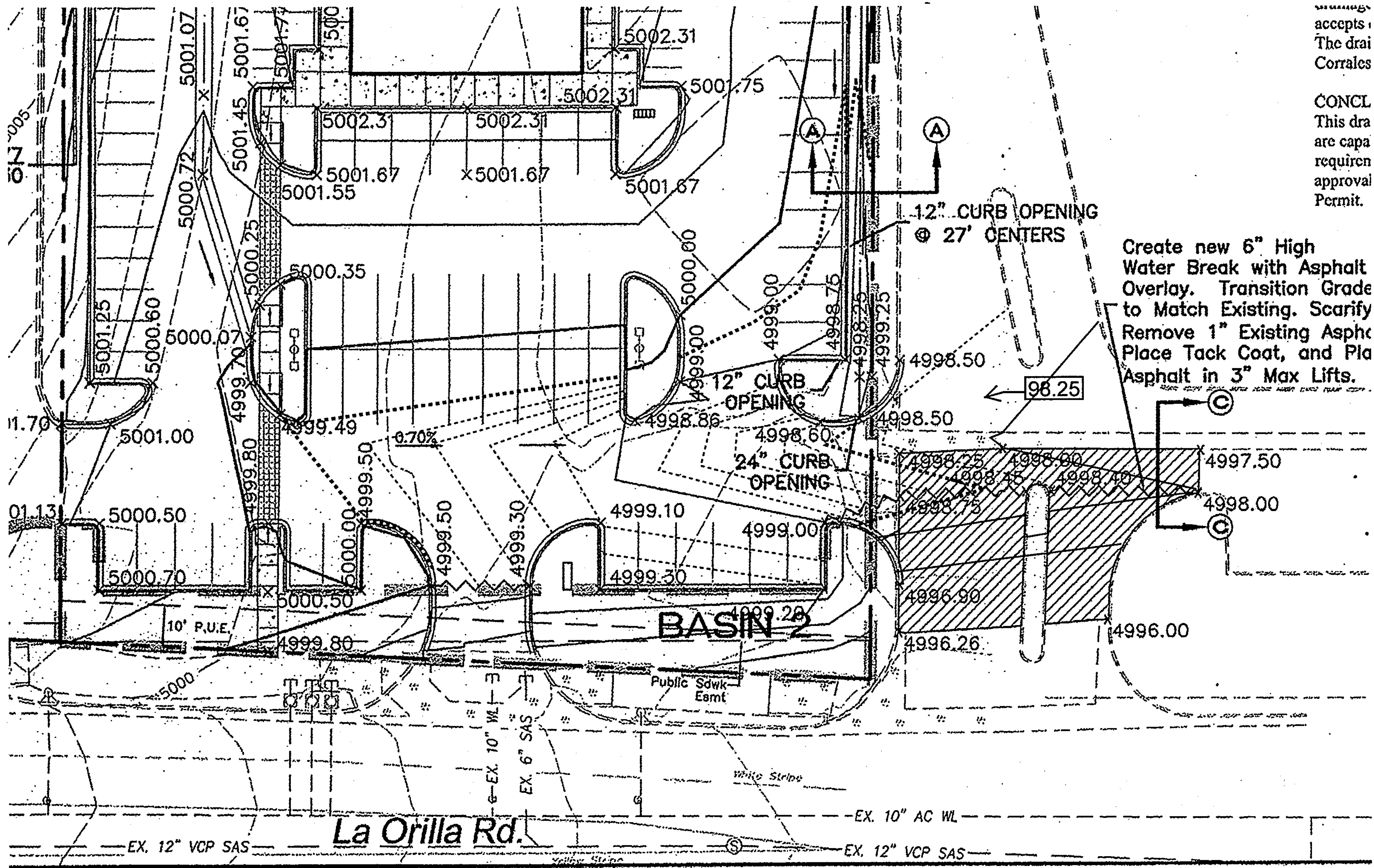
Cell: (972) 896-9839

[jwooten@tierrawestllc.com](mailto:jwooten@tierrawestllc.com)

[www.tierrawestllc.com](http://www.tierrawestllc.com)

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accepts:  
The drain  
Corrales

CONCL  
This dra  
are capa  
requir  
approval  
Permit.

Create new 6" High  
Water Break with Asphalt  
Overlay. Transition Grade  
to Match Existing. Scarify  
Remove 1" Existing Asphc  
Place Tack Coat, and Pla  
Asphalt in 3" Max Lifts.

TABLE 22.3 B-1

| <u>VALUES OF MANNING'S n</u>              | <u>.n value</u> |
|-------------------------------------------|-----------------|
| Reinforced Concrete Pipe                  | .013            |
| Poured Concrete                           | .013            |
| No-joint cast in place concrete pipe      | .014            |
| Reinforced Concrete Box                   | .015            |
| Reinforced Concrete Arch                  | .015            |
| Streets                                   | .017            |
| Flush Grouted Rip-Rap                     | .020            |
| Corrugated Metal Pipe                     | .025 }          |
| Grass Lined Channels (sodded & irrigated) | .025 }          |
| Earth Lined Channels (smooth)             | .030            |
| Arroyo Channels                           | .030            |
| Wire Tied Rip-Rap                         | .040            |
| Medium Weight Dumped Riprap               | .045            |
| Grouted Rip-Rap (exposed rock)            | .045            |
| Arroyo Overbank                           | .045            |
| Jetty Type Rip-Rap ( $D_{50} > 24"$ )     | .050            |

DPM  
n- factors

7

2 = 4

3 x 9

| This table is based on the COA DPM Section 22.2, Zone: 1 |          |       |                            |        |      |       |           |        |          |                       |                        |                         |
|----------------------------------------------------------|----------|-------|----------------------------|--------|------|-------|-----------|--------|----------|-----------------------|------------------------|-------------------------|
| BASIN                                                    | Area     | Area  | Land Treatment Percentages |        |      |       | Q(100)    | Q(100) | WTE      | V(100) <sub>360</sub> | V(100) <sub>1440</sub> | V(100) <sub>10day</sub> |
|                                                          | (SQ. FT) | (AC.) | A                          | B      | C    | D     | (cfs/ac.) | (CFS)  | (inches) | (CF)                  | (CF)                   | (CF)                    |
| Basin '1'                                                | 160170   | 3.68  | 0.0%                       | 75.0%  | 0.0% | 25.0% | 2.62      | 9.62   | 1.00     | 13281                 | 16084                  | 34637                   |
| Basin '2'                                                | 3671     | 0.08  | 0.0%                       | 100.0% | 0.0% | 0.0%  | 2.03      | 0.17   | 0.67     | 205                   | 205                    | 694                     |
| TOTAL                                                    | 163841   | 3.76  |                            |        |      |       |           | 9.79   |          | 13486                 | 16289                  | 35331                   |

### Proposed Sagebrush Plaza Drainage Calculations

Ultimate Development Conditions Basin Data Table

| This table is based on the COA DPM Section 22.2, Zone: 1 |          |       |                            |        |      |       |           |        |          |                       |                        |                         |
|----------------------------------------------------------|----------|-------|----------------------------|--------|------|-------|-----------|--------|----------|-----------------------|------------------------|-------------------------|
| BASIN                                                    | Area     | Area  | Land Treatment Percentages |        |      |       | Q(100)    | Q(100) | WTE      | V(100) <sub>360</sub> | V(100) <sub>1440</sub> | V(100) <sub>10day</sub> |
|                                                          | (SQ. FT) | (AC.) | A                          | B      | C    | D     | (cfs/ac.) | (CFS)  | (inches) | (CF)                  | (CF)                   | (CF)                    |
| Basin '1'                                                | 160170   | 3.68  | 0.0%                       | 20.0%  | 0.0% | 80.0% | 3.90      | 14.35  | 1.71     | 22824                 | 31794                  | 44180                   |
| Basin '2'                                                | 3671     | 0.08  | 0.0%                       | 100.0% | 0.0% | 0.0%  | 2.03      | 0.17   | 0.67     | 205                   | 205                    | 694                     |
| TOTAL                                                    | 163841   | 3.76  |                            |        |      |       |           | 14.52  |          | 23029                 | 31999                  | 44875                   |

ENGINEER'S  
SEAL



**SAGEBRUSH PLAZA**  
**COORS BLVD & LA ORILLA RD**

**GRADING AND  
DRAINAGE PLAN**

DRAWN  
JW

DATE  
11/01/

2011058-

SHEET

FHWA

Table 1. Base Values of Manning's  $n$

|                                  |                                                 | Base <i>n</i> Value                   |                             |
|----------------------------------|-------------------------------------------------|---------------------------------------|-----------------------------|
| Bed Material                     | Median Size of bed material<br>(in millimeters) | Straight Uniform Channel <sup>1</sup> | Smooth Channel <sup>2</sup> |
| Sand Channels                    |                                                 |                                       |                             |
| Sand <sup>3</sup>                | 0.2                                             | 0.012                                 | --                          |
|                                  | .3                                              | .017                                  | --                          |
|                                  | .4                                              | .020                                  | --                          |
|                                  | .5                                              | .022                                  | --                          |
|                                  | .6                                              | .023                                  | --                          |
|                                  | .8                                              | .025                                  | --                          |
|                                  | 1.0                                             | .026                                  | --                          |
| Stable Channels and Flood Plains |                                                 |                                       |                             |
| Concrete                         | --                                              | 0.012-0.018                           | 0.011                       |
| Rock Cut                         | --                                              | --                                    | .025                        |
| Firm Soil                        | --                                              | 0.025-0.032                           | .020                        |
| Coarse Sand                      | 1-2                                             | 0.026-0.035                           | --                          |
| Fine Gravel                      | --                                              | --                                    | .024                        |
| Gravel                           | 2-64                                            | 0.028-0.035                           | --                          |
| Coarse Gravel                    | --                                              | --                                    | .026                        |
| Cobble                           | 64-256                                          | 0.030-0.050                           | --                          |
| Boulder                          | >256                                            | 0.040-0.070                           | --                          |

[Modified from Aldridge & Garret, 1973, Table 1 --No data

1Benson & Dalrymple --No data

2 For indicated material; Chow( 1959)

3 Only For Upper regime flow where grain roughness is predominant

The flow regime is governed by the size of the bed materials and the stream power, which is a measure of energy transfer. Stream power (SP) is computed by the formula

$$SP = \gamma R S_w V \quad (4)$$

where:

SP = Stream Power, in newton-meters per second per square meter

$\gamma$  = specific weight of water, in Newtons per cubic meter

R = hydraulic radius, in meters

$S_w$  = water surface slope, in meter per meter

V = mean velocity, in meters per second

The values in for sand channels are for upper regime flows and are based on extensive laboratory and field data obtained by the U.S. Geological Survey. When using these values, a check must be made to ensure that the stream power is large enough to produce upper regime flow (Fig. 2). Although the base  $n$  values given in for stable channels are from verification studies, the values have a wide range because the effects of bed roughness are extremely difficult to separate from the effects of other roughness factors. The choice of  $n$  values selected

**Table 1. Base Values of Manning's  $n$**

|                                  |                                                 | Base <i>n</i> Value                   |                             |
|----------------------------------|-------------------------------------------------|---------------------------------------|-----------------------------|
| Bed Material                     | Median Size of bed material<br>(in millimeters) | Straight Uniform Channel <sup>1</sup> | Smooth Channel <sup>2</sup> |
| Sand Channels                    |                                                 |                                       |                             |
| Sand <sup>3</sup>                | 0.2                                             | 0.012                                 | --                          |
|                                  | .3                                              | .017                                  | --                          |
|                                  | .4                                              | .020                                  | --                          |
|                                  | .5                                              | .022                                  | --                          |
|                                  | .6                                              | .023                                  | --                          |
|                                  | .8                                              | .025                                  | --                          |
|                                  | 1.0                                             | .026                                  | --                          |
| Stable Channels and Flood Plains |                                                 |                                       |                             |
| Concrete                         | --                                              | 0.012-0.018                           | 0.011                       |
| Rock Cut                         | --                                              | --                                    | .025                        |
| Firm Soil                        | --                                              | 0.025-0.032                           | .020                        |
| Coarse Sand                      | 1-2                                             | 0.026-0.035                           | --                          |
| Fine Gravel                      | --                                              | --                                    | .024                        |
| Gravel                           | 2-64                                            | 0.028-0.035                           | --                          |
| Coarse Gravel                    | --                                              | --                                    | .026                        |
| Cobble                           | 64-256                                          | 0.030-0.050                           | --                          |
| Boulder                          | >256                                            | 0.040-0.070                           | --                          |

[Modified from Aldridge & Garret, 1973, Table 1 --No data

1Benson & Dalrymple --No data

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The flow regime is governed by the size of the bed materials and the stream power, which is a measure of energy transfer. Stream power (SP) is computed by the formula

$$SP = \gamma RS_w V \quad (4)$$

where

SP = Stream Power, in newton-meters per second per square meter

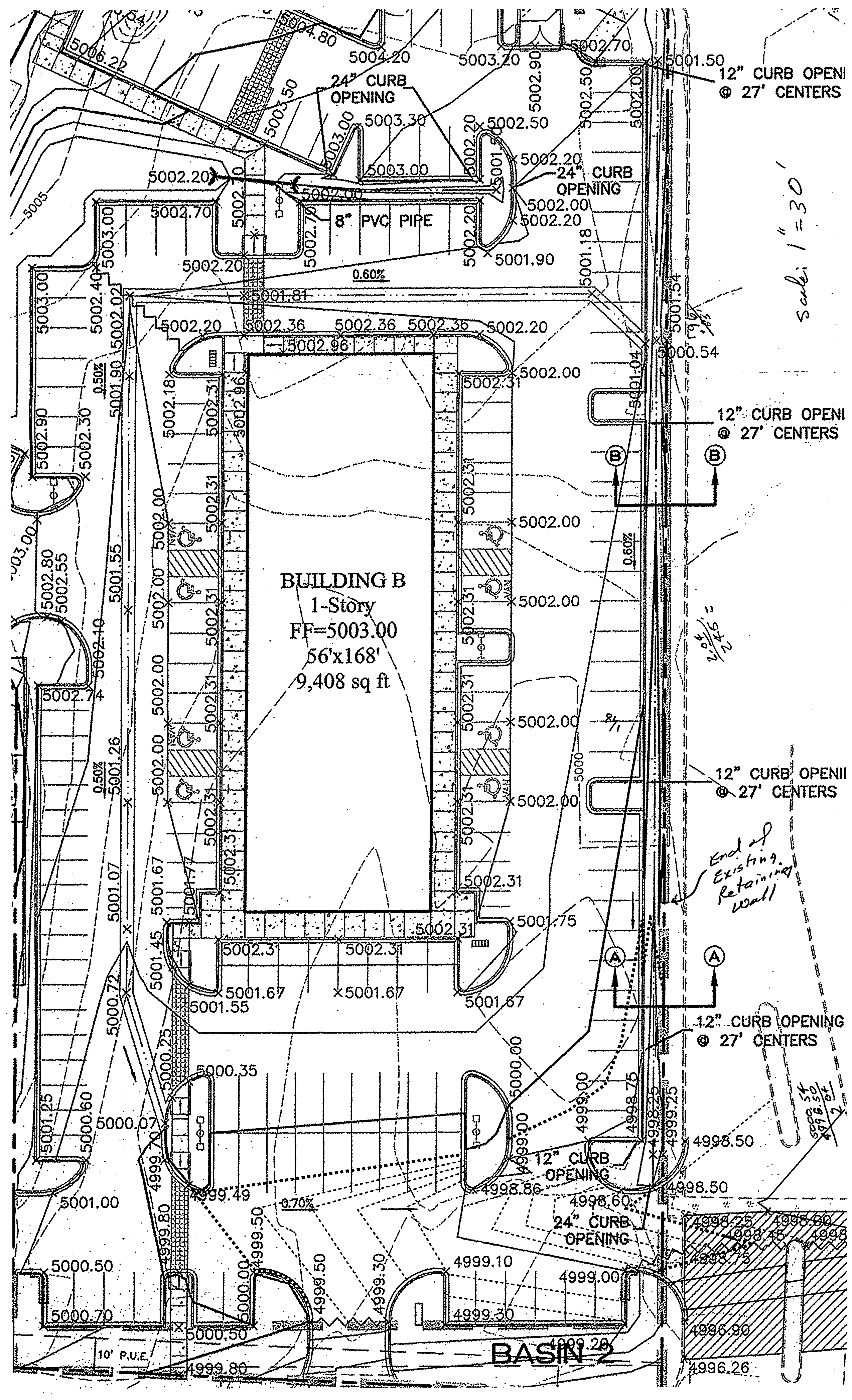
$\gamma$  = specific weight of water, in Newtons per cubic meter

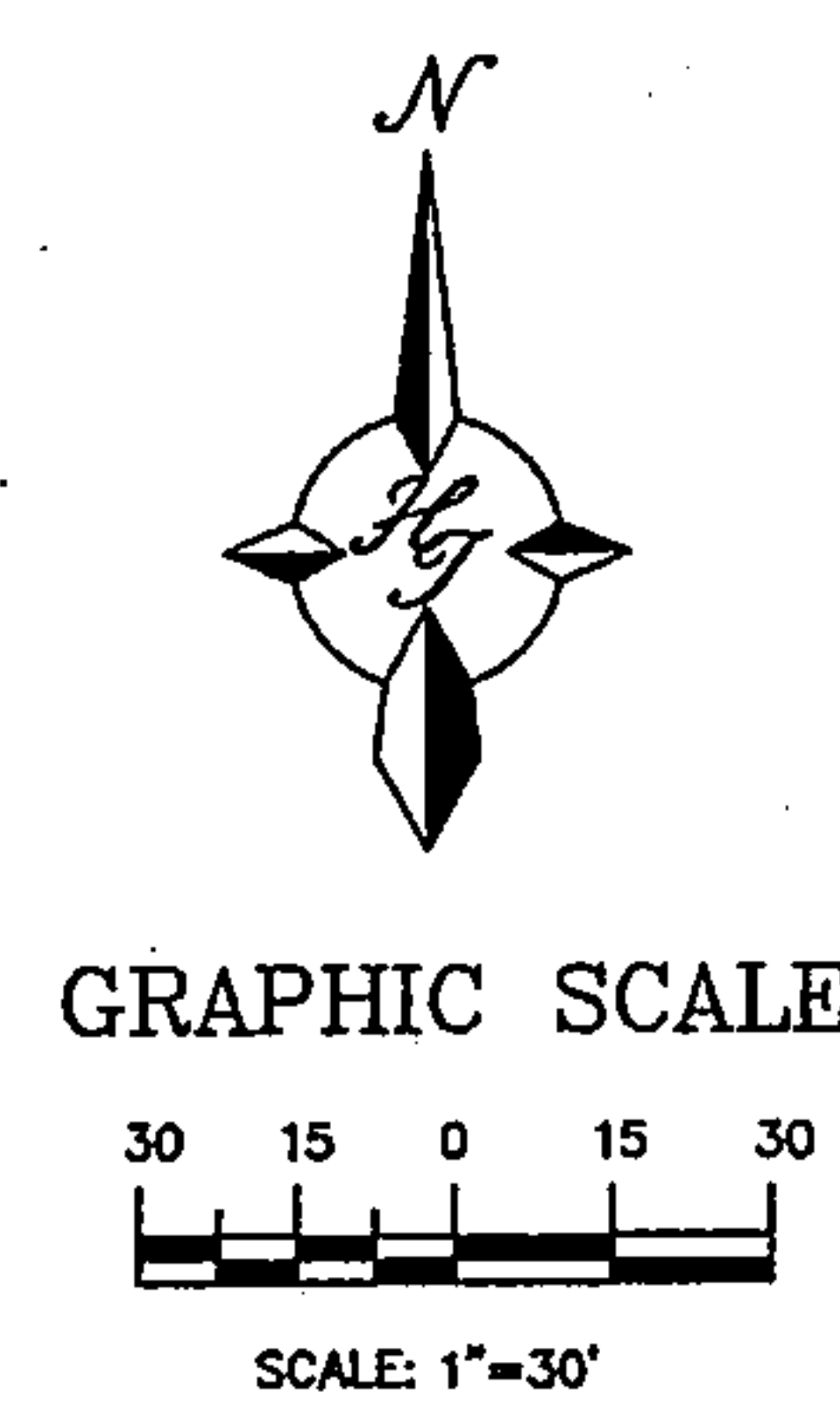
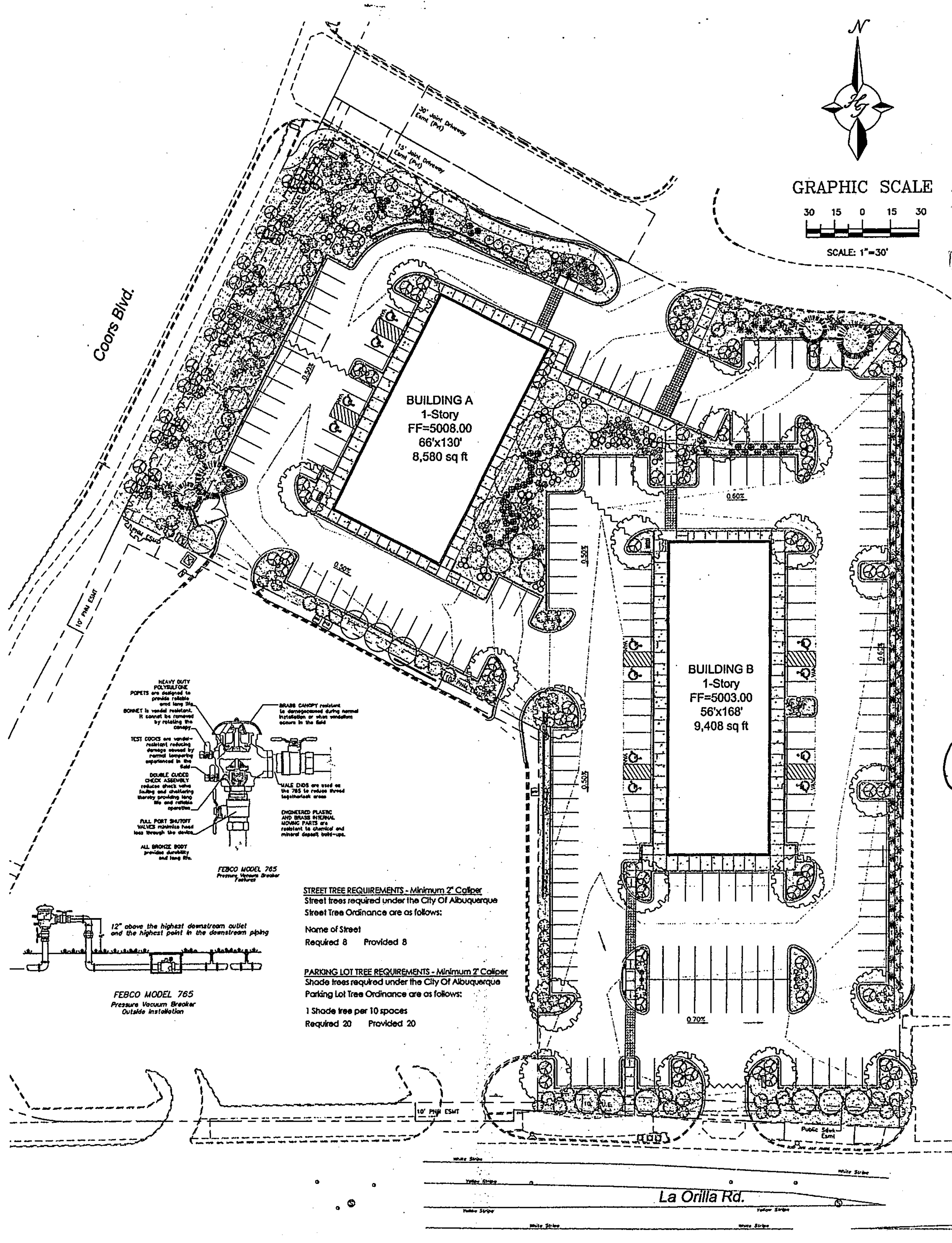
R = hydraulic radius, in meters

$S_w$  = water surface slope, in meter per meter

V = mean velocity, in meters per second

The values in for sand channels are for upper regime flows and are based on extensive laboratory and field data obtained by the U.S. Geological Survey. When using these values, a check must be made to ensure that the stream power is large enough to produce upper regime flow (Fig. 2). Although the base  $n$  values given in for stable channels are from verification studies, the values have a wide range because the effects of bed roughness are extremely difficult to separate from the effects of other roughness factors. The choice of  $n$  values selected





PLANT LEGEND

All plants shall be sized per American Standard for Nursery Stock. Installation size shall indicate the greater of height or spread. In cases where Type 0 plants have been pruned for rejuvenation, measurement should be by spread of roots rather than by the height of the plant.

- SHADE TREES**
- AUTUMN PURPLE ASH 8  
Fraxinus americana  
2" Cal., 12-14" Inst./30' x 30' maturity  
Water (M) Allergy (H) 0sf
  - CHITALPA 20  
Chilopsis x Catalpa  
2" Cal., 12-14" Inst./30' x 30' maturity  
Water (M) Allergy (L) 0sf
  - EASTERN REDBUD 6  
Cercis canadensis  
2" Cal., 8-10" Inst./30' x 30' maturity  
Water (M) Allergy (L) 0sf
  - AUSTRIAN PINE 4  
Pinus nigra  
6-8" Inst., 35' x 25' maturity  
Water (M) Allergy (L) 0sf

- SHRUBS/ORNAMENTAL TREES**
- DESERT WILLOW 13  
Chilopsis linearis  
15 Gal., 4-10" Inst./20' x 25' maturity  
Water (L+) Allergy (L) 225sf
  - NEW MEXICO OLIVE 8  
Forestiera neomexicana  
15 Gal., 4-10" Inst./15' x 15' maturity  
Water (M) Allergy (L) 225sf
- DESERT ACCENTS**
- OCOTILLO 1  
Fouquieria splendens  
4-6" Inst./15' x 10' maturity  
Water (L) Allergy (L) 0sf
  - AGAVE 4  
Agave spp.  
14-18" Inst./4' x 4' maturity  
Water (L+) Allergy (L) 16sf
  - RED YUCCA 50  
Hesperaloe parviflora  
5 Gal., 18-3" Inst./3' x 4' maturity  
Water (L+) Allergy (L) 16sf

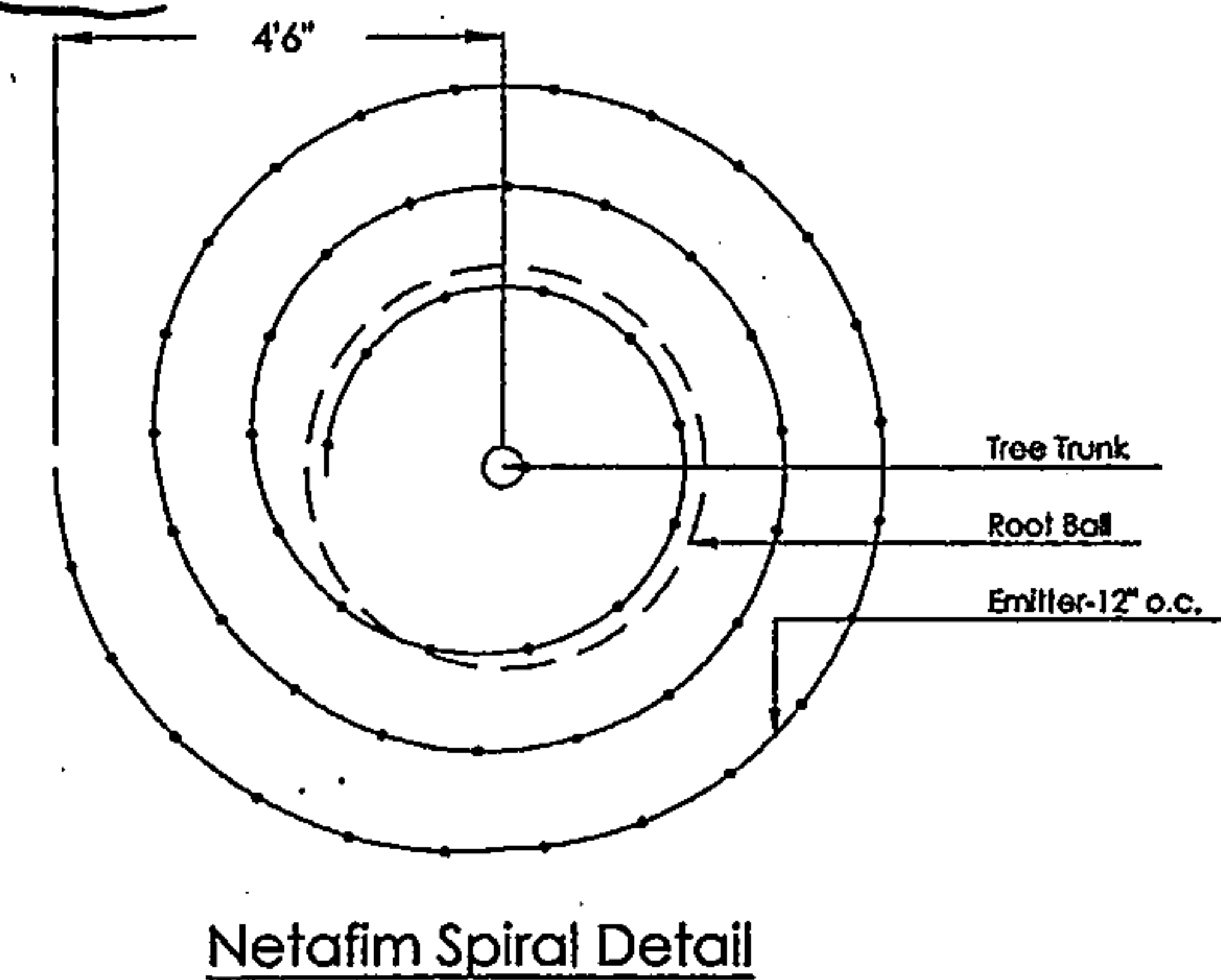
- GROUNDCOVERS**
- HONEYSUCKLE 109  
Lonicera japonica 'Halimora'  
1 Gal., 6-15" Inst./3' x 12' maturity  
Water (M) Allergy (L) 144sf  
Unstaked Groundcover
  - GREYLEAF COTONEASTER 77  
Cotoneaster glaucophyllus  
5 Gal., 24-4" Inst./22' x 9' maturity  
Water (M) Allergy (L) 81sf

- HARDSCAPES**
- SANTA FE BROWN GRAVEL MULCH  
WITH FILTER FABRIC  
TO A MINIMUM 3" DEPTH

- SHRUBS/ORNAMENTAL GRASSES**
- BUTTERFLY BUSH 3  
Buddleia davidii  
5 Gal., 12-3" Inst./10' x 10' maturity  
Water (M) Allergy (L) 100sf
  - PHOTINIA 28  
Photinia fraseri  
5 Gal., 2-4" Inst./8' x 8' maturity  
Water (M+) Allergy (L) 64sf
  - INDIAN HAWTHORN 6  
Raphiolepis indica  
5 Gal., 18-3" Inst./6' x 6' maturity  
Water (M) Allergy (L) 36sf
  - NANDINA 4  
Nandina domestica  
5 Gal., 2-4" Inst./8' x 5' maturity  
Water (M+) Allergy (L) 25sf
  - MAIDENGRASS 41  
Miscanthus sinensis  
5 Gal., 18-3" Inst./5' x 5' maturity  
Water (M+) Allergy (L) 25sf
  - SCOTCH BROOM 12  
Cytisus scoparius  
5 Gal., 18-3" Inst./4' x 4' maturity  
Water (M) Allergy (L) 16sf
  - POTENTILLA 15  
Potentilla fruticosa  
1 Gal., 3-15" Inst./3' x 3' maturity  
Water (M+) Allergy (L) 9sf
  - MUGO PINE 18  
Pinus mugo  
5 Gal., 12-3" Inst./3' x 3' maturity  
Water (M) Allergy (L) 9sf
  - REGAL HILT 46  
Muhlenbergia capillaris  
5 Gal., 12-3" Inst./3' x 3' maturity  
Water (M) Allergy (L) 9sf
  - THREADGRASS 27  
Stipa tenuissima  
1 Gal., 3-15" Inst./2' x 2' maturity  
Water (L+) Allergy (L) 4sf
  - CATMINT 28  
Nepeta mussini  
1 Gal., 3-15" Inst./1' x 2' maturity  
Water (M) Allergy (L) 4sf

- VINES**
- BANKS ROSE 14  
Rosa banksiae  
1 Gal., 6-15" Inst./climbing to 20'  
Water (M) Allergy (L)

\* DENOTES EVERGREEN PLANT MATERIAL



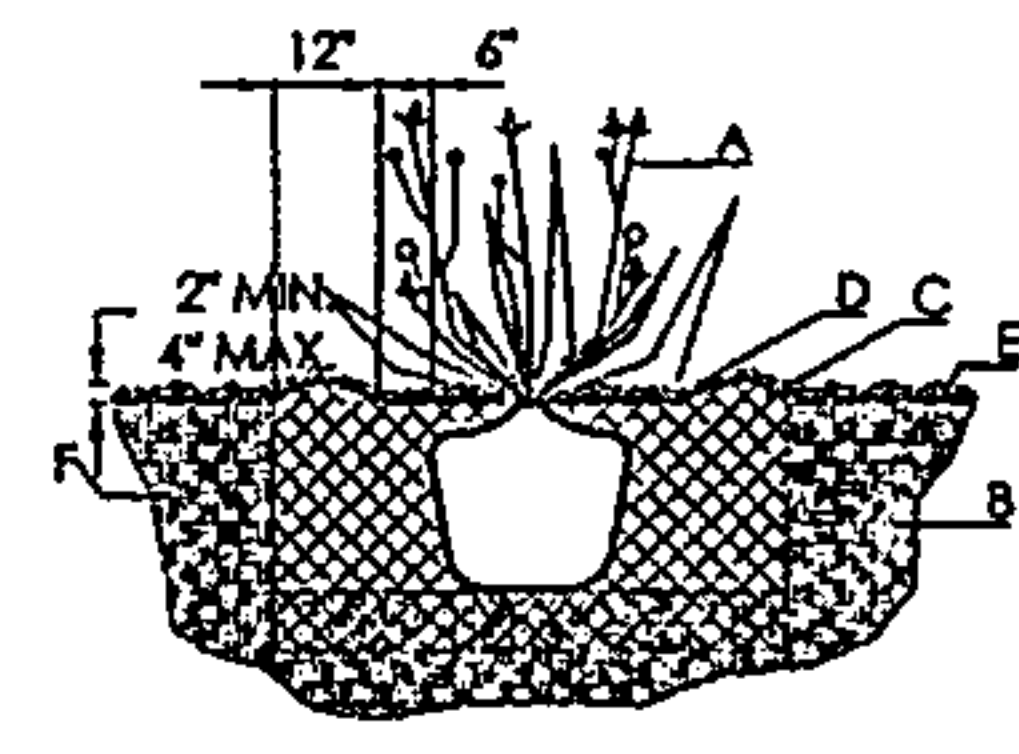
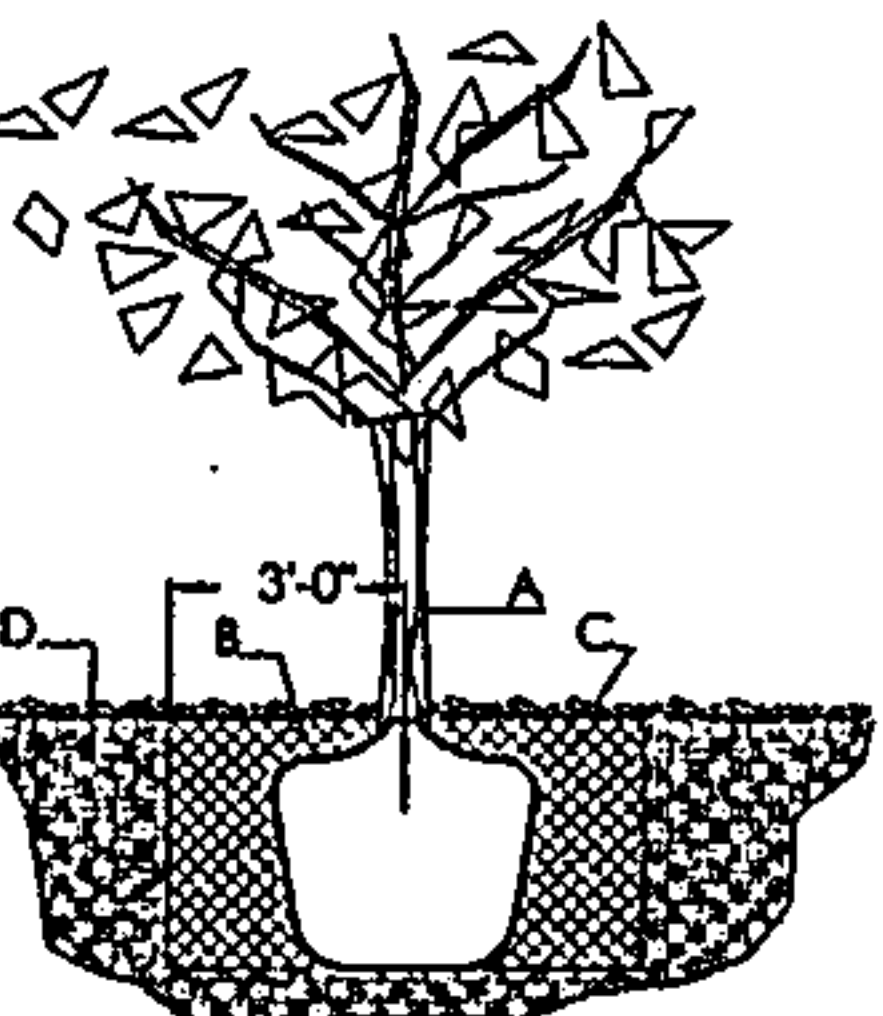
Netafim Spiral Detail

TREE PLANTING DETAIL

- NTS
- GENERAL NOTES:**
1. ROOTBALL SHALL BE PLACED ON UNDISTURBED SOIL TO PREVENT TREE FROM SETTLING.
  2. TOP OF ROOTCOLLAR INDICATED LEVEL AT WHICH TREE WAS GROWN AND DUG; THIS REPRESENTS THE LEVEL AT WHICH THE TREE SHOULD BE INSTALLED; THAT LEVEL MAY BE EXCEEDED BY ONLY A ONE INCH LAYER OF SOIL.
  3. PRIOR TO BACKFILLING TREE, ALL WIRE, ROPE AND SYNTHETIC MATERIALS SHALL BE REMOVED FROM THE TREE AND THE PLANTING PIT.
  4. PRIOR TO BACKFILLING ALL BURLAP SHALL BE CUT AWAY EXCEPT FROM BOTTOM OF THE ROOTBALL.
- CONSTRUCTION NOTES:**
- A. TREE
  - B. BACKFILL WITH EXISTING SOIL
  - C. 3" DEPTH OF GRAVEL MULCH
  - D. UNDISTURBED SOIL

SHRUB PLANTING DETAIL

- NTS
- GENERAL NOTES:**
1. THE OUTSIDE DIAMETER OF THE WATER RETENTION BASIN SHALL BE TWICE THE DIAMETER OF THE SHRUB PLANTING PIT.
- CONSTRUCTION NOTES:**
- A. SHRUB
  - B. BACKFILL WITH EXISTING SOIL
  - C. EARTH BERM AROUND WATER RETENTION BASIN
  - D. 3" DEPTH OF GRAVEL MULCH
  - E. FINISH GRADE
  - F. UNDISTURBED SOIL



**The Hilltop**  
LANDSCAPE ARCHITECTS & CONTRACTORS  
Cont. Lic. #26458  
7909 Edith N.E.  
Albuquerque, NM 87184  
Ph. (505) 898-9690  
Fax (505) 898-7737  
cm@hilltoplandscaping.com  
All construction contracts herein require the signature of The Hilltop Landscape Architects and Contractors and are protected by copyright laws. This is an original design and must not be copied or used without applicable fees have been paid or pre-order placed. All plants shall be sized per American Standard for Nursery Stock.

**LANDSCAPE NOTES:**  
Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain street trees in a living, healthy, and attractive condition.  
It is the intent of this plan to comply with the City Of Albuquerque Water Conservation, Landscaping and Water Waste Ordinance, planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.  
Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.  
Plant beds shall achieve 75% live ground cover at maturity.  
Brown Gravel Mulch over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas which are not designated to receive native seed.

**IRRIGATION NOTES:**  
Irrigation shall be a complete underground system with Trees to receive 1 Netafim spiral (50' length) with 3 loops at a final radius of 4.5' from tree trunk, pinned in place. Netafim shall have emitters 12" o.c. with a flow of 4 gph. Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end. Trees and shrubs shall be on separate valves.  
Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 1.5 hours, 3 times per week. Run time will be adjusted according to the season.  
Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.  
Location of controller to be field determined and power source for controller to be provided by others.  
Irrigation maintenance shall be the responsibility of the Property Owner.  
Water and Power source shall be the responsibility of the Developer/Builder.

LANDSCAPE CALCULATIONS

|                                                    |             |             |
|----------------------------------------------------|-------------|-------------|
| TOTAL LOT AREA                                     | 133624      | square feet |
| TOTAL BUILDINGS AREA                               | 18408       | square feet |
| NET LOT AREA                                       | 115216      | square feet |
| LANDSCAPE REQUIREMENT                              | 15%         |             |
| TOTAL LANDSCAPE REQUIREMENT                        | 17282       | square feet |
| TOTAL BED PROVIDED                                 | 32786       | square feet |
| GROUND COVER REQ.                                  | 75%         | square feet |
| TOTAL GROUND COVER REQUIREMENT                     | 24589       | square feet |
| TOTAL GROUND COVER PROVIDED                        | 31014 (94%) | square feet |
| TOTAL PONDING AREA                                 | 0           | square feet |
| TOTAL SOD AREA<br>(max. 20% of landscape required) | 0           | square feet |
| TOTAL NATIVE SEED AREA                             | 0           | square feet |
| TOTAL LANDSCAPE PROVIDED                           | 32786       | square feet |

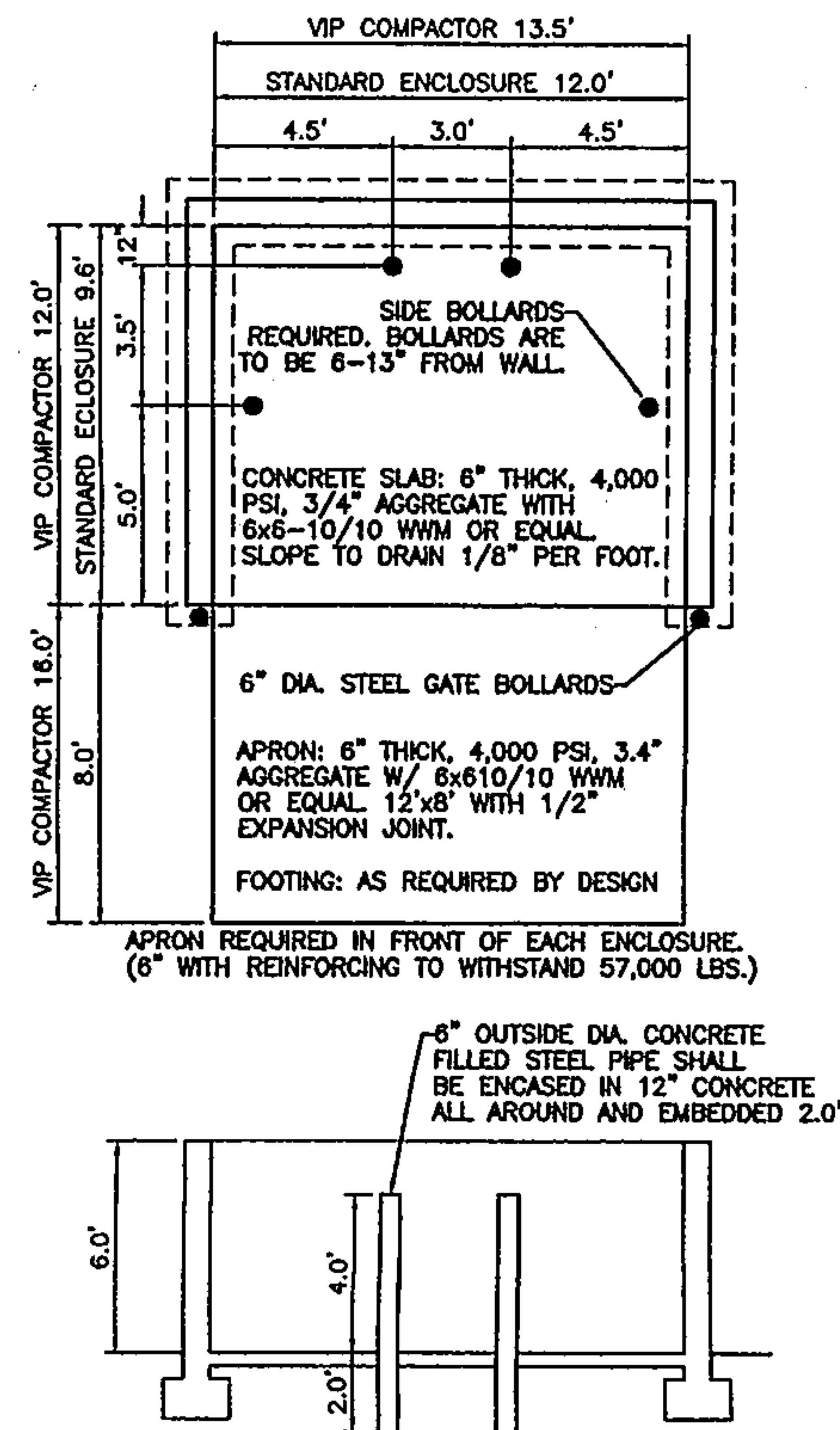
**SAGEBRUSH CHURCH**  
**LANDSCAPE PLAN**

**TIERRA WEST, LLC**  
5571 MIDWAY PARK PLACE NE  
ALBUQUERQUE, NM 87109  
(505) 858-3100  
www.tierrawestllc.com

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DATE  
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REV: 2/11-1-12

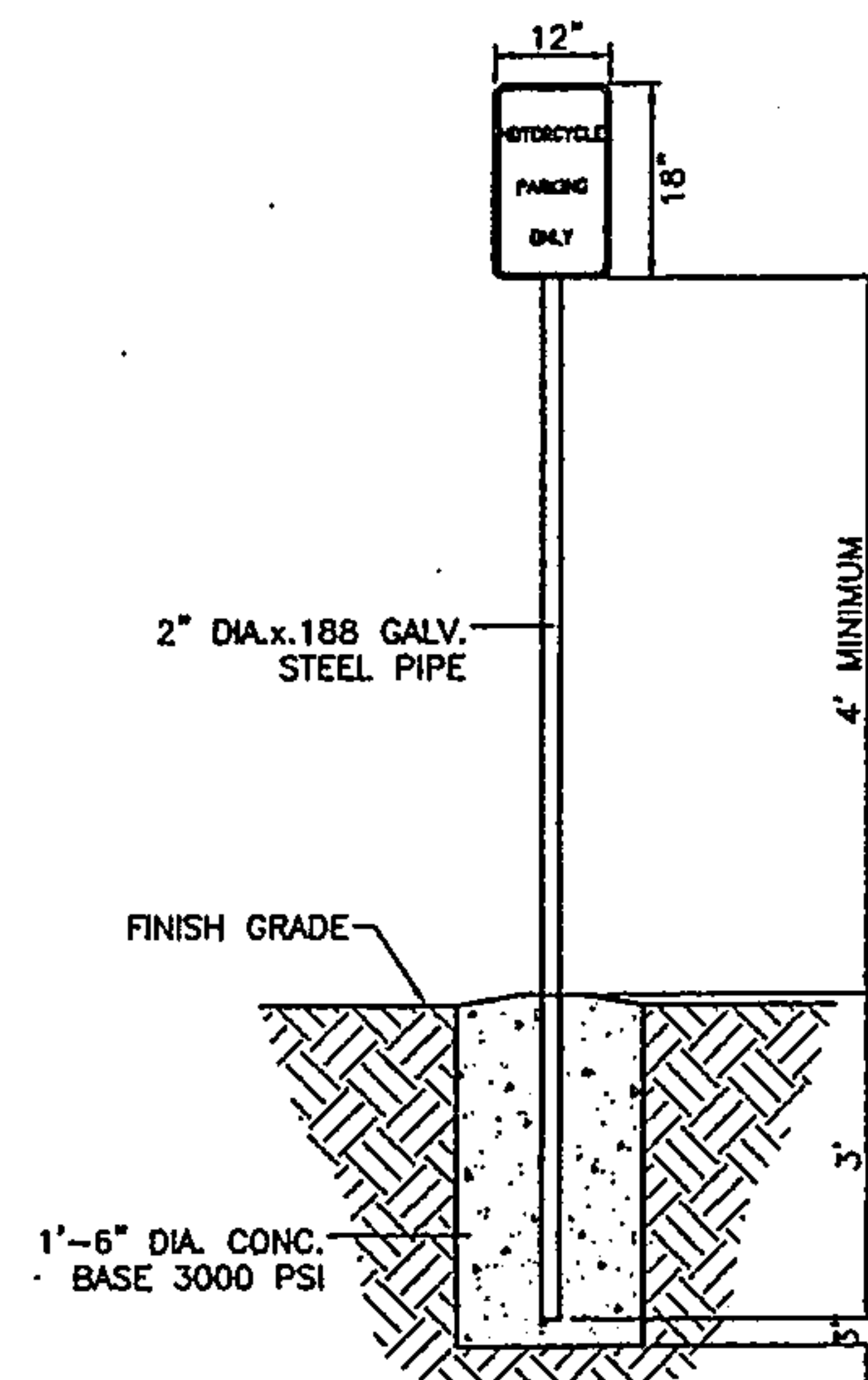
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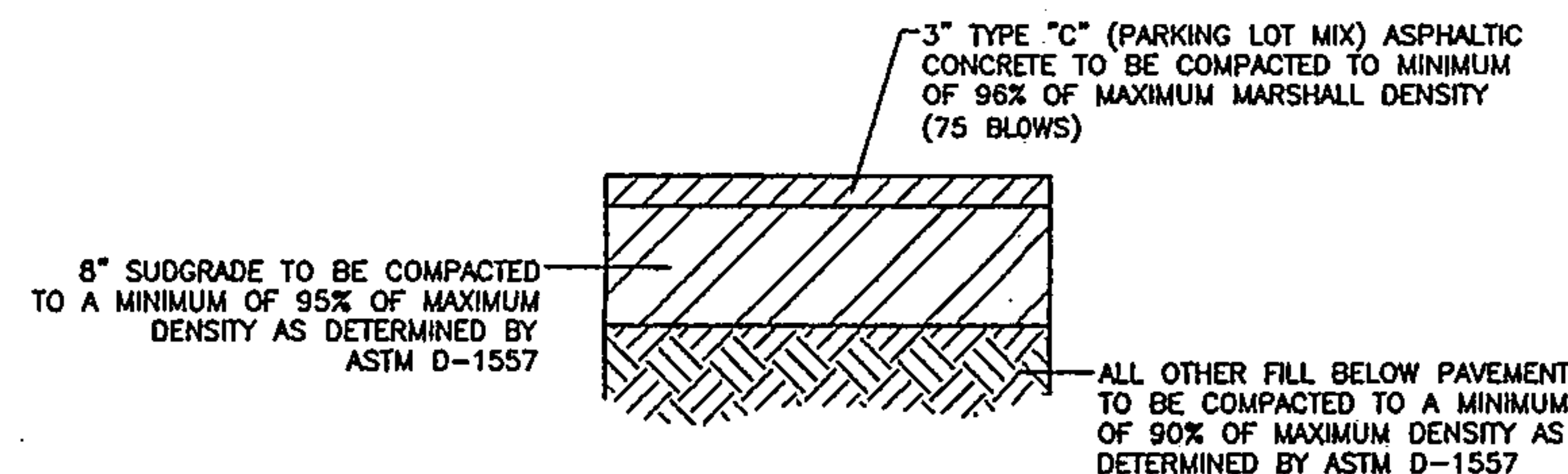


NOTE: THESE ARE THE MINIMUM REQUIREMENTS FOR TRASH ENCLOSURES. DESIGNS MAY VARY TO FIT THE SELECTED ENCLOSURE.

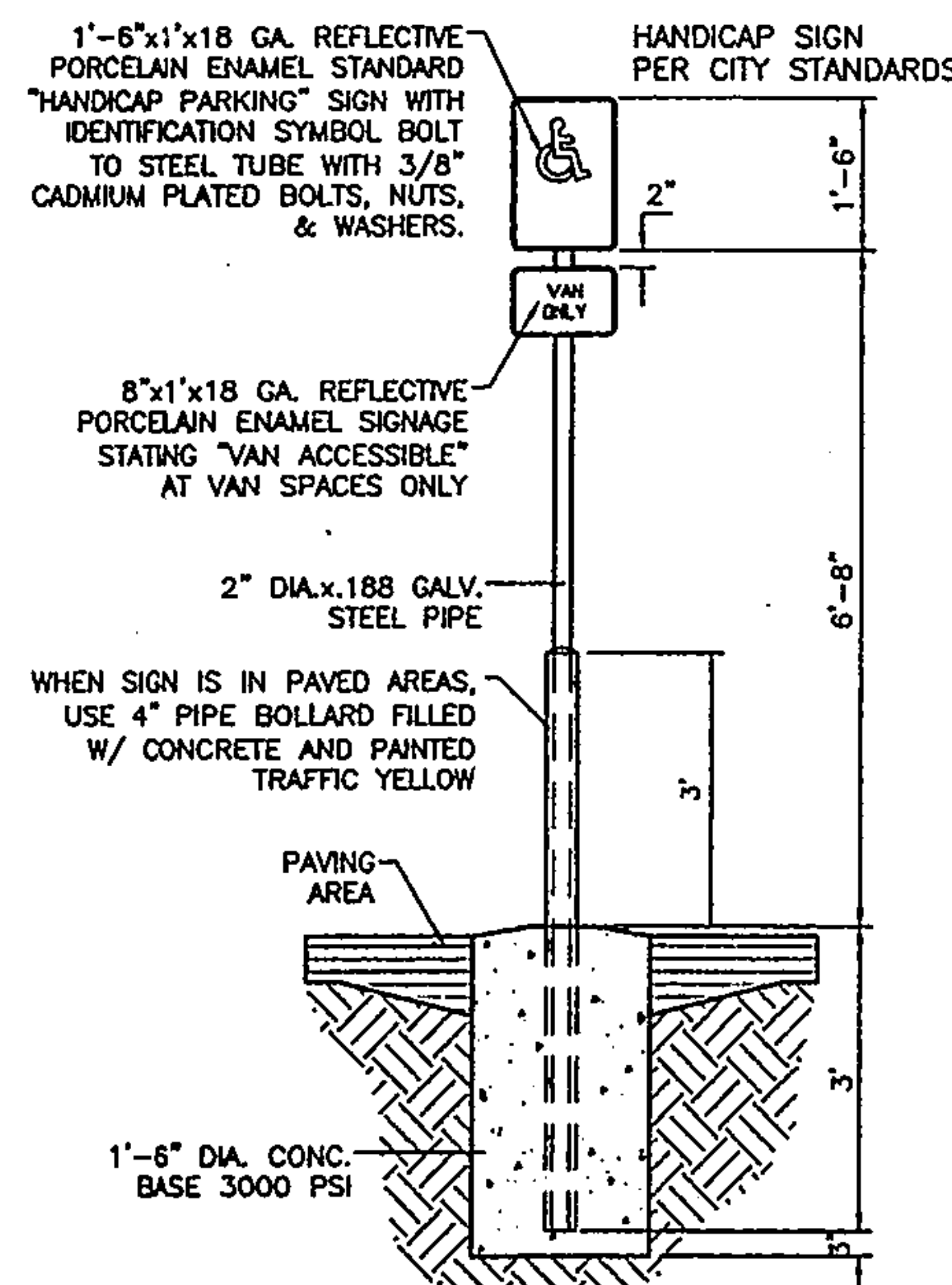
**DUMPSTER ENCLOSURE DETAIL**  
NTS



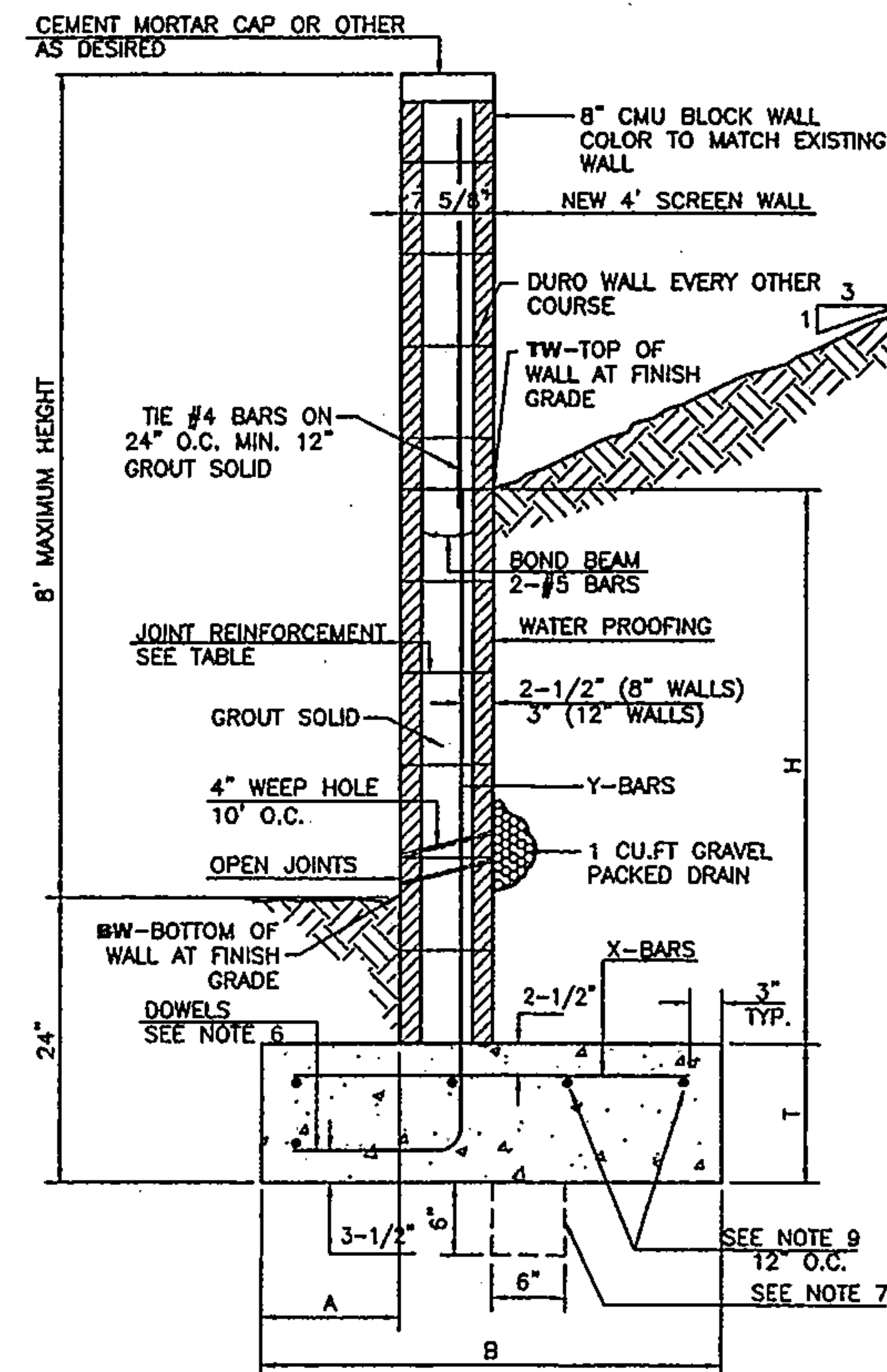
**MOTORCYCLE PARKING SIGN**  
NTS



**AUTOMOBILE PARKING  
TYPICAL PAVING SECTION**  
1\"/>



**HANDICAP SIGN**  
NTS



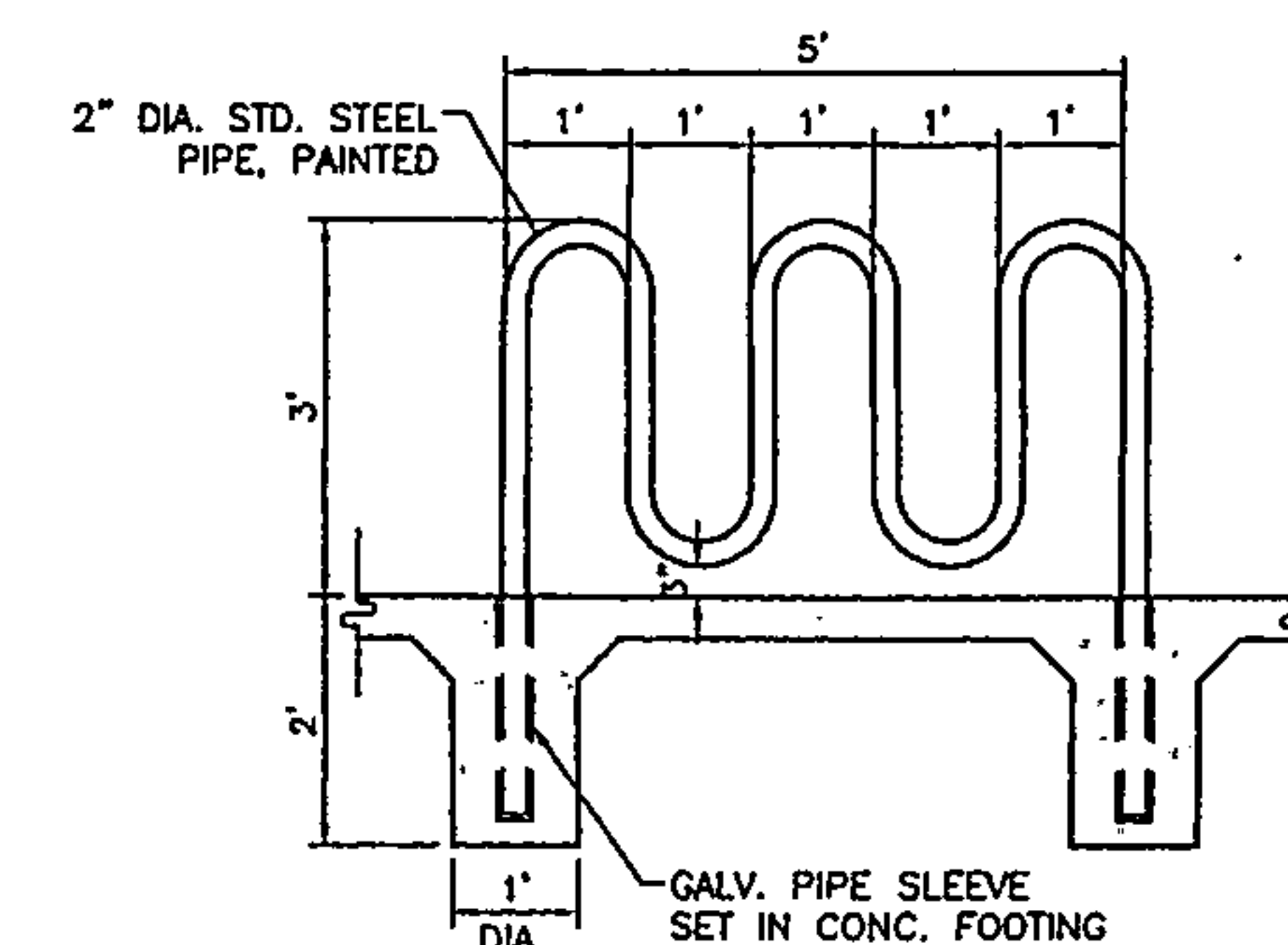
**RETAINING WALL DETAIL**  
NTS

| 8 INCH REINFORCED CONCRETE MASONRY WALL |     |         |     |              |              |
|-----------------------------------------|-----|---------|-----|--------------|--------------|
| H                                       | A   | B       | T   | Y-BARS       | X-BARS       |
| ft.-in.                                 | in. | ft.-in. | in. |              |              |
| 2'-0"                                   | 8"  | 2'-0"   | 9"  | #4 @32" O.C. | #4 @24" O.C. |
| 2'-8"                                   | 8"  | 2'-0"   | 9"  | #4 @32" O.C. | #4 @24" O.C. |
| 3'-4"                                   | 8"  | 2'-4"   | 9"  | #4 @32" O.C. | #4 @24" O.C. |
| 4'-0"                                   | 10" | 2'-8"   | 9"  | #4 @32" O.C. | #4 @24" O.C. |
| 4'-8"                                   | 12" | 3'-4"   | 10" | #5 @32" O.C. | #4 @18" O.C. |
| 5'-4"                                   | 14" | 3'-10"  | 10" | #6 @18" O.C. | #4 @18" O.C. |
| 6'-0"                                   | 16" | 4'-8"   | 12" | #6 @8" O.C.  | #4 @12" O.C. |

| 12 INCH REINFORCED CONCRETE MASONRY WALL |     |         |     |              |              |
|------------------------------------------|-----|---------|-----|--------------|--------------|
| H                                        | A   | B       | T   | Y-BARS       | X-BARS       |
| ft.-in.                                  | in. | ft.-in. | in. |              |              |
| 5'-4"                                    | 14" | 3'-8"   | 10" | #6 @18" O.C. | #4 @24" O.C. |
| 6'-0"                                    | 15" | 4'-2"   | 12" | #4 @16" O.C. | #4 @18" O.C. |
| 6'-8"                                    | 16" | 4'-6"   | 12" | #6 @24" O.C. | #5 @18" O.C. |
| 7'-4"                                    | 18" | 4'-10"  | 12" | #6 @16" O.C. | #5 @18" O.C. |
| 8'-0"                                    | 20" | 5'-4"   | 12" | #7 @18" O.C. | #6 @12" O.C. |
| 8'-8"                                    | 20" | 5'-8"   | 12" | #7 @16" O.C. | #6 @12" O.C. |

**GENERAL NOTES:**

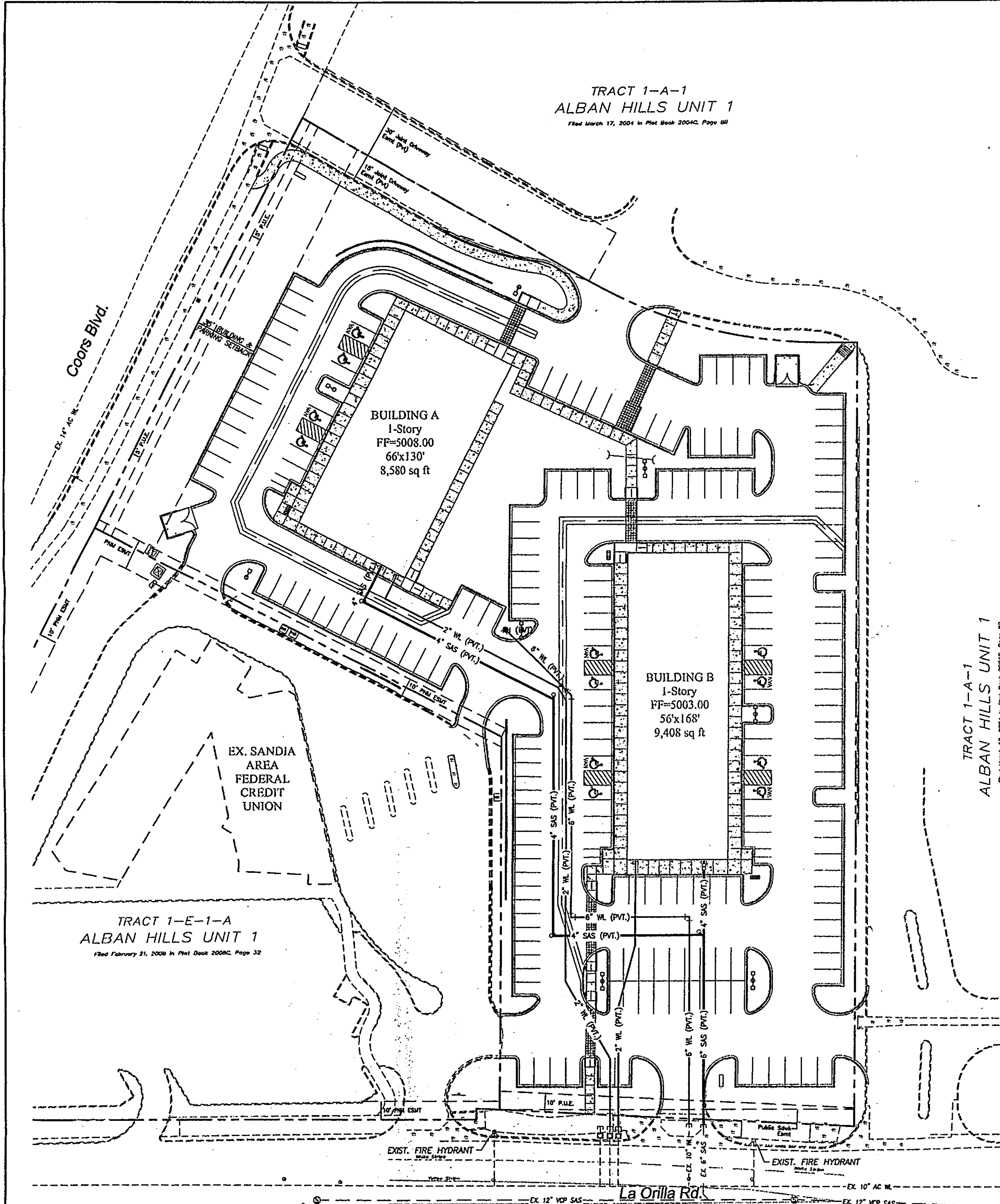
1. ALL CONCRETE IS TO BE 4000 PSI @ 28 DAYS.
2. MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE  $\pm 2.0\%$ .
3. BACK FILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
4. ALL BARS ARE TO BE GRADE 60, ASTM 615.
5. TRUSS TYPE DUR-O-WALL EVERY OTHER COURSE.
6. DOWELS SHALL BE AT LEAST EQUAL IN SIZE AND SPACING TO Y-BARS. SHALL PROJECT A MINIMUM OF 30 BAR DIA. INTO THE FILLED BLOCK CORES, AND SHALL EXTEND TO THE TOE OF THE FOOTING.
7. PROVIDE KEY FOR 8" AND 12" WALLS WHERE H EXCEEDS 6'-0".
8. USE EITHER EXPANSION JOINTS ON 20' CENTERS OR PILASTERS EVERY 16'.
9. BOND BEAM, 1-#4 BARS FOR WALLS UNDER 3'-4", 2-#4 BARS FOR WALLS UNDER 5'-4", 2-#5 BARS FOR WALLS OVER 5'-4".



**BIKE RACK DETAIL**  
SCALE: 1/2"=1'

|  |                           |  |             |
|--|---------------------------|--|-------------|
|  | <b>SAGEBRUSH PLAZA</b>    |  | DRAWN BY    |
|  | COORS BLVD & LA ORILLA RD |  | JW          |
|  | DETAILS                   |  | DATE        |
|  |                           |  | 10/08/12    |
|  |                           |  | 2011058-DET |
|  |                           |  | SHEET #     |
|  |                           |  | C4          |
|  |                           |  | JOB #       |
|  |                           |  | 2011058     |

**TIERRA WEST, LLC**  
5571 MIDWAY PARK PLACE NE  
ALBUQUERQUE, NM 87109  
(505) 858-3100  
www.tierrowestllc.com



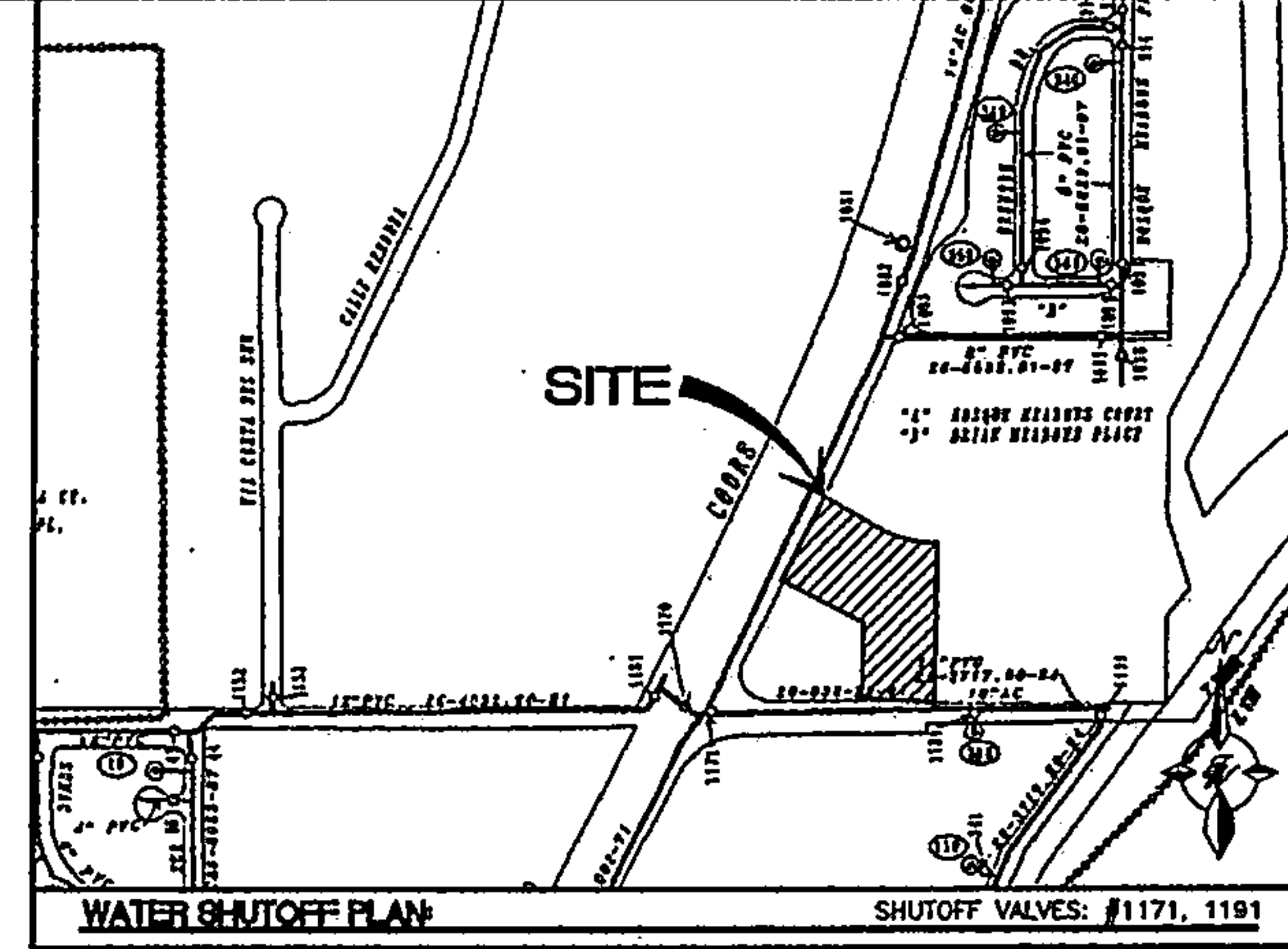
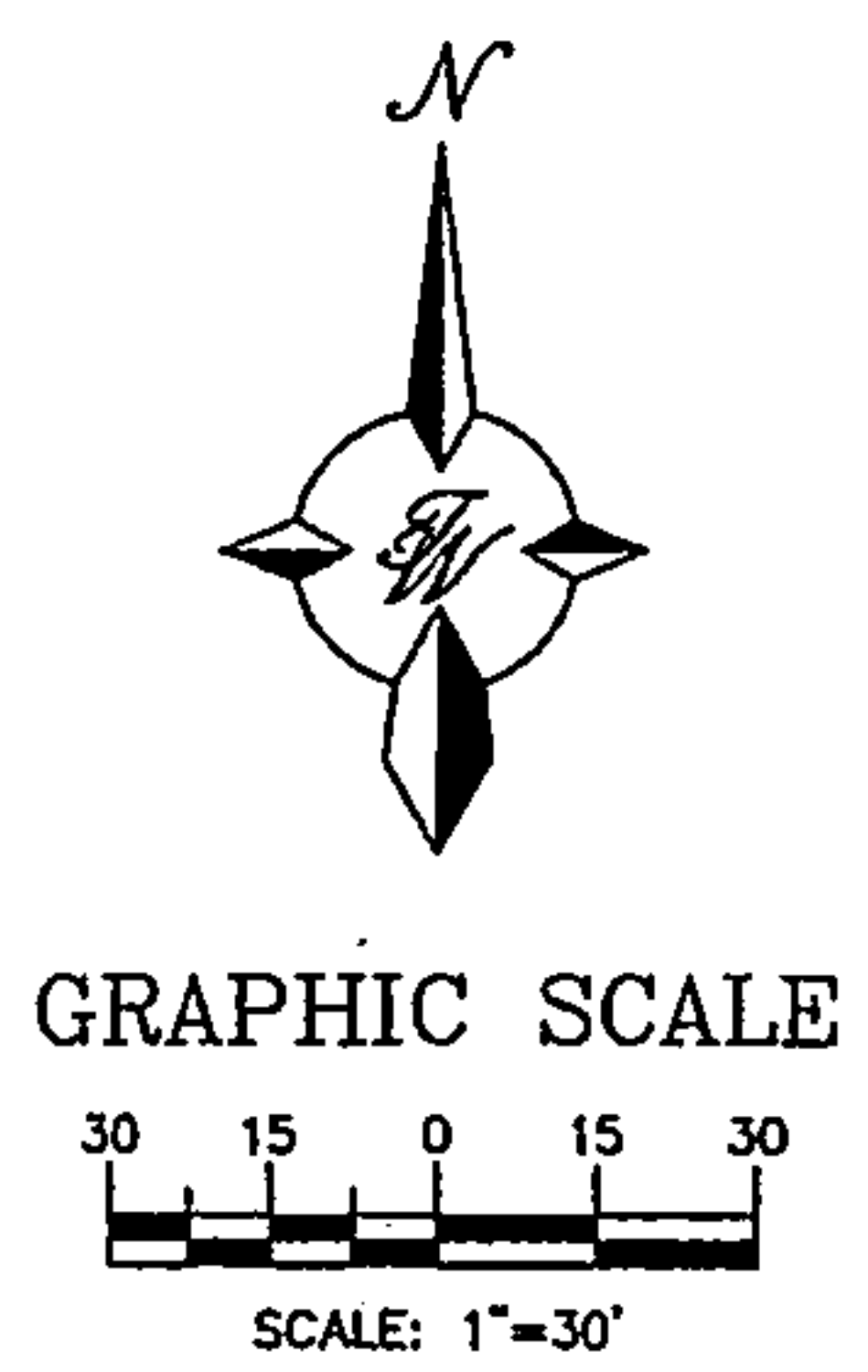
TRACT 1-A-1  
ALBAN HILLS UNIT 1  
Filed March 17, 2004 in Plot Book 2004C, Page 81

TRACT 1-E-1-A  
ALBAN HILLS UNIT 1  
Filed February 31, 2006 in Plot Book 2006C, Page 32

TRACT 1-A-1  
ALBAN HILLS UNIT 1  
Filed March 17, 2004 in Plot Book 2004C, Page 82

**CAUTION:**  
ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

| LEGEND |                                |
|--------|--------------------------------|
|        | CURB & GUTTER                  |
|        | BOUNDARY LINE                  |
|        | EASEMENT                       |
|        | CENTERLINE                     |
|        | RIGHT-OF-WAY                   |
|        | BUILDING                       |
|        | SIDEWALK                       |
|        | SCREEN WALL                    |
|        | RETAINING WALL                 |
|        | EXISTING CURB & GUTTER         |
|        | EXISTING BOUNDARY LINE         |
|        | STORM SEWER LINE               |
|        | SANITARY SEWER LINE            |
|        | WATERLINE                      |
|        | SINGLE CLEAN OUT               |
|        | DOUBLE CLEAN OUT               |
|        | EXISTING SD MANHOLE            |
|        | EXISTING INLET                 |
|        | EXISTING SAS MANHOLE           |
|        | EXISTING FIRE HYDRANT          |
|        | EXISTING WATER METER           |
|        | EXISTING POWER POLE            |
|        | EXISTING GAS VALVE             |
|        | EXISTING OVERHEAD UTILITIES    |
|        | EXISTING UNDERGROUND UTILITIES |
|        | EXISTING GAS                   |
|        | EXISTING SANITARY SEWER LINE   |
|        | EXISTING WATER LINE            |
|        | EXISTING STORM SEWER LINE      |

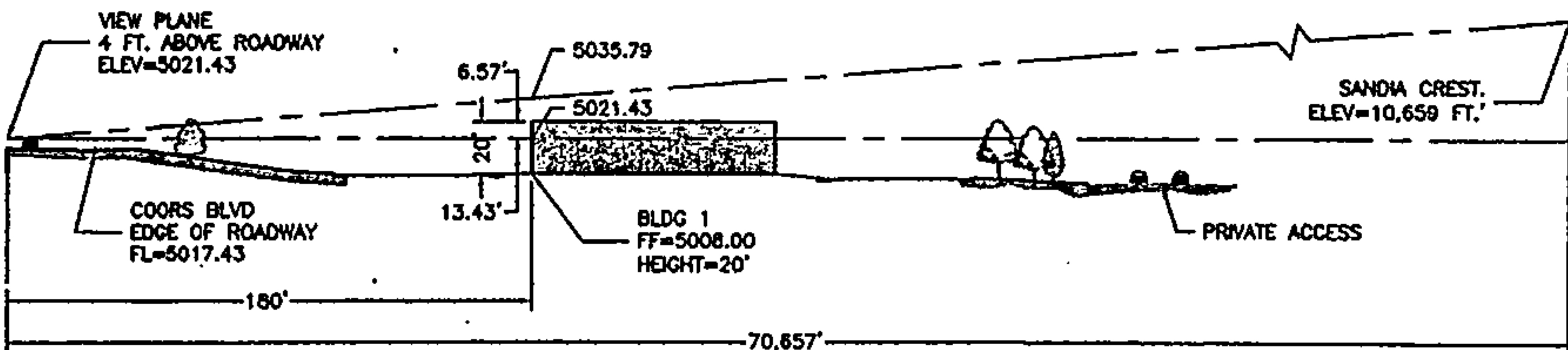
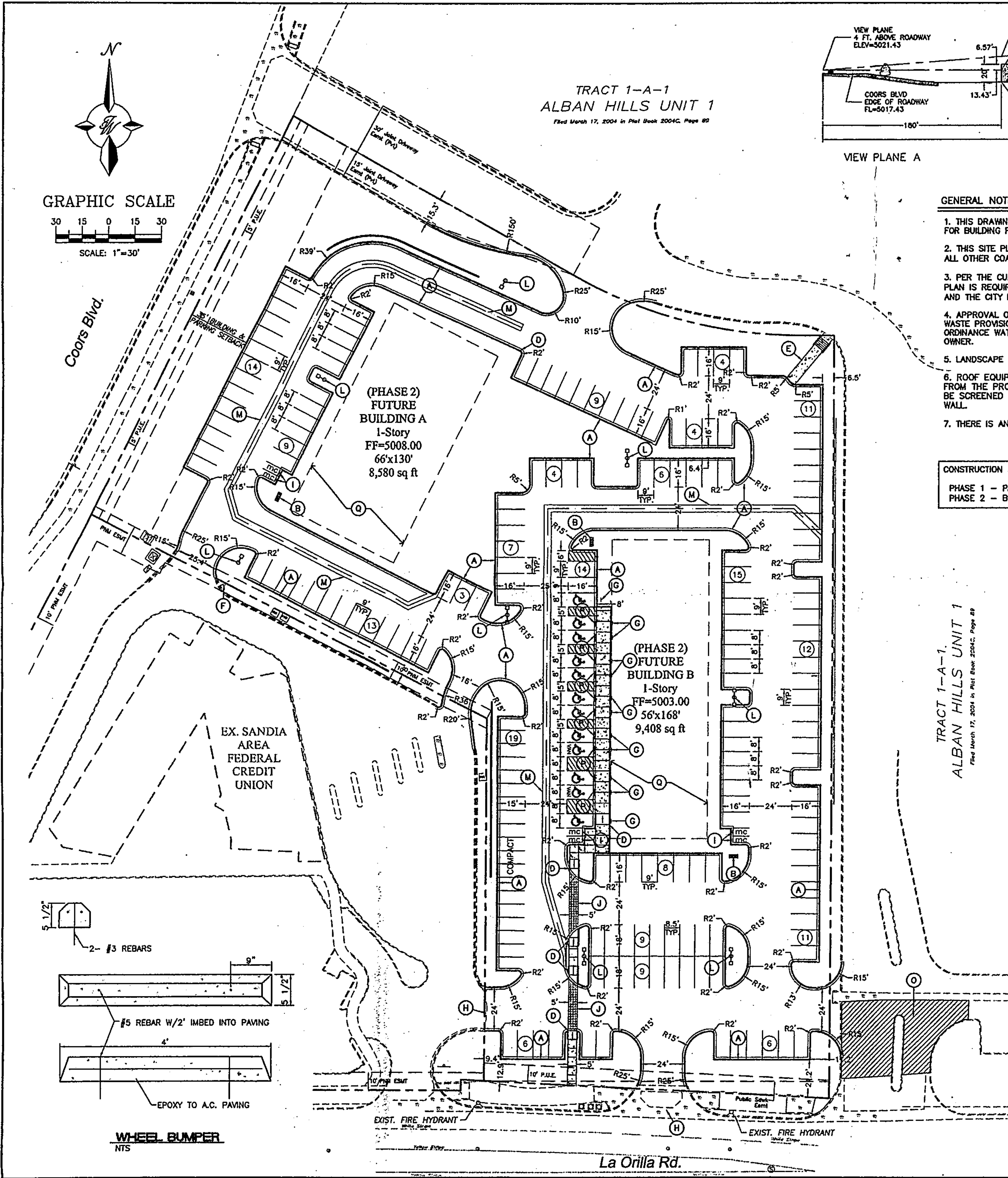


- NOTES:**
1. ONLY ABCWUA WATER SYSTEMS PERSONNEL ARE AUTHORIZED TO OPERATE VALVES.
  2. THE CONTRACTOR SHALL COORDINATE WITH THE WATER AUTHORITY SEVEN (7) DAYS IN ADVANCE OF PERFORMING WORK THAT WILL AFFECT THE PUBLIC WATER OR SANITARY SEWER INFRASTRUCTURE. WORK REQUIRING SHUTOFF OF FACILITIES DESIGNATED AS MASTER PLAN FACILITIES MUST BE COORDINATED WITH THE WATER AUTHORITY 14 DAYS IN ADVANCE OF PERFORMING SUCH WORK. ONLY WATER AUTHORITY CREWS ARE AUTHORIZED TO OPERATE PUBLIC VALVES. SHUTOFF REQUESTS MUST BE MADE ONLINE AT [HTTP://ABCWUA.ORG/CONTENT/VIEW/463729/](http://abcwua.org/content/view/full/463729/).
  3. APPROXIMATE SHUT OFF TIME WILL BE 24 HOURS.
  4. SHUTOFF THE VALVES INDICATED IN THE ABOVE PLAN.

- GENERAL NOTES:**
1. 4' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS NOTED.
  2. REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATION.
  3. ALL STUBS AND UTILITY LOCATIONS MUST BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
  4. CLEAN OUTS TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
  5. CLEAN OUTS & MANHOLE TIE POINTS ARE TAKEN USING THE NW PROPERTY CORNER X=10,000, Y=10,000 SEE TABLE 2.
  6. SEE ARCHITECTURAL PLANS FOR LIGHTING CONDUITS AND TELEPHONE LINES.
  7. ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.

- NOTICE TO CONTRACTORS**
1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
  2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
  3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 260-1990 (OR DIAL 811 LOCALLY), FOR LOCATION OF EXISTING UTILITIES.
  4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
  5. BACK FILL COMPACTION SHALL BE ACCORDING TO RESIDENTIAL STREET USE.
  6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
  7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

|  |                                                                                                                                                                     |                                          |
|--|---------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------|
|  | <b>SAGEBRUSH PLAZA</b><br>COORS BLVD & LA ORILLA RD                                                                                                                 | DRAWN BY<br>JW                           |
|  | <b>MASTER UTILITY PLAN</b>                                                                                                                                          | DATE<br>10/03/12                         |
|  | <b>TIERRA WEST, LLC</b><br>5571 MIDWAY PARK PLACE NE<br>ALBUQUERQUE, NM 87109<br>(505) 858-3100<br><a href="http://www.tierrawestllc.com">www.tierrawestllc.com</a> | 2011058-MUE                              |
|  |                                                                                                                                                                     | SHEET #<br><b>C3</b><br>JOB #<br>2011058 |



- GENERAL NOTES:**
1. THIS DRAWING CONSTITUTES THE REQUIRED SUBMISSION FOR APPROVAL OF A SITE PLAN FOR BUILDING PERMIT.
  2. THIS SITE PLAN IS SUBJECT TO THE REGULATIONS OF THE COORS CORRIDOR PLAN AND ALL OTHER COA ORDINANCES/REGULATIONS.
  3. PER THE CURRENT APPROVED SITE PLAN FOR SUBDIVISION (GENERAL NOTE E), THIS PLAN IS REQUIRED TO BE APPROVED BY THE PLANNING DIRECTOR OR HIS/HER DESIGNEE AND THE CITY ENGINEER AND DOES NOT REQUIRE EPC/DRB APPROVAL.
  4. APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE. WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
  5. LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER.
  6. ROOF EQUIPMENT SHALL BE BELOW PARAPET HEIGHT AND SCREENED FROM VIEW FROM THE PROPERTY LINES OF THIS SITE. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS WITH TOP OF EQUIPMENT BELOW TOP OF SCREEN WALL.
  7. THERE IS AN EXISTING TRANSIT LINE LOCATED ALONG COORS BLVD.

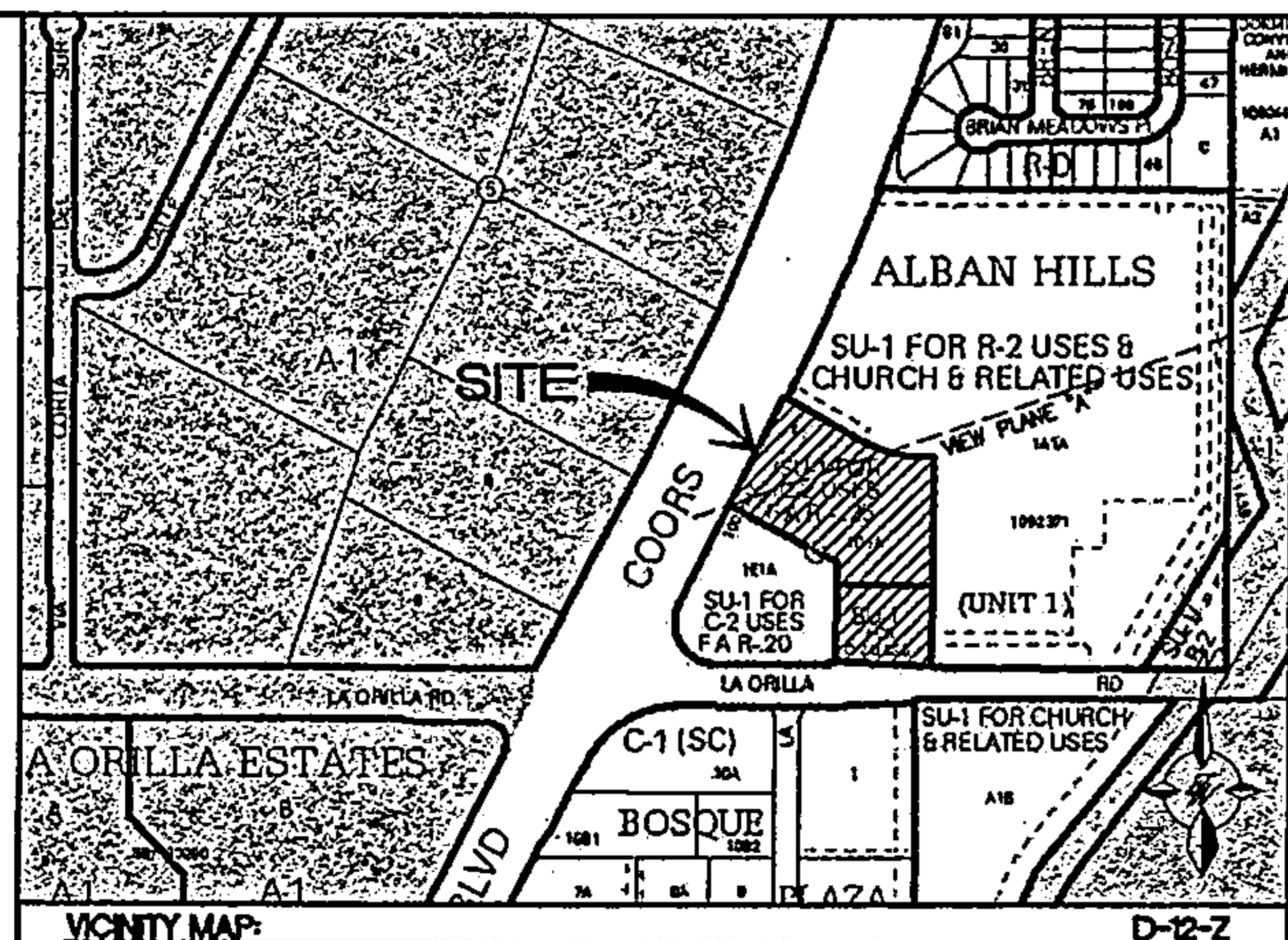
- CONSTRUCTION PHASES:**
- PHASE 1 - PARKING/LANDSCAPE/LIGHTING
  - PHASE 2 - BUILDINGS/LANDSCAPE/AMENITIES, SIGNAGE

**SITE DATA**

|                           |                                                                         |
|---------------------------|-------------------------------------------------------------------------|
| PROPOSED USAGE:           | RETAIL                                                                  |
| LOT AREA:                 | 133,624 SF (3.06 ACRES)                                                 |
| BUILDING AREA:            | 17,988 SF                                                               |
| PARKING REQUIRED:         | 92 SPACES (18,408 SF/1 SPACE PER 200 SF)                                |
| PARKING PROVIDED:         | 203 SPACES (19 COMPACT - 8.3%)                                          |
| HC PARKING REQUIRED:      | 4 SPACES                                                                |
| HC PARKING PROVIDED:      | 6 STANDARD H/C SPACES<br>8 SPACES VAN ACCESSIBLE H/C SPACES<br>12 TOTAL |
| MC PARKING REQUIRED:      | 3 SPACES                                                                |
| MC PARKING PROVIDED:      | 6 SPACES                                                                |
| BICYCLE PARKING REQUIRED: | 5 SPACES                                                                |
| BICYCLE PARKING PROVIDED: | 15 SPACES                                                               |

- KEYED NOTE:**
- (A) STANDARD CURB PER COA STD DWG #2415A
  - (B) NOT USED.
  - (C) NOT USED.
  - (D) ADA RAMP PER COA STD DWG #2426
  - (E) 6" CONCRETE SIDEWALK
  - (F) EXISTING "EXIT ONLY" SIGN
  - (G) HANDICAP PARKING SIGN PER DETAIL SHEET C5
  - (H) EXISTING INGRESS/EGRESS TO REMAIN
  - (I) MOTORCYCLE PARKING SIGN PER DETAIL SHEET C5
  - (J) PEDESTRIAN PATHWAY, WIDTH VARIES (STAMPED CONCRETE)
  - (K) NOT USED.
  - (L) SITE LIGHTING TO MATCH SAGEBRUSH CHURCH (TRACT 1-A-1)
  - (M) 4" WIDE VALLEY GUTTER PER COA STD DWG #2420
  - (N) NOT USED.
  - (O) REF. GRADING PLAN FOR ASPHALT OVERLAY THIS AREA
  - (P) WHEEL BUMPER PER DETAIL THIS SHEET
  - (Q) INSTALL 4" CRUSHED AGGREGATE BASE COURSE IN FUTURE BUILDING PAD AREAS

- INDEX TO DRAWINGS**
- C1. SITE PLAN FOR BUILDING PERMIT
  - C2. GRADING AND DRAINAGE PLAN
  - C3. MASTER UTILITY PLAN
  - C4. DETAIL SHEET
  - L1. LANDSCAPING PLAN
  - ELEV1. BUILDING ELEVATIONS



**LEGAL DESCRIPTION:**  
TRACT 1-D-1-A, BLOCK 15, ALBAN HILLS UNIT 1

- LEGEND**
- CURB & GUTTER
  - BOUNDARY LINE
  - EASEMENT
  - CENTERLINE
  - RIGHT-OF-WAY
  - BUILDING
  - SIDEWALK
  - SCREEN WALL
  - RETAINING WALL
  - ☼ STREET LIGHTS
  - LANE
  - STRIPING
  - EXISTING CURB & GUTTER
  - EXISTING BOUNDARY LINE
  - EXISTING SIDEWALK
  - EXISTING LANE
  - EXISTING STRIPING
  - ☼ SITE LIGHTS

**PROJECT NUMBER: 1003597**  
**APPLICATION NUMBER: 10123**

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated [ ] and the Findings and Conditions in the Official Notification of Decision are satisfied.

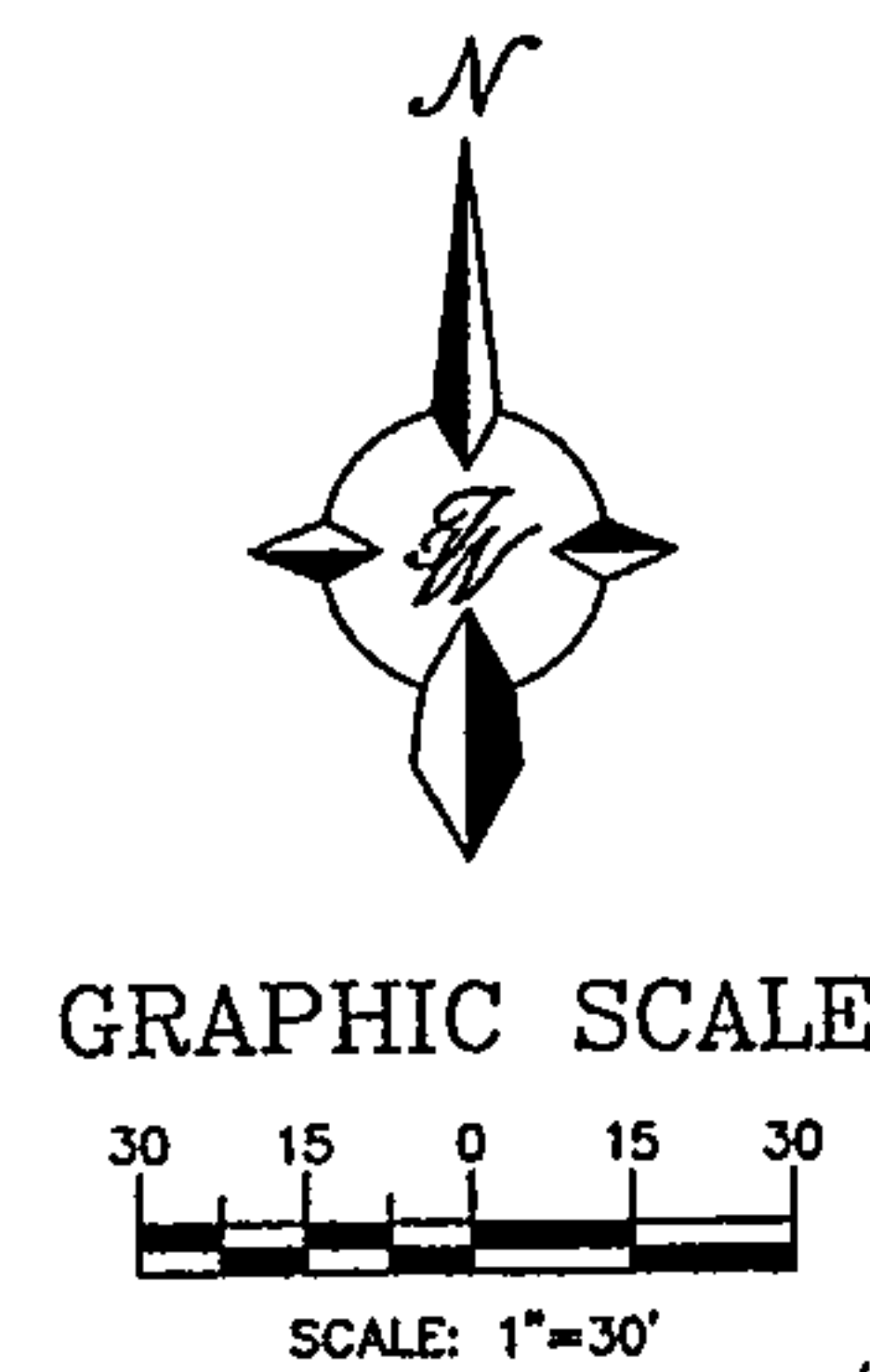
Is an infrastructure list required? ( ) Yes ( ) No If Yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

**DRB-SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:**

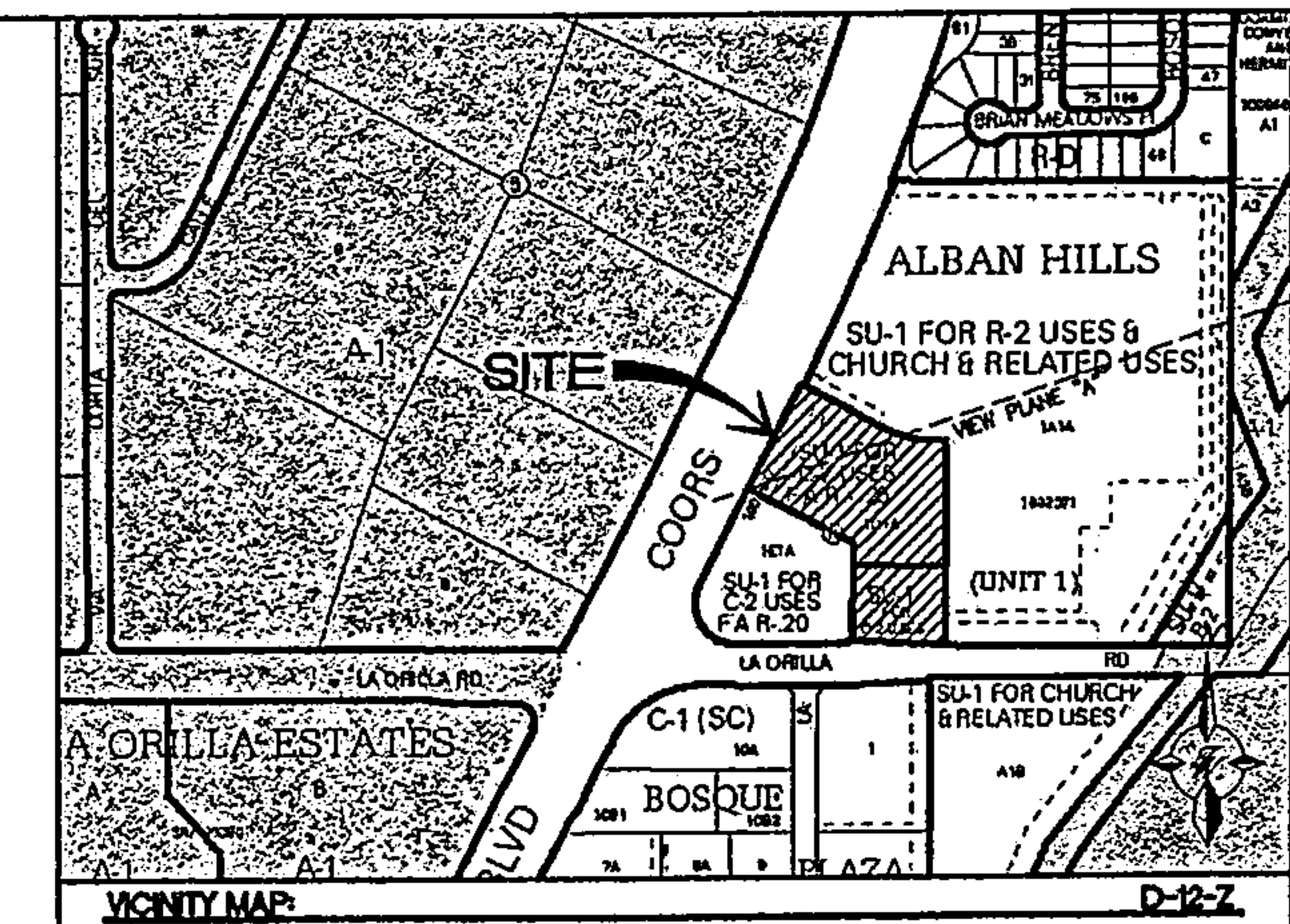
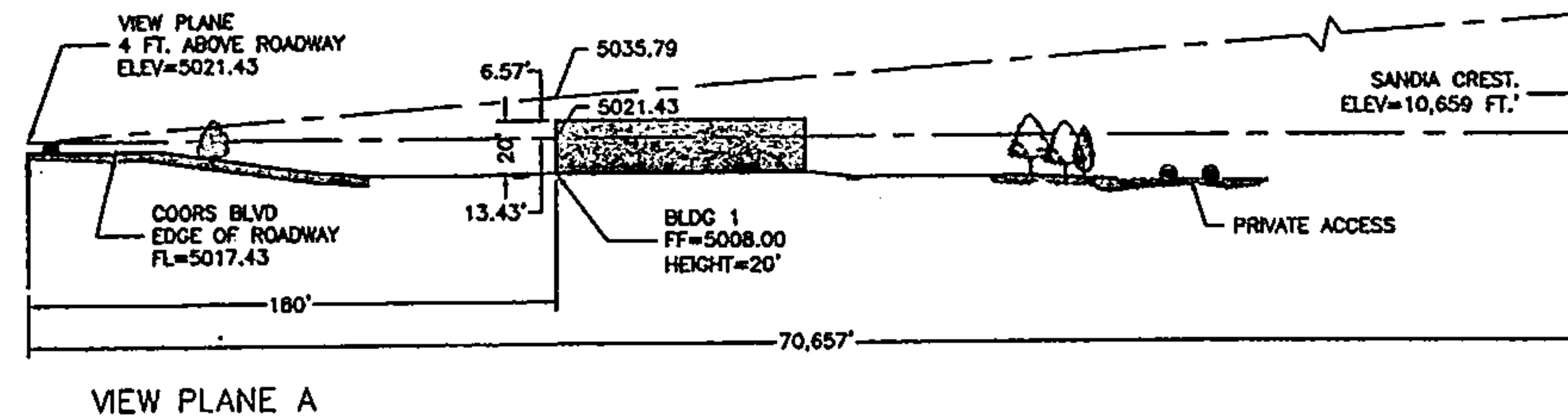
Planning Director or His/Her Designee [Signature] Date 11/09/12

City Engineer [Signature] Date 11/14/12

|  |                                                                                                                         |                       |
|--|-------------------------------------------------------------------------------------------------------------------------|-----------------------|
|  | <b>SAGEBRUSH PLAZA</b><br>COORS BLVD & LA ORILLA RD                                                                     | DRAWN BY<br>JW        |
|  | <b>PHASE 1 - SITE PLAN</b><br>FOR BUILDING PERMIT                                                                       | DATE<br>11/09/12      |
|  | <b>TERRA WEST, LLC</b><br>5571 MIDWAY PARK PLACE NE<br>ALBUQUERQUE, NM 87109<br>(505) 858-3100<br>www.tierrawestllc.com | 2011058-SPE-CD        |
|  |                                                                                                                         | SHEET #<br><b>C1a</b> |
|  |                                                                                                                         | JOB #<br>2011058      |



TRACT 1-A-1  
ALBAN HILLS UNIT 1  
Filed March 17, 2004 in Plot Book 3004C, Page 89



LEGAL DESCRIPTION:  
TRACT 1-D-1-A, BLOCK 15, ALBAN HILLS UNIT 1

LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- CENTERLINE
- RIGHT-OF-WAY
- BUILDING
- SIDEWALK
- SCREEN WALL
- RETAINING WALL
- ☼ STREET LIGHTS
- LANE
- STRIPING
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- EXISTING SIDEWALK
- EXISTING LANE
- EXISTING STRIPING
- ☼ SITE LIGHTS

GENERAL NOTES:

1. THIS DRAWING CONSTITUTES THE REQUIRED SUBMISSION FOR APPROVAL OF A SITE PLAN FOR BUILDING PERMIT.
2. THIS SITE PLAN IS SUBJECT TO THE REGULATIONS OF THE COORS CORRIDOR PLAN AND ALL OTHER COA ORDINANCES/REGULATIONS.
3. PER THE CURRENT APPROVED SITE PLAN FOR SUBDIVISION (GENERAL NOTE E), THIS PLAN IS REQUIRED TO BE APPROVED BY THE PLANNING DIRECTOR OR HIS/HER DESIGNEE AND THE CITY ENGINEER AND DOES NOT REQUIRE EPC/DRB APPROVAL.
4. APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE. WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
5. LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER.
6. ROOF EQUIPMENT SHALL BE BELOW PARAPET HEIGHT AND SCREENED FROM VIEW FROM THE PROPERTY LINES OF THIS SITE. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS WITH TOP OF EQUIPMENT BELOW TOP OF SCREEN WALL.
7. THERE IS AN EXISTING TRANSIT LINE LOCATED ALONG COORS BLVD.

CONSTRUCTION PHASES:

- PHASE 1 - PARKING/LANDSCAPE/LIGHTING  
PHASE 2 - BUILDINGS/LANDSCAPE/AMENITIES, SIGNAGE

SITE DATA

PROPOSED USAGE: RETAIL  
LOT AREA: 133,624 SF (3.06 ACRES)  
BUILDING AREA: 17,988 SF  
PARKING REQUIRED: 92 SPACES (18,408 SF/1 SPACE PER 200 SF)  
PARKING PROVIDED: 203 SPACES (19 COMPACT - 8.3%)  
HC PARKING REQUIRED: 4 SPACES  
HC PARKING PROVIDED: 6 STANDARD H/C SPACES  
8 SPACES VAN ACCESSIBLE H/C SPACES  
12 TOTAL  
MC PARKING REQUIRED: 3 SPACES  
MC PARKING PROVIDED: 6 SPACES  
BICYCLE PARKING REQUIRED: 5 SPACES  
BICYCLE PARKING PROVIDED: 15 SPACES

KEYED NOTE:

- (A) STANDARD CURB PER COA STD DWG #2415A
- (B) NEW BIKE RACK (5 SPACES PER LOCATION)
- (C) TRASH ENCLOSURE PER DETAIL SHEET C5
- (D) ADA RAMP PER COA STD DWG #2426
- (E) 6" CONCRETE SIDEWALK
- (F) EXISTING "EXIT ONLY" SIGN
- (G) HANDCAP PARKING SIGN PER DETAIL SHEET C5
- (H) EXISTING INGRESS/EGRESS TO REMAIN
- (I) MOTORCYCLE PARKING SIGN PER DETAIL SHEET C5
- (J) PEDESTRIAN PATHWAY, WIDTH VARIES (STAMPED CONCRETE)
- (K) MONUMENT SIGN PER DETAIL SHEET ELEV-1
- (L) SITE LIGHTING TO MATCH SAGEBRUSH CHURCH (TRACT 1-A-1)
- (M) 4" WIDE VALLEY GUTTER PER COA STD DWG #2420
- (N) FUTURE OUTDOOR DINING/CUSTOMER WAITING AREA
- (O) REF. GRADING PLAN FOR ASPHALT OVERLAY THIS AREA

INDEX TO DRAWINGS

- C1. SITE PLAN FOR BUILDING PERMIT
- C2. GRADING AND DRAINAGE PLAN
- C3. MASTER UTILITY PLAN
- C4. DETAIL SHEET
- L1. LANDSCAPING PLAN
- ELEV1. BUILDING ELEVATIONS

TRACT 1-E-1-A  
ALBAN HILLS UNIT 1  
Filed February 21, 2008 in Plot Book 3008C, Page 32

TRACT 1-A-1  
ALBAN HILLS UNIT 1  
Filed March 17, 2004 in Plot Book 3004C, Page 89

PROJECT NUMBER: 1003597  
APPLICATION NUMBER: 10123

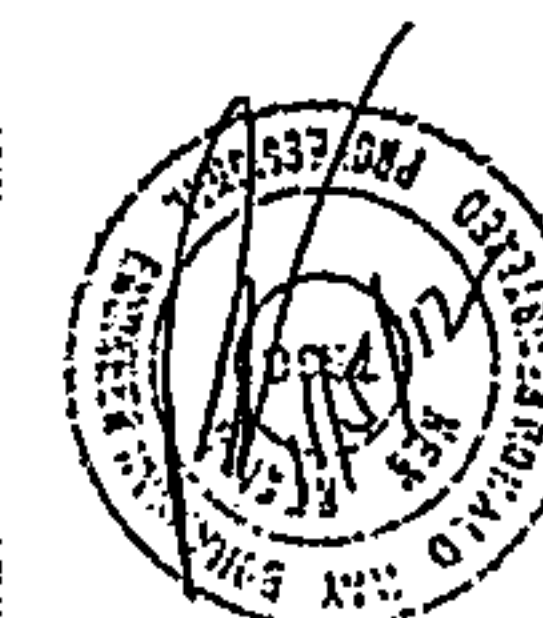
This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated \_\_\_\_\_, and the Findings and Conditions in the Official Notification of Decision are satisfied.

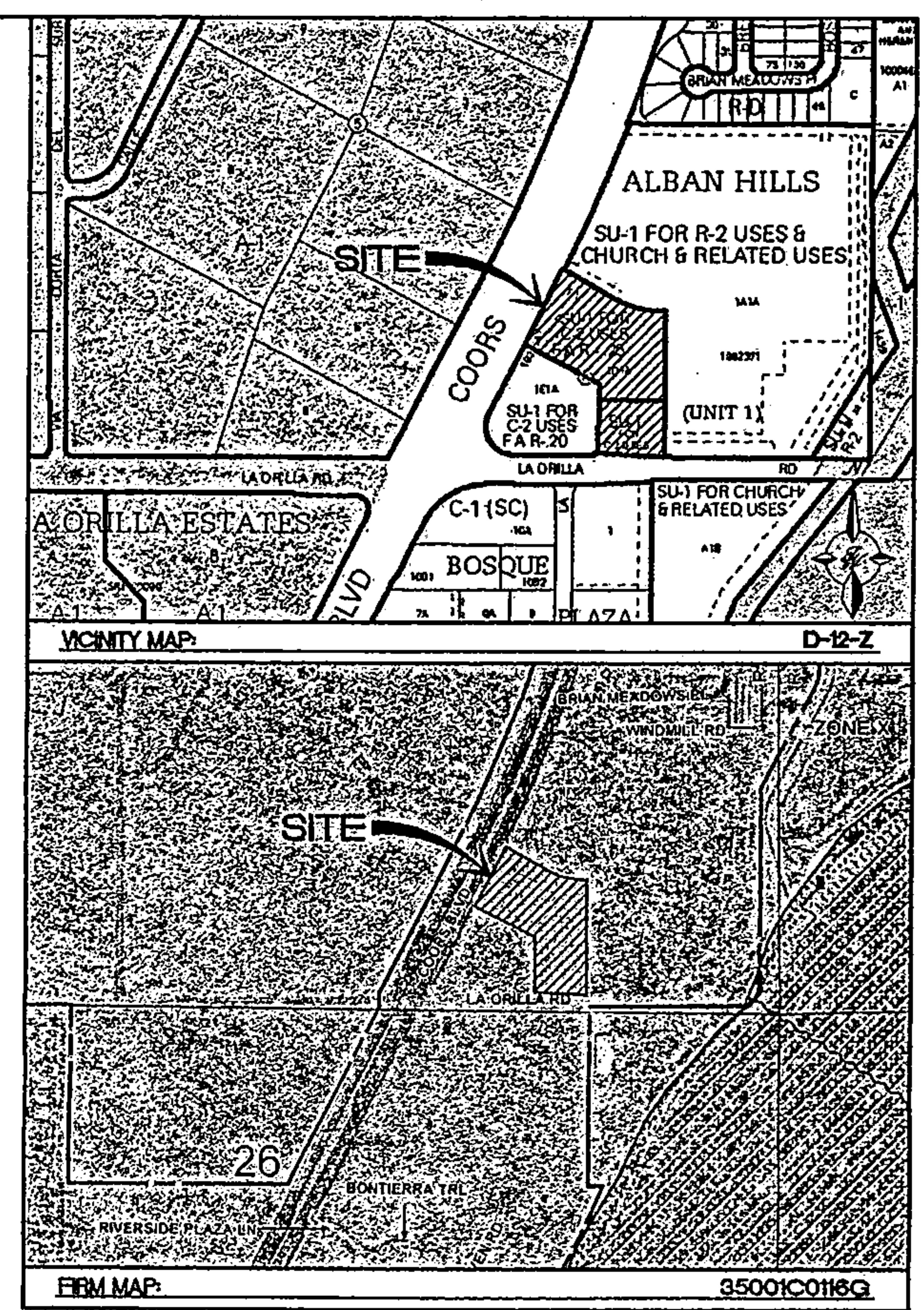
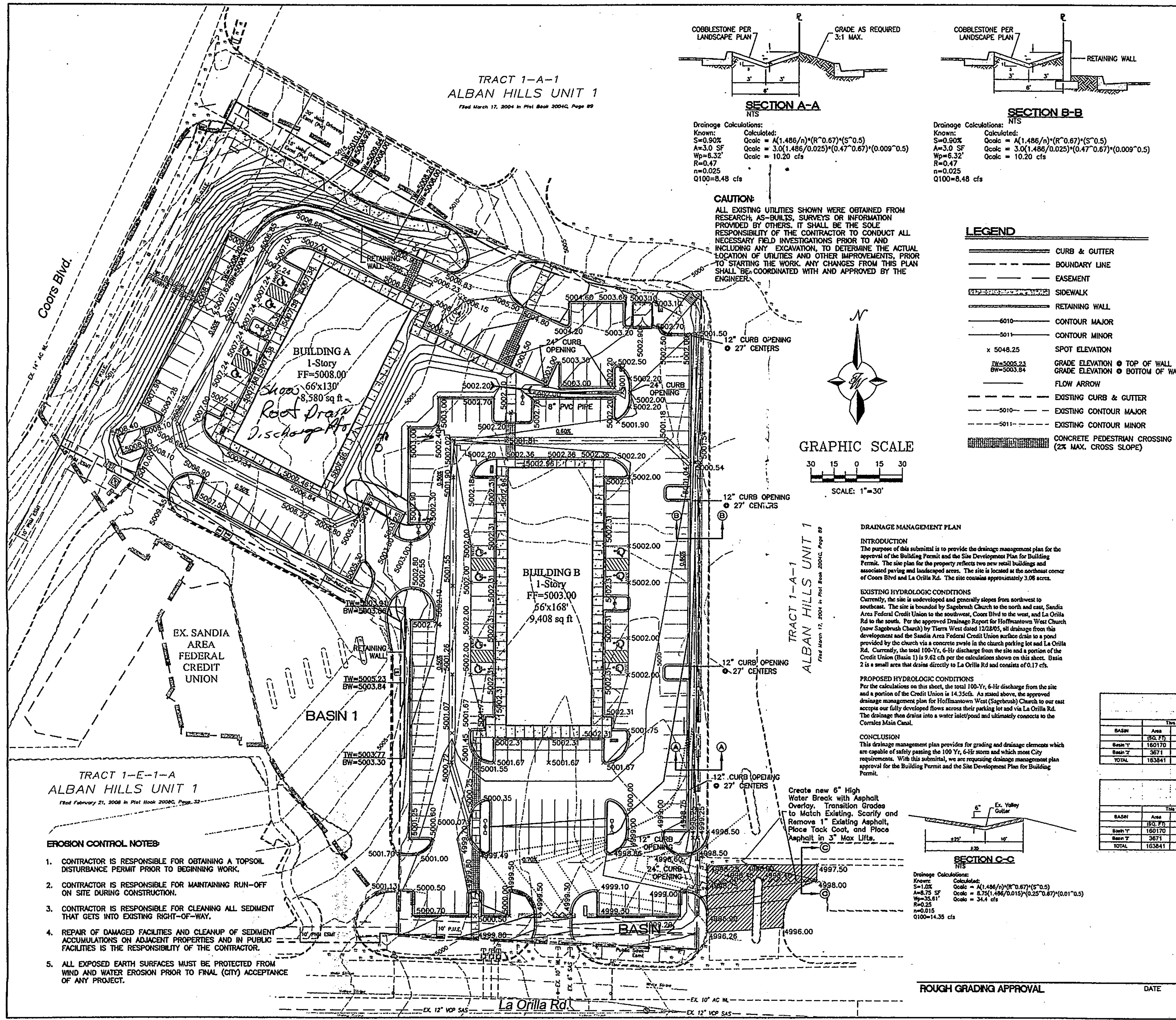
Is an Infrastructure List required? ( ) Yes ( ) No If Yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

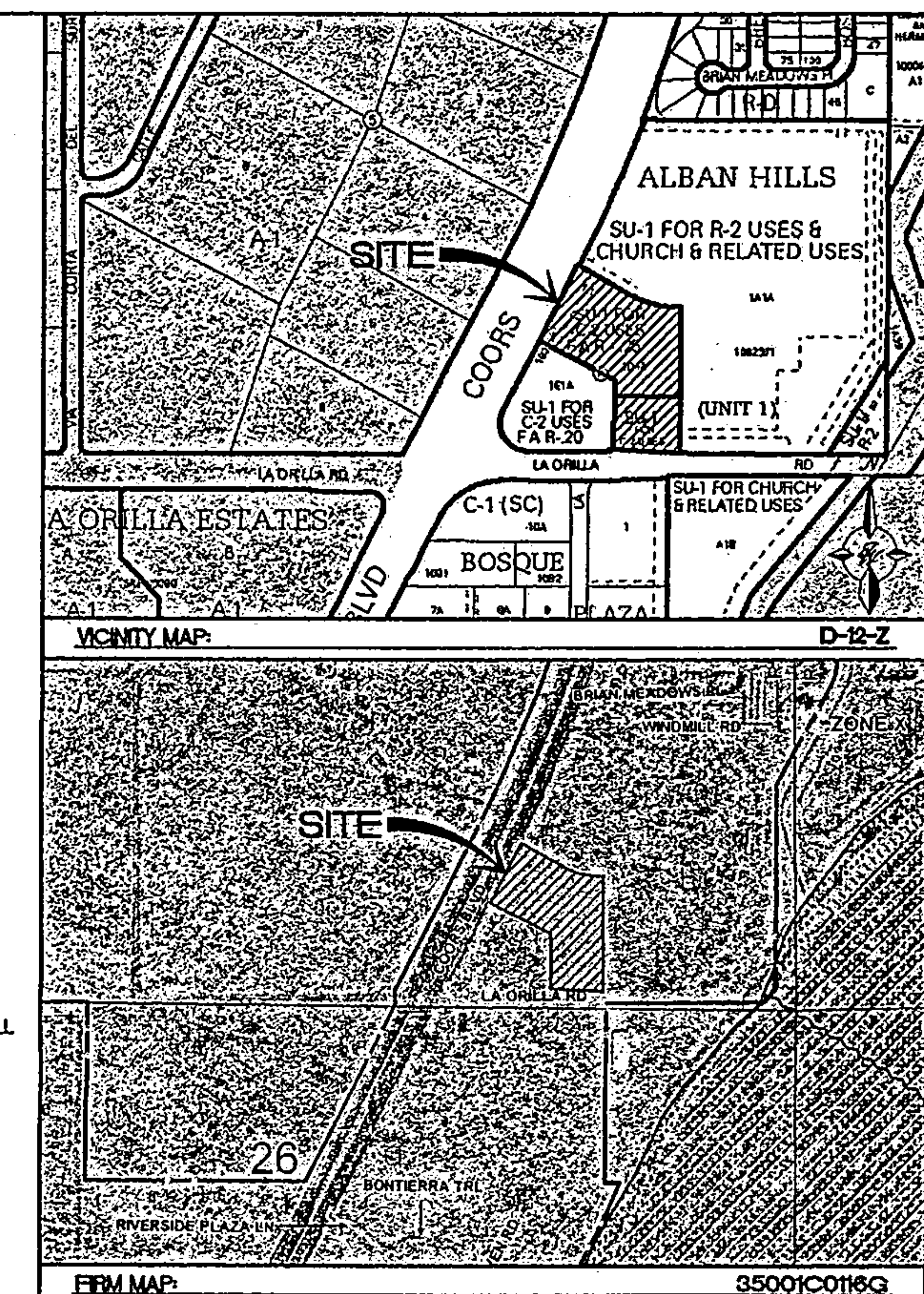
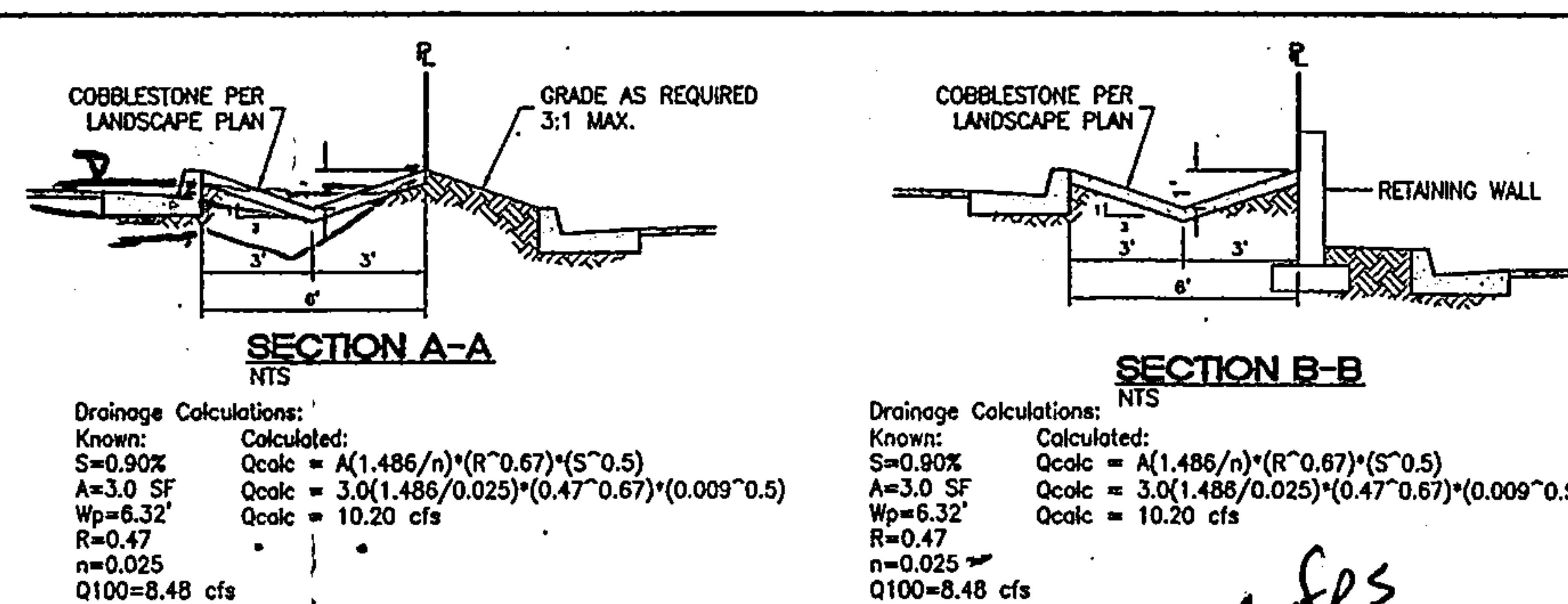
DRB SITE DEVELOPMENT PLAN SIGNOFF-APPROVAL:

Planning Director or His/Her Designee  
City Engineer

14/11/2012  
11-14-12  
Date  
Date

|                                                                                                                                              |                                                                                                                |                                                   |
|----------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------|---------------------------------------------------|
| ENGINEER'S SEAL<br><br>RONALD R. BOHANNON<br>P.E. #7868 | SAGEBRUSH PLAZA<br>COORS BLVD & LA ORILLA RD<br>SITE PLAN FOR<br>BUILDING PERMIT                               | DRAWN BY<br>JW<br>DATE<br>10/31/12<br>2011058-SPE |
|                                                                                                                                              | TERRA WEST, LLC<br>5571 MIDWAY PARK PLACE NE<br>ALBUQUERQUE, NM 87109<br>(505) 858-3100<br>www.tierwestllc.com | SHEET #<br>C1<br>JOB #<br>2011058                 |





LEGAL DESCRIPTION

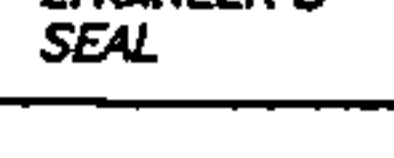
TRACTS B-2 AND B-3 HUBBELL HEIGHTS

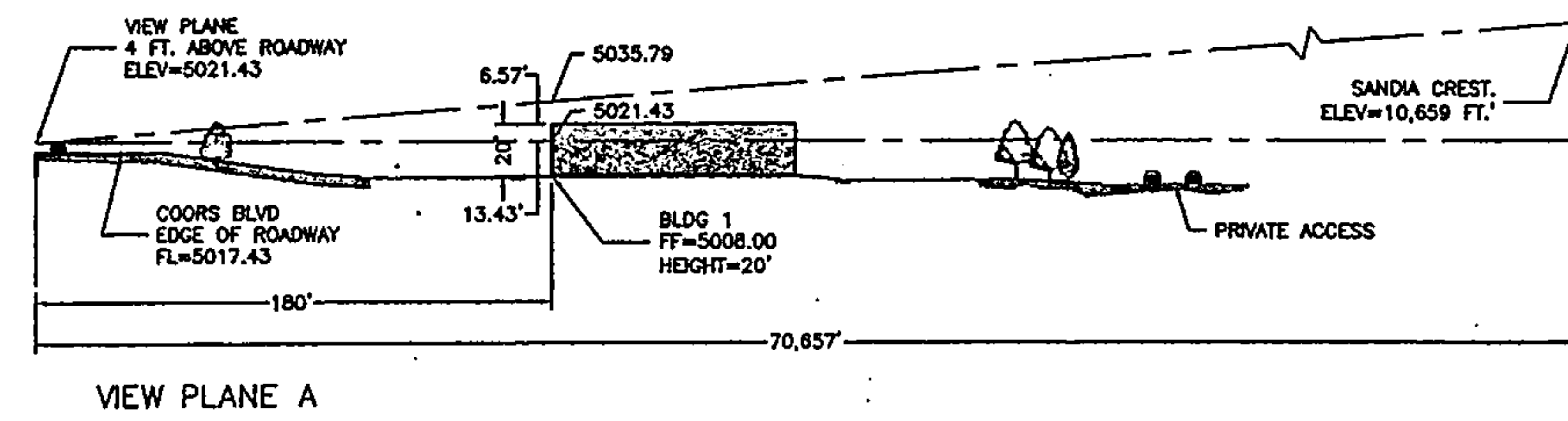
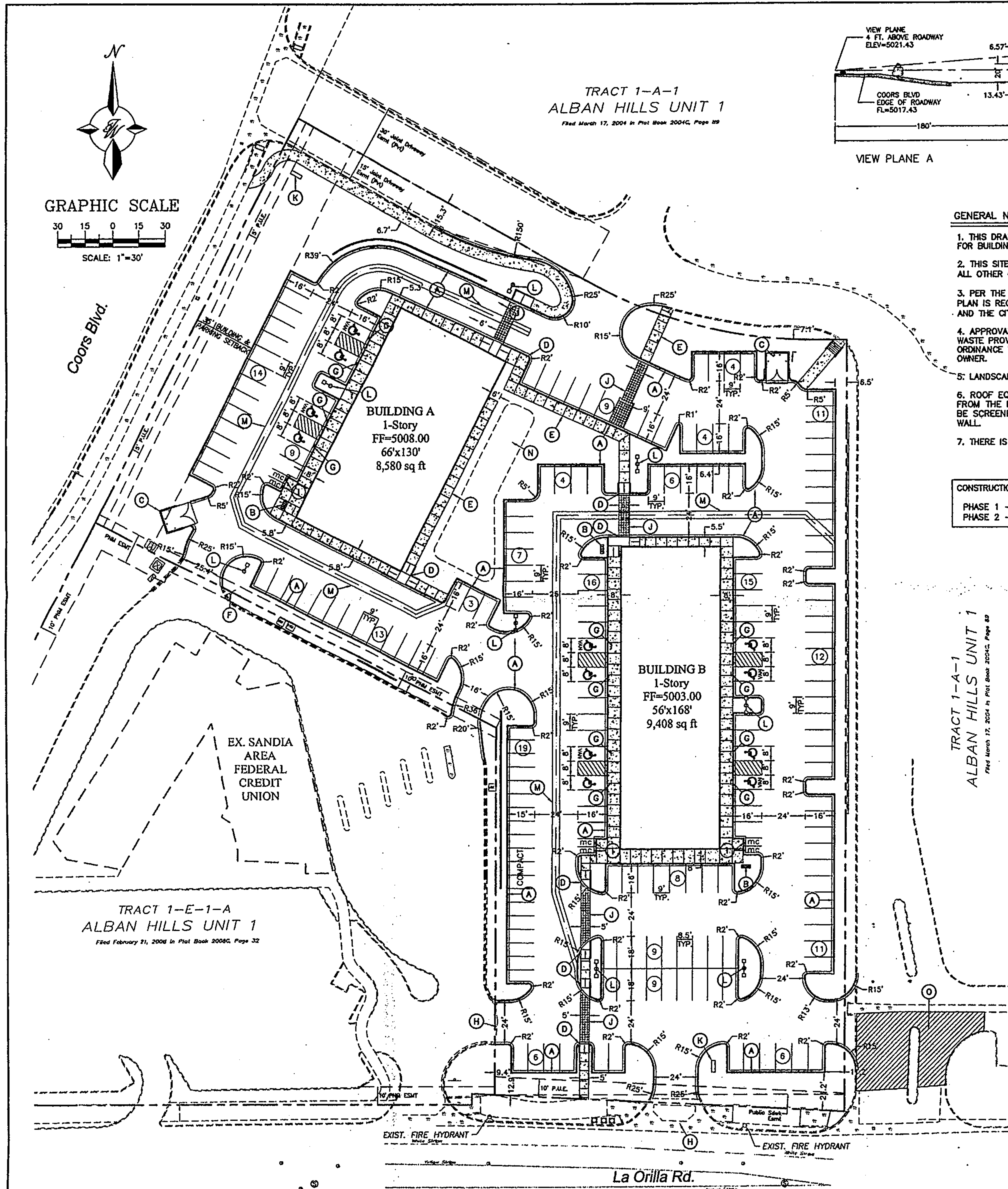
NOTES:

1. GRADES ON CURB LINE ARE TO FLOWLINE UNLESS OTHERWISE SPECIFIED.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, CURRENT EDITION.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH MINIMUM ANNOYANCE TO THE PUBLIC.

| Existing Sagebrush Plaza Drains Calculations            |                  |              |                            |        |      |       |      |                 |                 |                 |                              |                              |                             |       |
|---------------------------------------------------------|------------------|--------------|----------------------------|--------|------|-------|------|-----------------|-----------------|-----------------|------------------------------|------------------------------|-----------------------------|-------|
| This table is based on the CDA DPM Section 22.3, Zone 1 |                  |              |                            |        |      |       |      |                 |                 |                 |                              |                              |                             |       |
| BASIN                                                   | Area<br>(Sd, Ft) | Area<br>(Ac) | Land Treatment Percentages |        |      |       |      | Q(100)<br>(cfs) | Q(100)<br>(cfs) | WTE<br>(inches) | V100 <sub>200</sub><br>(cfs) | V100 <sub>100</sub><br>(cfs) | V100 <sub>50</sub><br>(cfs) |       |
|                                                         |                  |              | A                          | B      | C    | D     | E    |                 |                 |                 |                              |                              |                             |       |
| Basin #1                                                | 160170           | 3.68         | 0.0%                       | 75.0%  | 0.0% | 25.0% | 2.62 | 8.52            | 1.00            | 13281           | 16084                        | 34527                        | 305                         | 194   |
| Basin #2                                                | 3671             | 0.08         | 0.0%                       | 100.0% | 0.0% | 0.0%  | 2.63 | 0.17            | 0.67            | 395             | 12488                        | 16259                        | 35337                       | 35337 |
| Total                                                   | 163841           | 3.76         |                            |        |      |       |      | 8.79            |                 |                 | 13488                        | 16259                        | 35337                       | 35337 |

| Proposed Sagebrush Plaza Drainage Calculations           |         |                  |                            |        |       |        |        |       |                       |                        |
|----------------------------------------------------------|---------|------------------|----------------------------|--------|-------|--------|--------|-------|-----------------------|------------------------|
| Ultimate Development Conditions Rain Data Table          |         |                  |                            |        |       |        |        |       |                       |                        |
| This table is based on the CMAA DP4 Section 23.3, Zone 1 |         |                  |                            |        |       |        |        |       |                       |                        |
| Basin                                                    | Area    | A <sub>eff</sub> | Land Treatment Percentages |        |       | Q(100) | Q(100) | WTF E | V(100) <sub>360</sub> | V(100) <sub>1440</sub> |
|                                                          | (sq ft) | (ac)             | Imperv                     | Grass  | Grass | Q(100) | Q(100) | WTF E | Q(100)                | Q(100)                 |
| Basin 1 <sup>1</sup>                                     | 160,170 | 3.68             | 0.0%                       | 20.0%  | 0.0%  | 80.0%  | 9.9    | 14.35 | 23274                 | 31794                  |
| Basin 2 <sup>1</sup>                                     | 3671    | 0.08             | 0.0%                       | 100.0% | 0.0%  | 0.0%   | 2.03   | 0.17  | 667                   | 205                    |
| TOTAL                                                    | 163841  | 3.76             |                            |        |       |        | 14.52  |       | 23029                 | 31999                  |

|                                                                                                                         |                                                                                                                                        |                                     |
|-------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------|
| <p><b>ENGINEER'S<br/>SEAL</b></p>  | <p><b>SAGEBRUSH PLAZA</b><br/>COORS BLVD &amp; LA ORILLA RD</p>                                                                        | <p><b>DRAWN BY</b><br/>JW</p>       |
| <p><b>RONALD R. BOHANNAN</b><br/>P.E. #7688</p>                                                                         | <p><b>GRADING AND<br/>DRAINAGE PLAN</b></p>                                                                                            | <p><b>DATE</b><br/>11/01/12</p>     |
|                                                                                                                         | <p><b>TIERRA WEST, LLC</b></p> <p>5571 MIDWAY PARK PLACE NE<br/>ALBUQUERQUE, NM 87109<br/>(505) 858-3100<br/>www.tierrawestllc.com</p> | <p><b>2011058-GRE</b></p>           |
|                                                                                                                         |                                                                                                                                        | <p><b>SHEET #</b><br/><b>C2</b></p> |
|                                                                                                                         |                                                                                                                                        | <p><b>JOB #</b><br/>2011058</p>     |



- GENERAL NOTES:**
1. THIS DRAWING CONSTITUTES THE REQUIRED SUBMISSION FOR APPROVAL OF A SITE PLAN FOR BUILDING PERMIT.
  2. THIS SITE PLAN IS SUBJECT TO THE REGULATIONS OF THE COORS CORRIDOR PLAN AND ALL OTHER COA ORDINANCES/REGULATIONS.
  3. PER THE CURRENT APPROVED SITE PLAN FOR SUBDIVISION (GENERAL NOTE E), THIS PLAN IS REQUIRED TO BE APPROVED BY THE PLANNING DIRECTOR OR HIS/HER DESIGNEE AND THE CITY ENGINEER AND DOES NOT REQUIRE EPC/DRS APPROVAL.
  4. APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE. WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
  5. LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER.
  6. ROOF EQUIPMENT SHALL BE BELOW PARAPET HEIGHT AND SCREENED FROM VIEW FROM THE PROPERTY LINES OF THIS SITE. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS WITH TOP OF EQUIPMENT BELOW TOP OF SCREEN WALL.
  7. THERE IS AN EXISTING TRANSIT LINE LOCATED ALONG COORS BLVD.

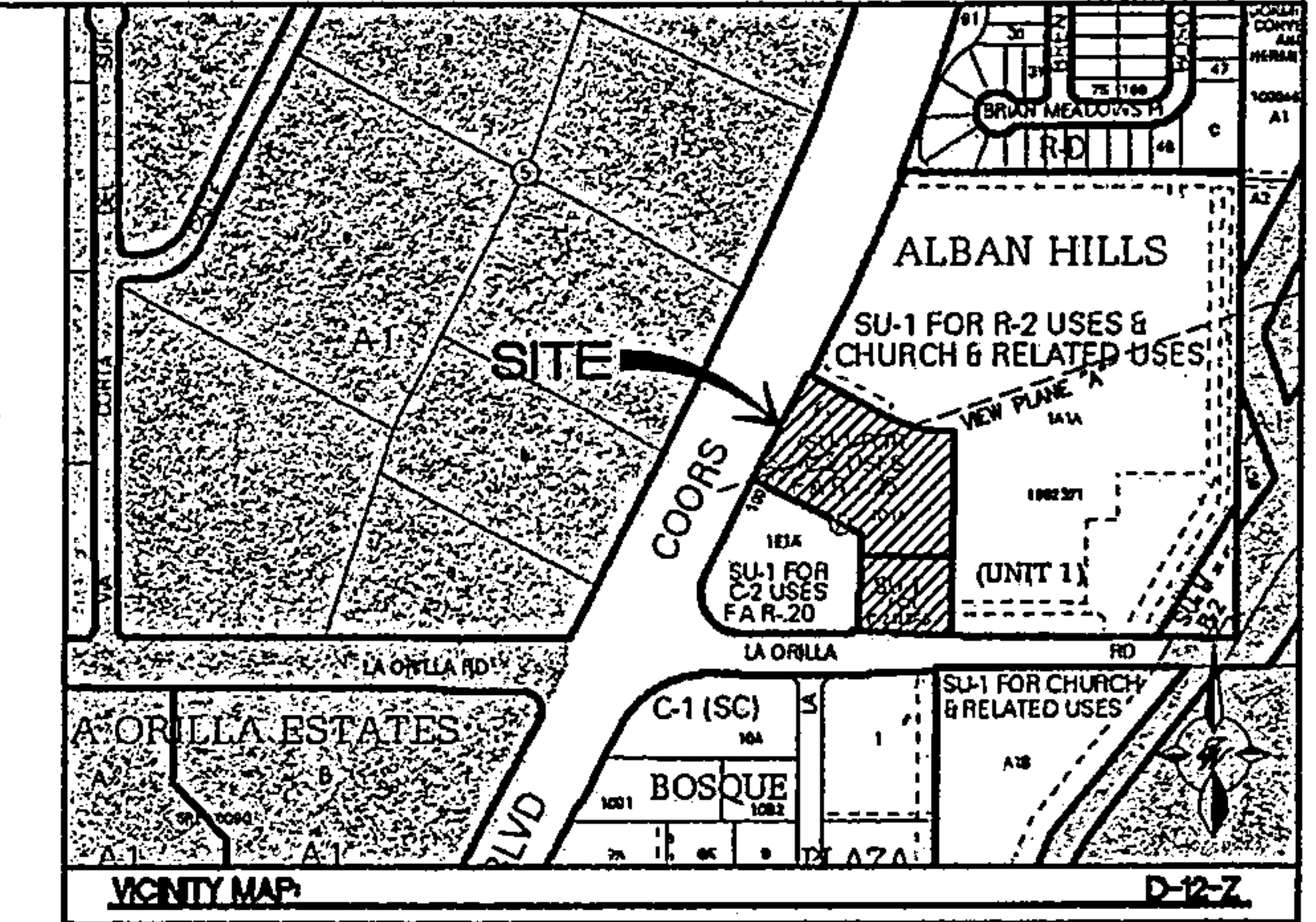
- CONSTRUCTION PHASES:**
- PHASE 1 - PARKING/LANDSCAPE/LIGHTING
  - PHASE 2 - BUILDINGS/LANDSCAPE/AMENITIES, SIGNAGE

**SITE DATA**

|                           |                                                                         |
|---------------------------|-------------------------------------------------------------------------|
| PROPOSED USAGE:           | RETAIL                                                                  |
| LOT AREA:                 | 133,624 SF (3.06 ACRES)                                                 |
| BUILDING AREA:            | 17,988 SF                                                               |
| PARKING REQUIRED:         | 92 SPACES (18,408 SF/1 SPACE PER 200 SF)                                |
| PARKING PROVIDED:         | 203 SPACES (19 COMPACT - 8.3%)                                          |
| HC PARKING REQUIRED:      | 4 SPACES                                                                |
| HC PARKING PROVIDED:      | 6 STANDARD H/C SPACES<br>6 SPACES VAN ACCESSIBLE H/C SPACES<br>12 TOTAL |
| MC PARKING REQUIRED:      | 3 SPACES                                                                |
| MC PARKING PROVIDED:      | 6 SPACES                                                                |
| BICYCLE PARKING REQUIRED: | 5 SPACES                                                                |
| BICYCLE PARKING PROVIDED: | 15 SPACES                                                               |

- KEYED NOTE:**
- (A) STANDARD CURB PER COA STD DWG #2415A
  - (B) NEW BIKE RACK (5 SPACES PER LOCATION)
  - (C) TRASH ENCLOSURE PER DETAIL SHEET C5
  - (D) ADA RAMP PER COA STD DWG #2426
  - (E) 6" CONCRETE SIDEWALK
  - (F) EXISTING "EXIT ONLY" SIGN
  - (G) HANDICAP PARKING SIGN PER DETAIL SHEET C5
  - (H) EXISTING INGRESS/EGRESS TO REMAIN
  - (I) MOTORCYCLE PARKING SIGN PER DETAIL SHEET C5
  - (J) PEDESTRIAN PATHWAY, WIDTH VARIES (STAMPED CONCRETE)
  - (K) MONUMENT SIGN PER DETAIL SHEET ELEV-1
  - (L) SITE LIGHTING TO MATCH SAGEBRUSH CHURCH (TRACT 1-A-1)
  - (M) 4" WIDE VALLEY GUTTER PER COA STD DWG #2420
  - (N) FUTURE OUTDOOR DINING/CUSTOMER WAITING AREA
  - (O) REF. GRADING PLAN FOR ASPHALT OVERLAY THIS AREA

- INDEX TO DRAWINGS**
- C1. SITE PLAN FOR BUILDING PERMIT
  - C2. GRADING AND DRAINAGE PLAN
  - C3. MASTER UTILITY PLAN
  - C4. DETAIL SHEET
  - L1. LANDSCAPING PLAN
  - ELEV1. BUILDING ELEVATIONS



- LEGAL DESCRIPTION:**  
TRACT 1-D-1-A, BLOCK 15, ALBAN HILLS UNIT 1
- LEGEND**
- CURB & GUTTER
  - BOUNDARY LINE
  - EASEMENT
  - CENTERLINE
  - RIGHT-OF-WAY
  - BUILDING
  - SIDEWALK
  - SCREEN WALL
  - RETAINING WALL
  - STREET LIGHTS
  - LANE
  - STRIPING
  - EXISTING CURB & GUTTER
  - EXISTING BOUNDARY LINE
  - EXISTING SIDEWALK
  - EXISTING LANE
  - EXISTING STRIPING
  - SITE LIGHTS

**PROJECT NUMBER:** 1003597  
**APPLICATION NUMBER:** 10123

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated 11/14/12, and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? ( ) Yes ( ) No If Yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

**DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:**

Planning Director or His/Her Designee: *[Signature]* Date: 11-14-12  
City Engineer: *[Signature]* Date: 11-14-12

|  |                                                                                                                          |                       |
|--|--------------------------------------------------------------------------------------------------------------------------|-----------------------|
|  | <b>SAGEBRUSH PLAZA</b><br>COORS BLVD & LA ORILLA RD                                                                      | DRAWN BY<br>JW        |
|  | <b>PHASE 2 - SITE PLAN</b><br>FOR BUILDING PERMIT                                                                        | DATE<br>10/31/12      |
|  | <b>TIERRA WEST, LLC</b><br>5571 MIDWAY PARK PLACE NE<br>ALBUQUERQUE, NM 87109<br>(505) 858-3100<br>www.tierrowestllc.com | 2011058-SPE           |
|  | RONALD R. BOHANNAN<br>P.E. #7888                                                                                         | SHEET #<br><b>C1b</b> |



QUARTER POINTS

|    |    |       |   |         |
|----|----|-------|---|---------|
| C1 | FL | ELEV. | 1 | 4993.16 |
|    | FL | ELEV. | 2 | 4993.11 |
|    | FL | ELEV. | 3 | 4993.05 |

C2

|    |    |       |   |         |
|----|----|-------|---|---------|
| C3 | FL | ELEV. | 4 | 4992.54 |
|    | FL | ELEV. | 5 | 4992.68 |
|    | FL | ELEV. | 6 | 4992.83 |

C3

|    |    |       |   |         |
|----|----|-------|---|---------|
| C4 | FL | ELEV. | 7 | 4991.24 |
|    | FL | ELEV. | 8 | 4991.19 |
|    | FL | ELEV. | 9 | 4991.13 |

C4

|    |    |       |    |         |
|----|----|-------|----|---------|
| C5 | FL | ELEV. | 10 | 4990.78 |
|    | FL | ELEV. | 11 | 4990.93 |
|    | FL | ELEV. | 12 | 4991.08 |

|    |    |       |    |         |
|----|----|-------|----|---------|
| C5 | FL | ELEV. | 13 | 4991.23 |
|    | FL | ELEV. | 14 | 4991.48 |
|    | FL | ELEV. | 15 | 4991.07 |

C6

|    |    |       |    |         |
|----|----|-------|----|---------|
| C6 | FL | ELEV. | 16 | 4991.39 |
|    | FL | ELEV. | 17 | 4991.52 |
|    | FL | ELEV. | 18 | 4991.85 |

C7

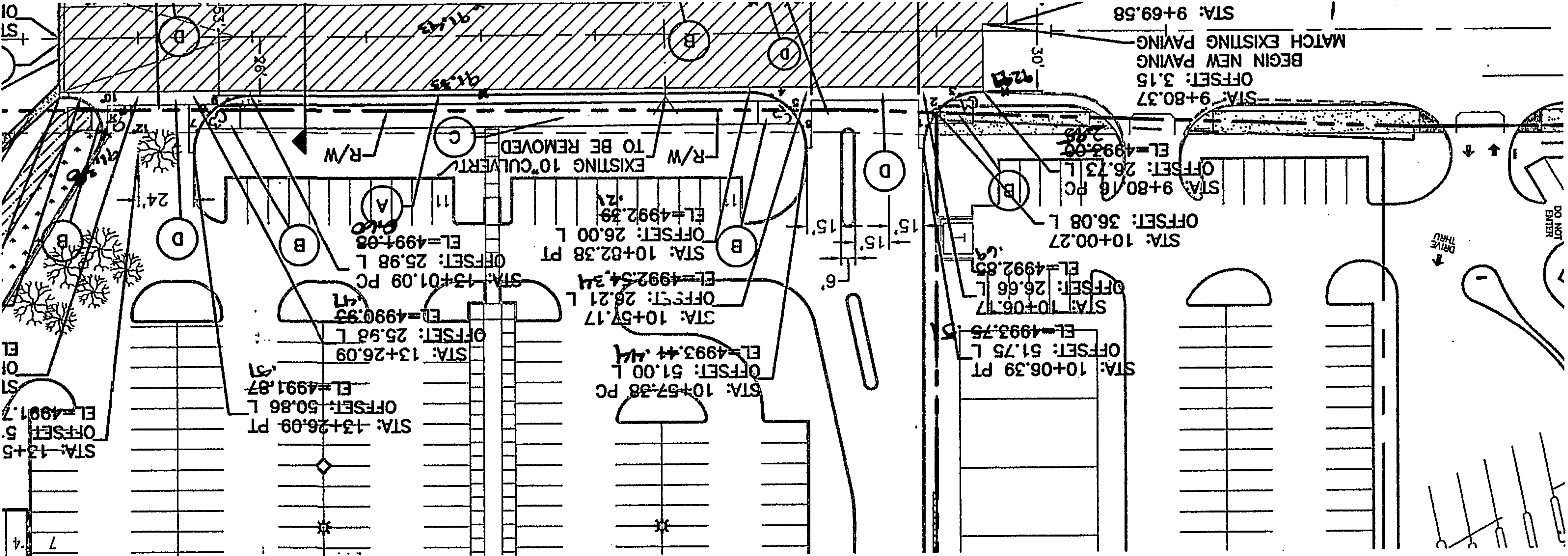
|    |    |       |    |         |
|----|----|-------|----|---------|
| C7 | FL | ELEV. | 19 | 4992.80 |
|    | FL | ELEV. | 20 | 4992.67 |
|    | FL | ELEV. | 21 | 4992.54 |

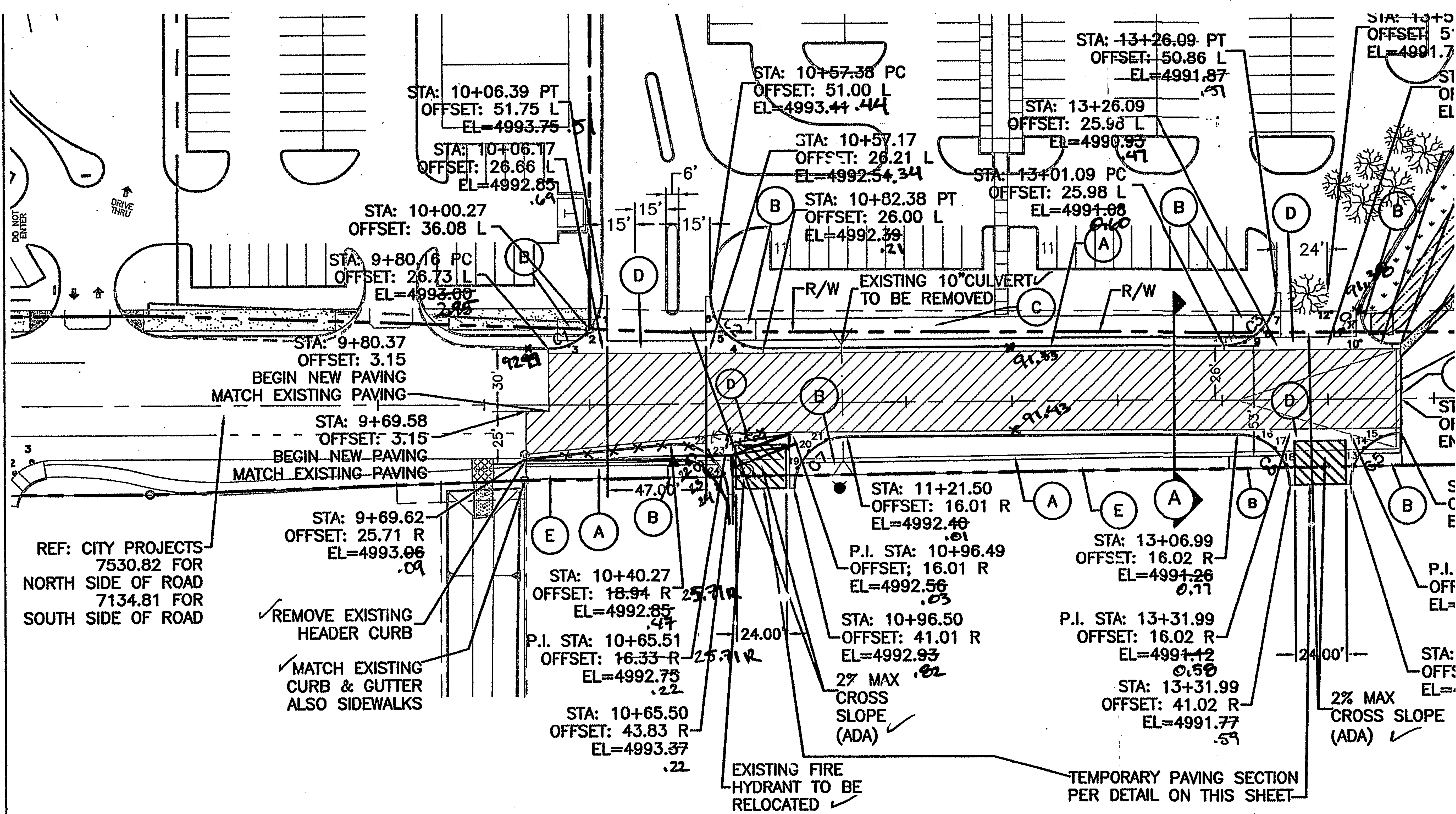
C8

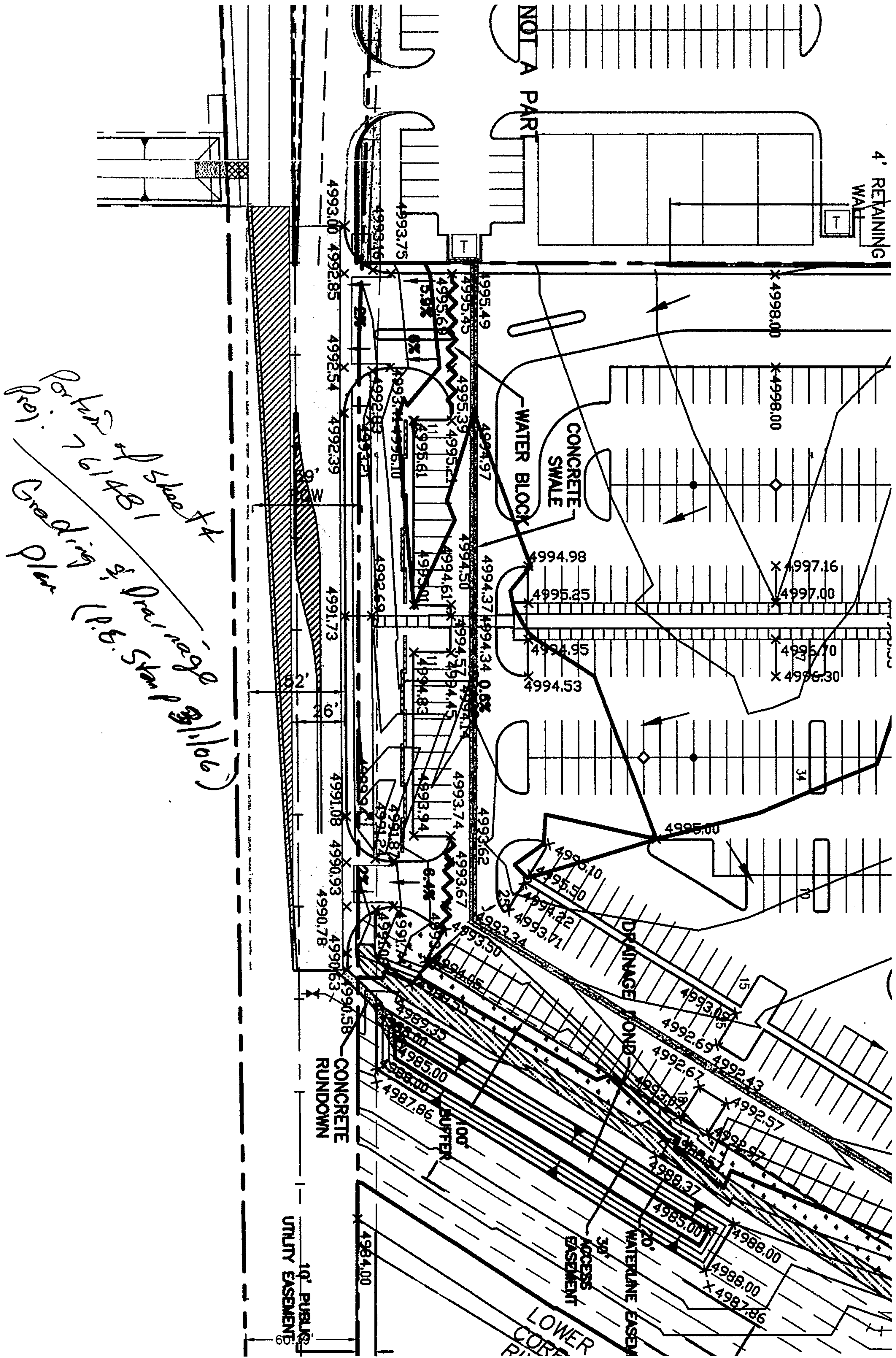
|    |    |       |    |         |
|----|----|-------|----|---------|
| C8 | FL | ELEV. | 22 | 4992.98 |
|    | FL | ELEV. | 23 | 4993.44 |
|    | FL | ELEV. | 24 | 4993.24 |

3.30  
3.56  
3.22

| CURVE | LENGTH | R |
|-------|--------|---|
| C1    | 40.18  |   |
| C2    | 39.27  |   |
| C3    | 39.15  |   |
| C4    | 39.39  |   |
| C5    | 39.27  |   |
| C6    | 39.27  |   |
| C7    | 39.27  |   |
| C8    | 41.64  |   |

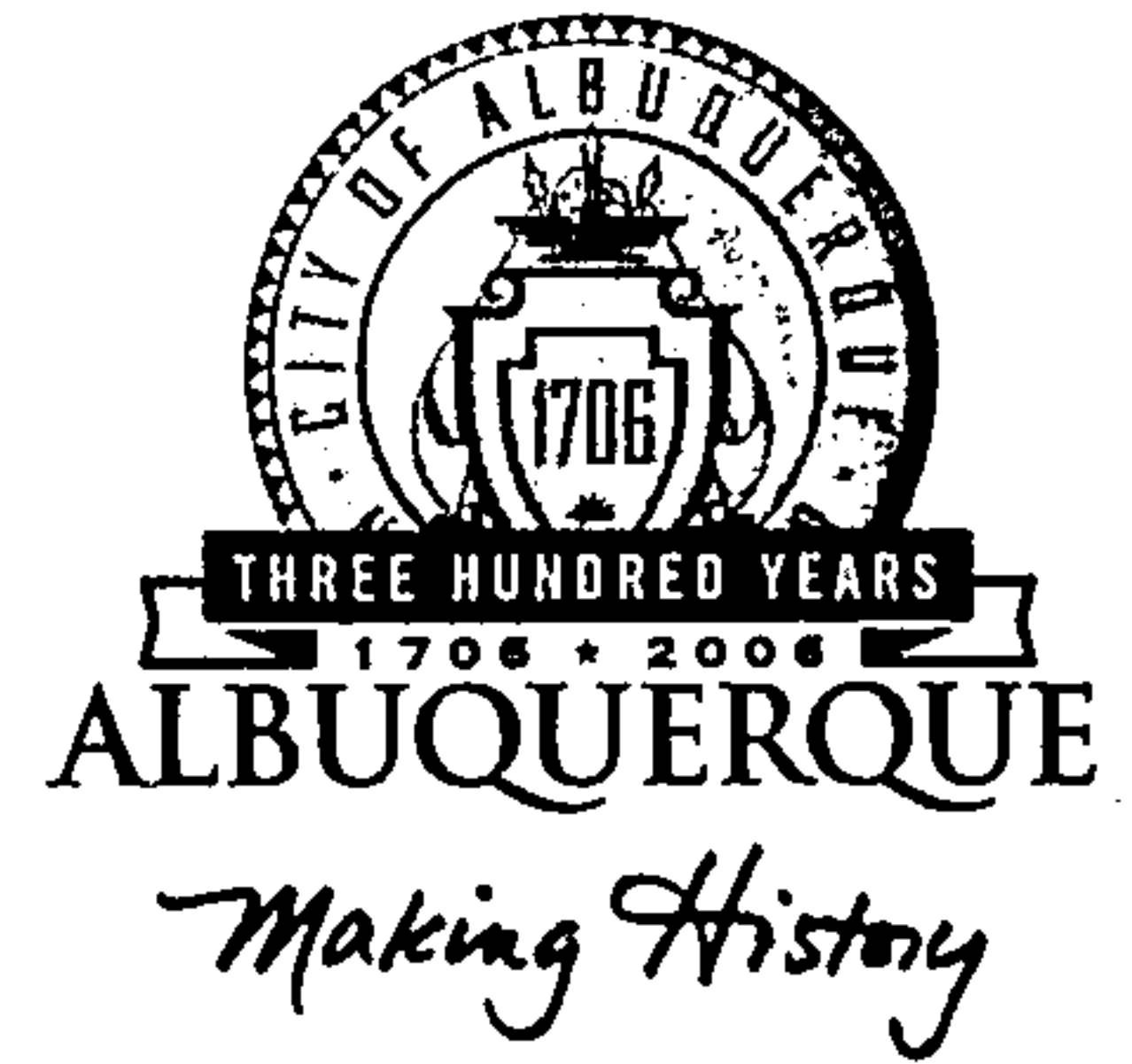








# CITY OF ALBUQUERQUE



**Planning Department  
Transportation Development Services Section**

January 6, 2006

Joe L. Slagle, Registered Architect  
1600 Rio Grande NW  
Albuquerque, NM 87104

Re: Certification Submittal for Final Building Certificate of Occupancy for  
Sandia Federal Area Credit Union, [D-12 / D6]  
6320 Coors Blvd NW  
Architect's Stamp Dated 12/28/06

Dear Mr. Slagle:

P.O. Box 1293

The TCL / Letter of Certification submitted on January 6, 2006 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to the Building and Safety Section.

Albuquerque

Sincerely,

New Mexico 87103

Nilo E. Salgado-Fernandez, P.E.  
Senior Traffic Engineer  
Development and Building Services  
Planning Department

[www.cabq.gov](http://www.cabq.gov)

c: Engineer  
Hydrology file  
CO Clerk

January 6, 2006

JB

**LETTER OF TRANSMITTAL**

ARCHITECTS

**PROJECT**

SAFCU-Coors & La Orilla

**RE:**

Traffic Circ. Cert.

1600 rio grande nw  
albuquerque  
new mexico 87104  
505 246 0870  
fax 505 246 0437

**TO**

Nilo Salgado-Fernandez

**FROM**

Joe Slagle

**QUANTITY**

**DESCRIPTION**

**NOTES**

1 copy

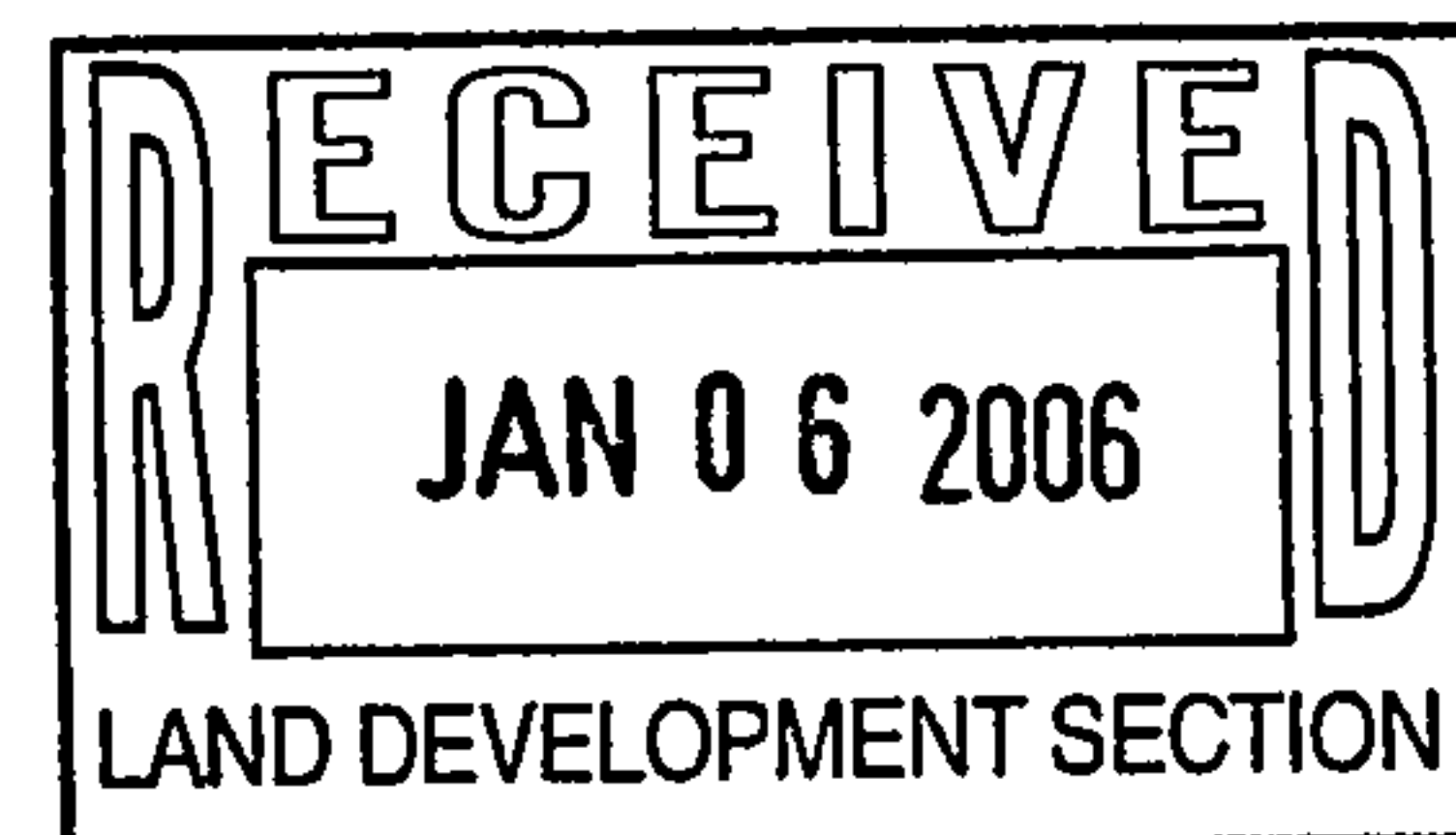
Approved DRB Site Plan-with redlined  
revisions

D12/D6

**COMMENTS**

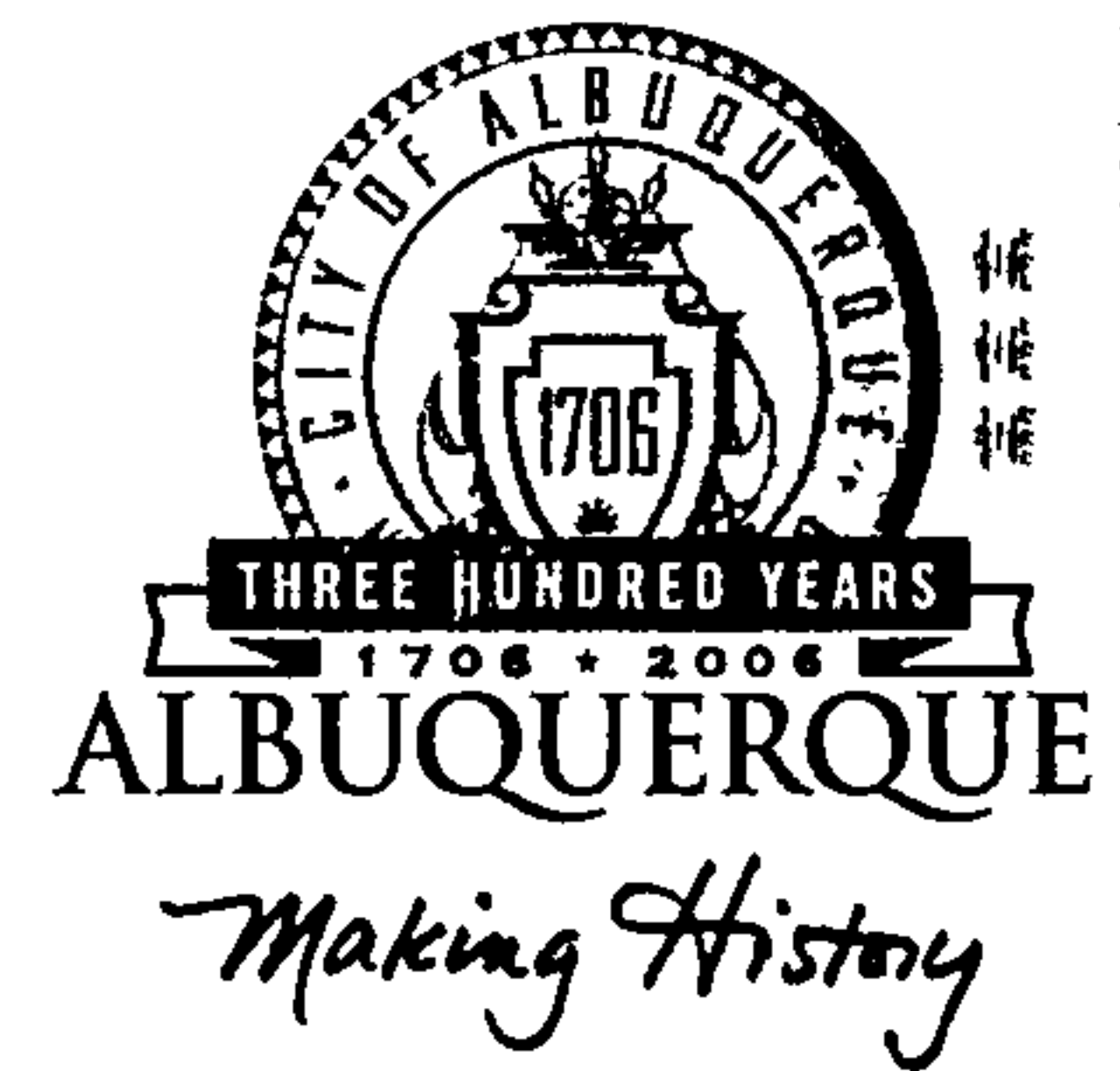
In response to your letter of Jan. 4, 2006, I am attaching a redlined print of the approved DRB site plan with revisions and clarifications of what is being certified under our scope of work. Please let me know if you need anything else in order to complete the transportation certification for this project.

Thank you,  
Joe Slagle



SIGNED

# CITY OF ALBUQUERQUE



December 29, 2005

Mr. Martin J. Garcia, P.E.  
**ABQ ENGINEERING**  
6739 Academy Rd. NE, Suite 130  
Albuquerque, NM 87109

**Re: SANDIA AREA FEDERAL CREDIT UNION**  
**6320 Coors Blvd. NW**

**Approval of Permanent Certificate of Occupancy (C.O.)**

**Engineer's Stamp dated 07/28/2005 (D-12/D6)**

**Certification dated 12/28/2005**

Dear Martin:

P.O. Box 1293

Based upon the information provided in your submittal received 12/29/2005, the above referenced certification is approved for release of Permanent Certificate of Occupancy by Hydrology.

Albuquerque

If you have any questions, you can contact me at 924-3982.

Sincerely,

*Arlene V. Portillo*

Arlene V. Portillo  
Plan Checker, Planning Dept. - Hydrology  
Development and Building Services

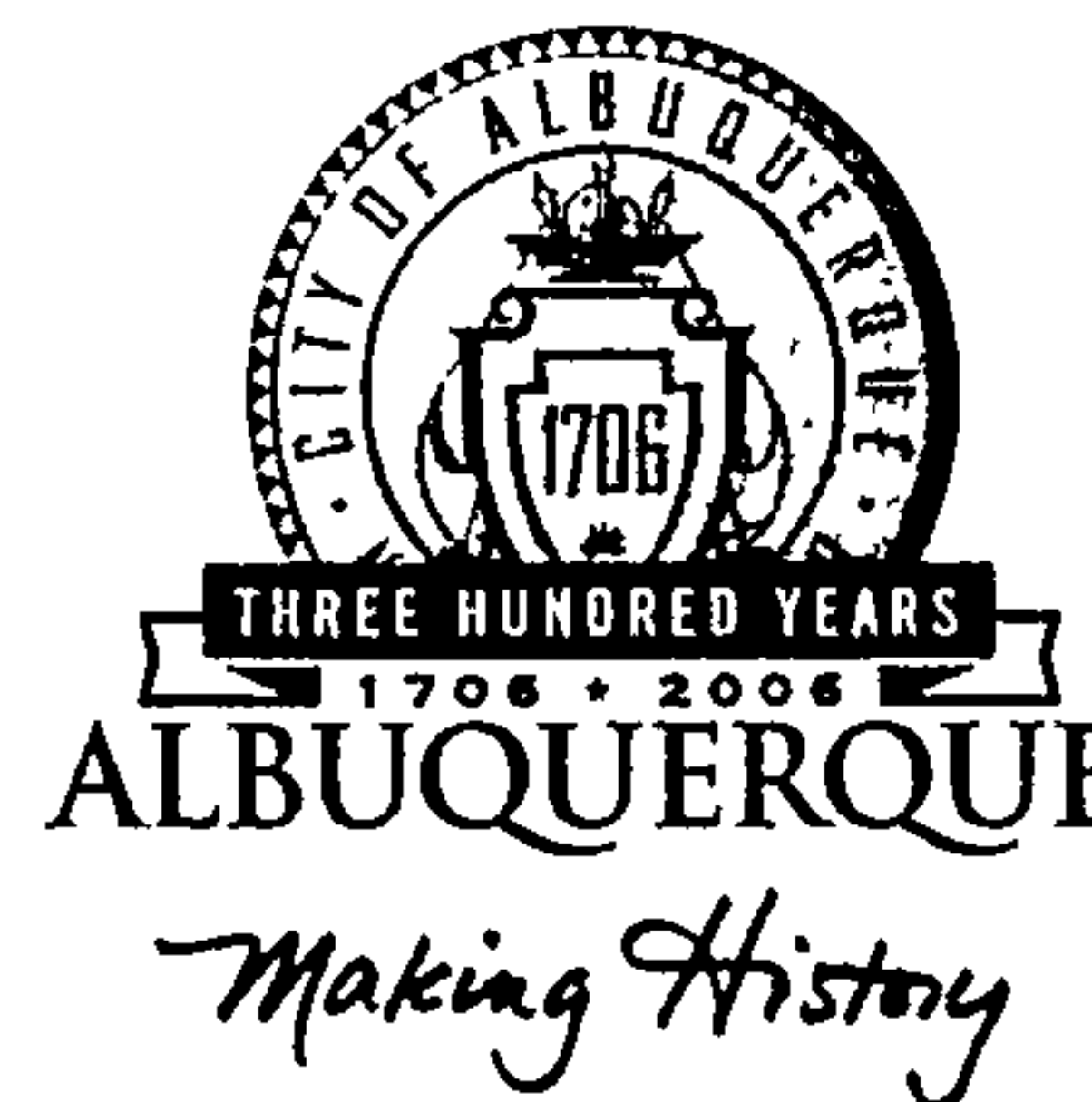
New Mexico 87103

[www.cabq.gov](http://www.cabq.gov)

C: CO Clerk  
File

*Note*  
*Point Appears to*  
*Drain to La Ovilla,*  
*rather than East*  
*to adjacent site*  
*as PLANNED*  
*AD 12/4/12*

# CITY OF ALBUQUERQUE



August 9, 2005

Martin Garcia, P.E.  
ABQ Engineering  
6739 Academy Rd. Suite 130 NE  
Albuquerque, NM 87109

**Re: Sandia Area Federal Credit Union, Grading and Drainage Plan  
Engineer's Stamp dated 7-28-05 (D12-D6)**

Dear Mr. Garcia,

Based upon the information provided in your submittal received 8-01-05, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology. Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

P.O. Box 1293

This project requires a National Pollutant Discharge Elimination System (NPDES) permit. If you have any questions regarding this permit please feel free to call the DMD Storm Drainage Design section at 768-3654 (Charles Caruso).

Albuquerque

New Mexico 87103

If you have any questions, you can contact me at 924-3981.

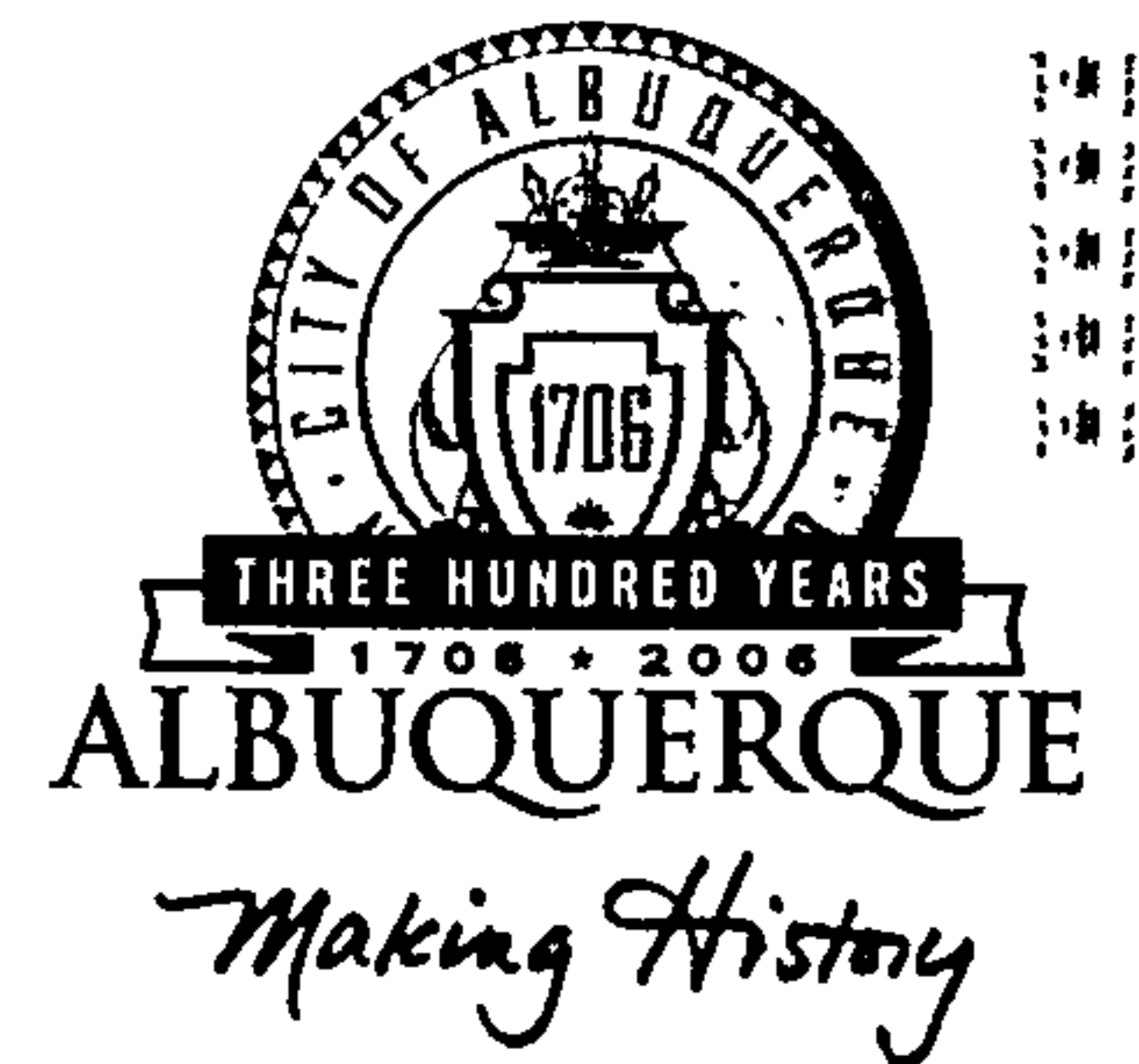
Sincerely,

Kristal D. Metro  
Engineering Associate, Planning Dept.  
Development and Building Services

[www.cabq.gov](http://www.cabq.gov)

C: Charles Caruso, DMD Storm Drainage Design  
File

# CITY OF ALBUQUERQUE



June 7, 2005

Martin Garcia, P.E.  
ABQ Engineering  
6739 Academy Rd. Suite 130 NE  
Albuquerque, NM 87109

**Re: Sandia Area Federal Credit Union, Grading and Drainage Plan  
Engineer's Stamp dated 5-24-05 (D12-D6)**

Dear Mr. Garcia,

Based upon the information provided in your submittal received 5-25-05, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology. Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

P.O. Box 1293

Albuquerque

This project requires a National Pollutant Discharge Elimination System (NPDES) permit. If you have any questions regarding this permit please feel free to call the DMD Storm Drainage Design section at 768-3654 (Charles Caruso).

New Mexico 87103

If you have any questions, you can contact me at 924-3981.

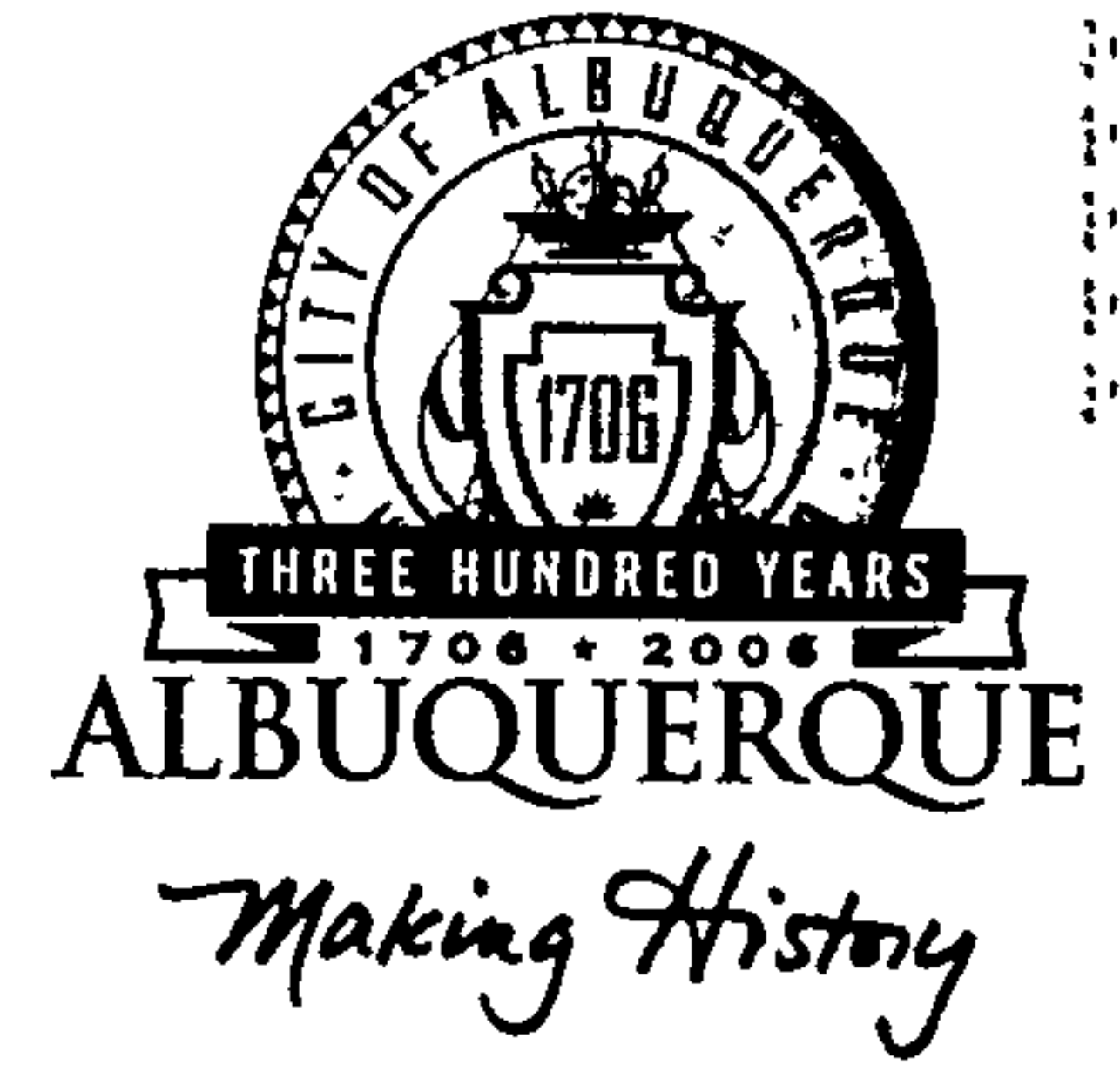
Sincerely,

Kristal D. Metro  
Engineering Associate, Planning Dept.  
Development and Building Services

[www.cabq.gov](http://www.cabq.gov)

C: Charles Caruso, DMD Storm Drainage Design  
File

# CITY OF ALBUQUERQUE



May 20, 2005

Martin J. Garcia, P.E.  
ABQ Engineering  
6739 Academy NE – Suite 130  
Albuquerque, NM 87109

**Re: Northeast Corner of Coors Blvd. & La Orilla - Grading Plan  
Engineer's Stamp dated 5-5-05 (D12-D6)**

Dear Mr. Garcia,

Based upon the information provided in your submittal dated 5-10-05, the above referenced plan is approved for Grading Permit.

Additionally, this project requires a National Pollutant Discharge Elimination System (NPDES) permit. Refer to the attachment that is provided with this letter for details. If you have any questions please feel free to call the Municipal Development Department, Hydrology section at 768-3654 (Charles Caruso).

If you have any questions, you can contact me at 924-3990.

Sincerely,

Phillip J. Lovato, E.I.  
Engineering Associate, Planning Dept.  
Development and Building Services

C: Charles Caruso, DMD  
file

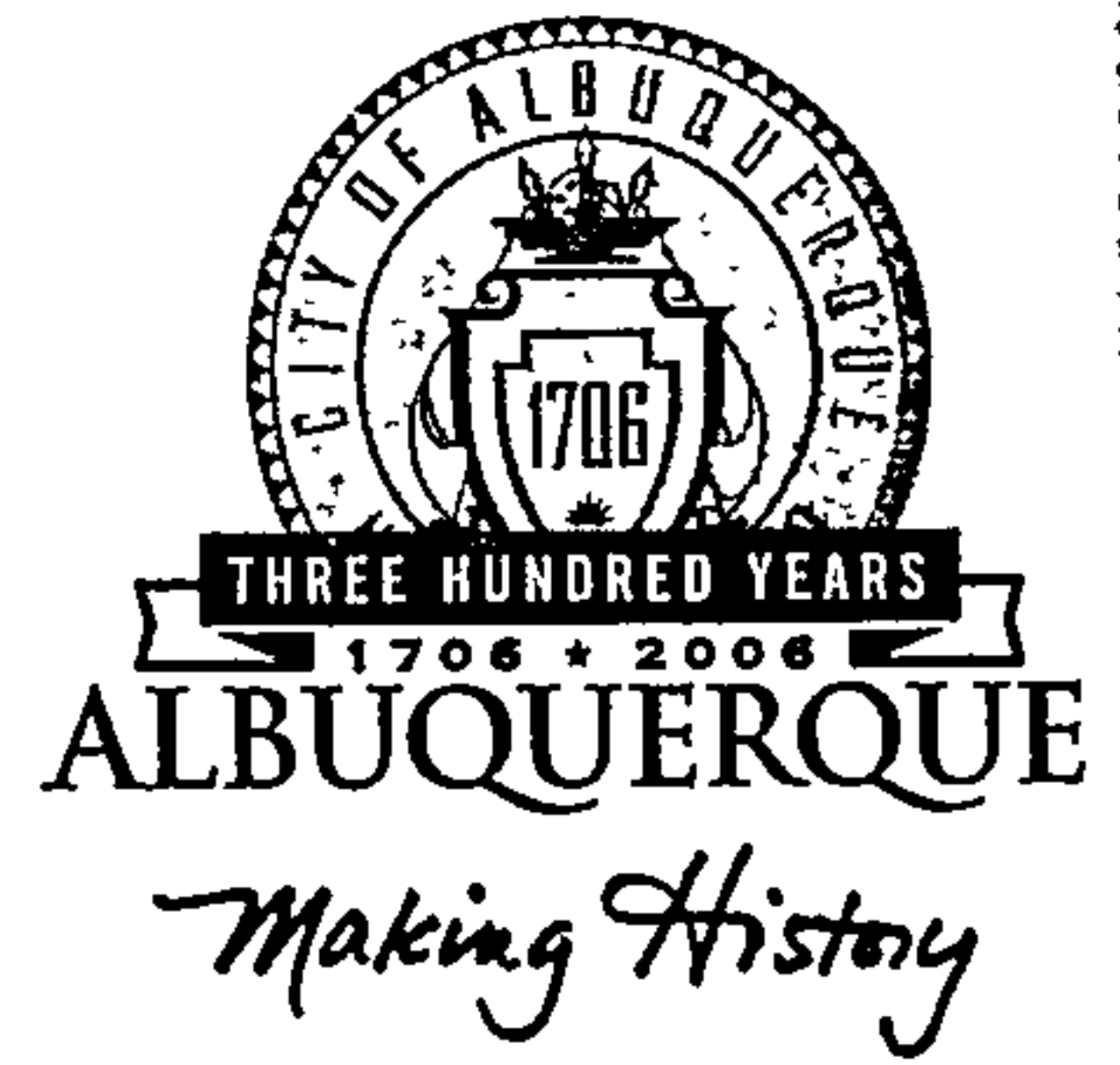
P.O. Box 1293

Albuquerque

New Mexico 87103

[www.cabq.gov](http://www.cabq.gov)

# CITY OF ALBUQUERQUE



February 11, 2005

Bruce Stidworthy, PE  
Bohannon Huston, Inc  
7500 Jefferson NE  
Albuquerque, NM 87109

**Re: NE Corner of Coors and La Orilla Conceptual Grading and Drainage Plan  
Engineer's Stamp dated 2-11-05, (D12/D06)**

Dear Mr. Stidworthy,

Based upon the information provided in your submittal dated 12-01-04, the above referenced plan is approved for Site Development Plan for Building Permit and Site Development Plan for Subdivision action by the DRB.

If you have any questions, you can contact me at 924-3986.

Sincerely,

Bradley L. Bingham, PE  
Principal Engineer, Planning Dept.  
Development and Building Services

P.O. Box 1293

Albuquerque

New Mexico 87103

[www.cabq.gov](http://www.cabq.gov)

C: file

# CITY OF ALBUQUERQUE



October 30, 2012

Ronald R. Bohannon, P.E.  
Tierra West, LLC  
5571 Midway Park Pl NE  
Albuquerque, NM 87109

**Re: Sagebrush Plaza, Grading and Drainage Plan  
Engineer's Stamp Date 10/2/12 (D12/D006)**

Dear Mr. Bohannon,

Based upon the information provided in your submittal received 10/3/2012, the above referenced plan is approved for Grading Permit with the caveat that as the plan proceeds through DRB and Building Permit, Hydrology may provide comments that lead to grade changes.

This project requires a National Pollutant Discharge Elimination System (NPDES) permit for storm water discharge and a Topsoil Disturbance Permit since it is disturbing  $\frac{3}{4}$  of an acre or more.

PO Box 1293

The above referenced plan is approved for Site Plan for Building Permit action by the DRB.

Albuquerque

The above referenced plan cannot be approved for Building Permit until the following comments are addressed:

NM 87103

www.cabq.gov

- Provide the depth and calculations for the capacity of the swale in Section A-A and B-B.
- Show and label the valley gutter and the high point on the site to the east.
- Provide flow line elevations in La Orilla Rd at the drive entrance to aid in the determination of an adequate water block.
- Please remove the SO-19 notes since they are not needed for this site.
- Does this site receive offsite flows in the north drive entrance?
- Retaining walls are only required for grade differences of 2 feet or more.
- The DRB may impose requirements that alter the site plan. Hydrology would like to see the DRB site plan submittal and hear comments, if any, from other board members prior to approving the plan for Building Permit.

If you have any questions, you can contact me at 924-3986.

Sincerely,

Curtis Cherne, P.E.

Principal Engineer, Planning Dept.  
Development and Building Services

C: e-mail

# DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 01/28/2003rd)

PROJECT TITLE: Sagebrush Plaza  
DRB #: \_\_\_\_\_ EPC #: \_\_\_\_\_

ZONE MAP/DRG. FILE #: D-12 / D006  
WORK ORDER #: \_\_\_\_\_

LEGAL DESCRIPTION: Tracts B-2 and B-3 Hubbell Heights  
CITY ADDRESS: \_\_\_\_\_

ENGINEERING FIRM: TIERRA WEST, LLC  
ADDRESS: 5571 Midway Park Place NE  
CITY, STATE: ALBUQUERQUE, NM

CONTACT: RONALD R. BOHANNAN, P.E.  
PHONE: (505) 858-3100  
ZIP CODE: 87109

OWNER: Sagebrush Community Church  
ADDRESS: 6440 Coors Blvd NW  
CITY, STATE: Albuquerque, NM

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: 87120

ARCHITECT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

SURVEYOR: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

CONTRACTOR: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

## CHECK TYPE OF SUBMITTAL:

## CHECK TYPE OF APPROVAL SOUGHT:

☐ DRAINAGE REPORT  
☒ DRAINAGE PLAN 1st SUBMITTAL, **REQUIRES TCL or equal**  
☐ DRAINAGE PLAN RESUBMITTAL  
☐ CONCEPTUAL GRADING & DRAINAGE PLAN  
☒ GRADING PLAN  
☐ EROSION CONTROL PLAN  
☐ ENGINEER'S CERTIFICATION (HYDROLOGY)  
☐ CLOMR/LOMR  
☐ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ ENGINEERS CERTIFICATION (TCL)  
☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)  
☐ OTHER

☐ SIA / FINANACIAL GUARANTEE RELEASE  
☐ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D. APPROVAL  
☒ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL  
☐ SECTOR PLAN APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ FOUNDATION PERMIT APPROVAL  
☒ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY (PERM.)  
☐ CERTIFICATE OF OCCUPANCY (TEMP.)  
☒ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ WORK ORDER APPROVAL  
☐ OTHER (SPECIFY)

## WAS A PRE-DESIGN CONFERENCE ATTENDED:

☒ YES  
☐ NO  
☐ COPY PROVIDED

RECEIVED  
OCT - 3 2012

DATE SUBMITTED: October 3, 2012 BY: Jeff Wooten

paid \$50.00

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal.

The particular nature, location and scope of the proposed development defines the degree of drainage detail.

One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plans:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

## Cherne, Curtis

---

**From:** Jeff Wooten [jwooten@tierrawestllc.com]  
**Sent:** Tuesday, November 06, 2012 3:58 PM  
**To:** Bob Church; Cherne, Curtis  
**Cc:** Ron Bohannon; Tate Fishburn; Rick Davis  
**Subject:** RE: Sagebrush - Driveway Overlay for Drainage

Thanks Bob.

Curtis,  
Plans and the response letter were resubmitted to you this am. Will the below email be enough for your file to show that we have permission to work on the church site?

Jeff Wooten, PE, LEED AP  
Tierra West, LLC  
5571 Midway park Place, NE  
Albuquerque, NM 87109  
Office: (505) 858-3100  
Cell: (972) 896-9839  
jwooten@tierrawestllc.com  
www.tierrawestllc.com

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-----Original Message-----

**From:** Bob Church [mailto:bobc@sagebrush.cc]  
**Sent:** Tuesday, November 06, 2012 3:31 PM  
**To:** Jeff Wooten  
**Cc:** Ron Bohannon; 'Tate Fishburn'; 'Rick Davis'; ccherne@cabq.gov  
**Subject:** RE: Sagebrush - Driveway Overlay for Drainage

*Church concurrence  
in overlay to  
create water  
block at their  
west driveway  
off to Orilla*

Dear Jeff- we understand that we need to modify the west drive entrance from the existing parking lot to La Orilla. We will complete the modifications as part of the improvements we are making to our property entitled Sagebrush Plaza located at 6420 Coors Blvd NW.

Bob Church  
Administrative Pastor  
Sagebrush Community Church  
bobc@sagebrush.cc  
505-205-4876

-----Original Message-----

**From:** Jeff Wooten [mailto:jwooten@tierrawestllc.com]  
**Sent:** Monday, November 05, 2012 12:45 PM  
**To:** Bob Church  
**Cc:** Ron Bohannon; Tate Fishburn; Rick Davis; ccherne@cabq.gov  
**Subject:** RE: Sagebrush - Driveway Overlay for Drainage

Bob,  
Can you do me a favor and respond to this email with your approval of the attached offsite work (asphalt overly) on the church site? Curtis Cherne (copied on this email) will need

a copy of your response for his file. Be sure to state your title and that you are an authorized representative of the church. Also, be sure to copy Curtis Cherne on your response and attach the PDF file.

Thank You,

Jeff Wooten, PE, LEED AP  
Tierra West, LLC  
5571 Midway park Place, NE  
Albuquerque, NM 87109  
Office: (505) 858-3100  
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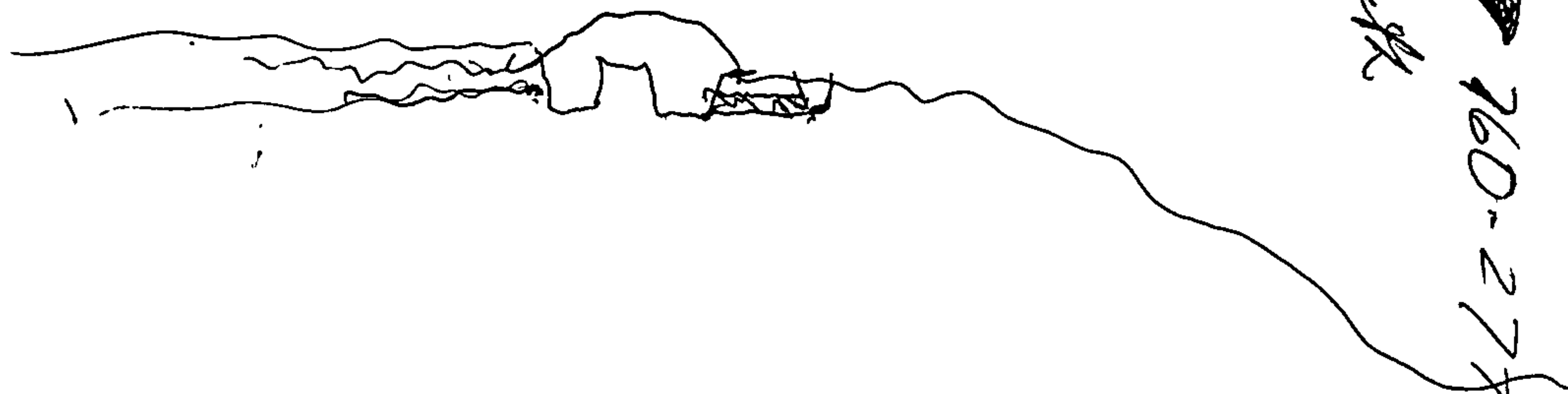
-----Original Message-----

From: Jeff Wooten  
Sent: Friday, November 02, 2012 10:59 AM  
To: Rick Davis  
Cc: Bob Church; Ron Bohannon; 'Tate Fishburn'  
Subject: Sagebrush - Driveway Overlay for Drainage

Rick,  
Here is the revised grading plan showing the area that needs the asphalt overlay.  
Jeff

--  
If this email is spam, report it to  
[https://support.onlymyemail.com/view/report\\_spam/MTUxMTQ2OjE0NzkxMDMzMjU6andvb3RlbkB0aWVycmF3ZXN0bGxjLmNvbTpkZWxpdmVyZWQ](https://support.onlymyemail.com/view/report_spam/MTUxMTQ2OjE0NzkxMDMzMjU6andvb3RlbkB0aWVycmF3ZXN0bGxjLmNvbTpkZWxpdmVyZWQ)

Tom  
Reesmark  
760-278-8552



CONTACT NAME: JAKE BORDENAVE

TELEPHONE: 823-1344 EMAIL: jakebordenave@comcast.net

1. 304-6479 7:50 AM  
~~Shelby~~ Sick today

1. GSE-1115 E:jo DeH worker  
GSE-3100 Cedros Plaza Sage Brush Plaza D12/0006

Grading permit approved  
Good assumption for permit approved  
Didn't apply for bldg permit

017-1001

## Jeff Wooten

---

**From:** Olson, Greg R. <grolson@cabq.gov>  
**Sent:** Thursday, December 20, 2012 3:47 PM  
**To:** Jeff Wooten  
**Cc:** Ron Bohannon; Olson, Greg R.  
**Subject:** RE: D12-D006 Sagebrush Plaza (Tract 1-D-1-A, Bk 15, Alban Hills Unit 1)

Jeff,  
This all looks good.

I suggest checking boxes for Grading Permit, Building Permit, and Paving Permit approval.

We would also like to see the Engineer's Certification done when the paving is finished, as opposed to waiting until the buildings are done.  
That would actually expedite future Building Permit approvals and C.O.'s (unless paving changes are required with future Building construction).

Let me know when you get your resubmittal in, and I'll turn it around ASAP.

Thanks,  
*Greg Olson*  
924-3994

---

**From:** Jeff Wooten [<mailto:jwooten@tierrawestllc.com>]  
**Sent:** Thursday, December 20, 2012 9:59 AM  
**To:** Olson, Greg R.  
**Cc:** Ron Bohannon  
**Subject:** RE: D12-D006 Sagebrush Plaza (Tract 1-D-1-A, Bk 15, Alban Hills Unit 1)

Greg,

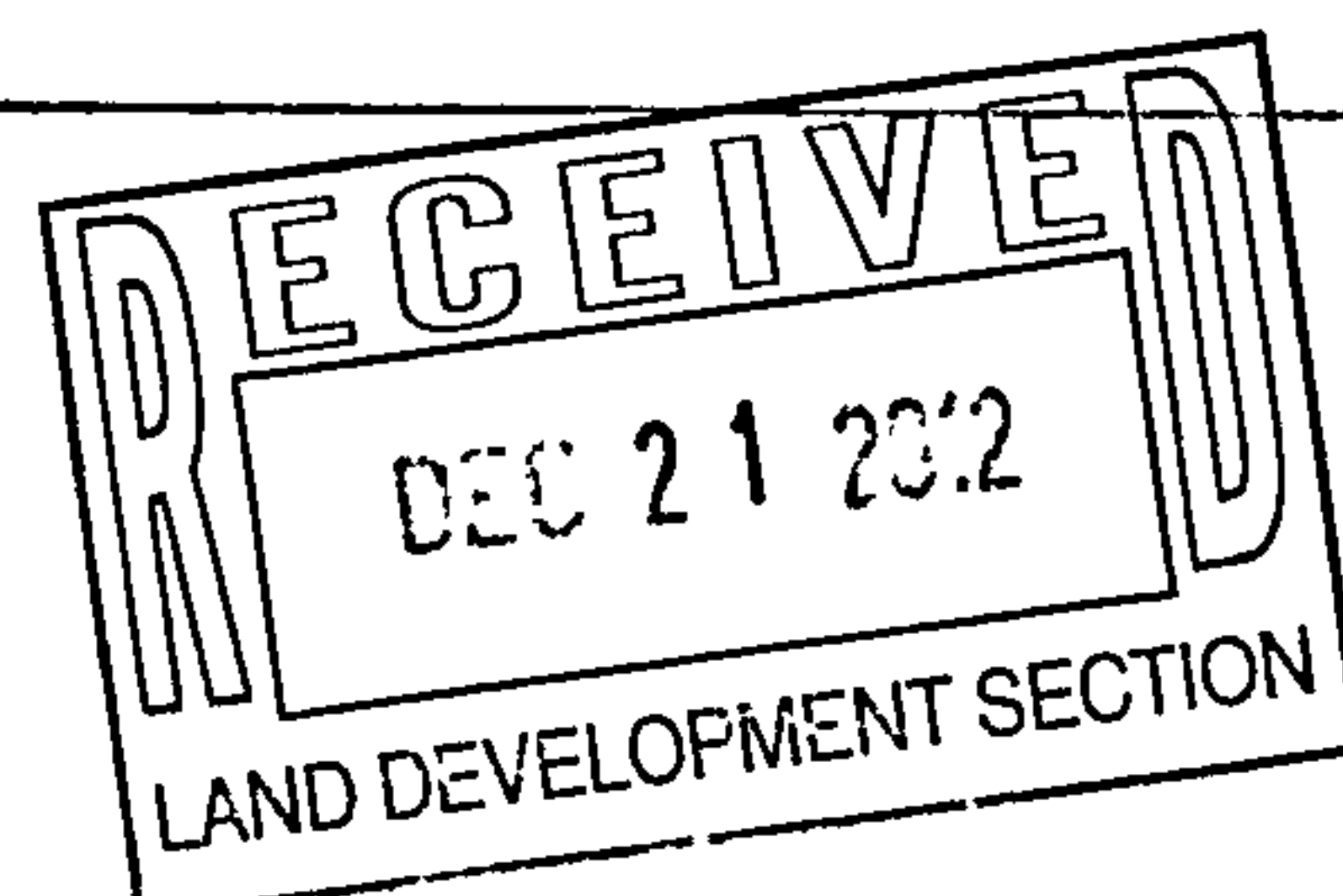
Before resubmitting the 'final' plan, I wanted to run this update by you. We have addressed the comments as follows:

1. You are correct about the sub-basin. I verified the calculations and the 8.48 cfs is correct.
2. I have added the label for the 24" curb opening in the area south of the water harvesting area. The curb opening has already been installed. We will verify this on the drainage certification after the buildings are constructed with Phase 2 and a drainage certification is required.
3. I have reviewed the grades and you are correct that this lower section of the valley gutter is at a 0.67% slope. I have revised the grades to reflect the full 6" water break and updated the calculations to include an n-value of 0.017 and slope of 0.67%. I believe this update more accurately reflects the true condition of the situation.
4. We will resubmit this plan if all your comments are addressed so it can be added to the file as the 'approved' plan. Do you need me to check the 'Paving Permit Approval' box and uncheck the 'Site Plan for Building Permit Approval' box on the resubmittal?

Thanks,  
Jeff Wooten

---

**From:** Olson, Greg R. [<mailto:grolson@cabq.gov>]  
**Sent:** Tuesday, December 18, 2012 11:23 AM  
**To:** Jeff Wooten  
**Cc:** Olson, Greg R.  
**Subject:** D12-D006 Sagebrush Plaza (Tract 1-D-1-A, Bk 15, Alban Hills Unit 1)



Jeff,  
I apologize for having to cut our call short on Monday.

Here is a quick list of the concerns discussed:

1. Calcs were not provided for the 8.48 cfs Q in the east swale, however this appears to be the sub-basin discharge for the northern portion of Basin 1.

The new swale sections are acceptable for this flow rate.

2. The Grading Plan does not call out a curb cut from the 3-space parking bay, south of the water harvesting area between the building pads.

There appears to be one shown in the plan, but it must at least be constructed, and included on your Certification plan.

3. This plan reduced the water block on the church lot from 6" to only 4" at one point. Review of your calculations noted:

a. The n-factor for pavement should be 0.017, per the DPM, rather than the 0.015 used.

b. The slope of the existing valley gutter is as low as 0.67%, based upon the new grades provided, rather than the 1% shown in the calc table.

c. The 4" water block only appears to occur at the east side of the southern median nose. The rest of the grades provide a block of 0.4' to 0.5'.

Can the corrected flow be contained within the property by raising that 4" grade(s) ?

4. This submittal requested approval for "Site Development Plan for Building Permit," and "Grading Permit."

The phasing plan to pave and landscape now, and submit for Building permit(s) later is understood, however, site paving would at least require Paving Permit approval.

Once the above issues are resolved, the level of detail provided by this plan will make it acceptable for Building Permit (including Paving).

With your concurrence, I intend to include that "Building Permit" approval in my final letter.

Note: The submitted "Information Sheet" again, erroneously referred to "Hubbell Heights Tracts."

Please review and call me back so that we can resolve final approval of this plan.

Thanks,

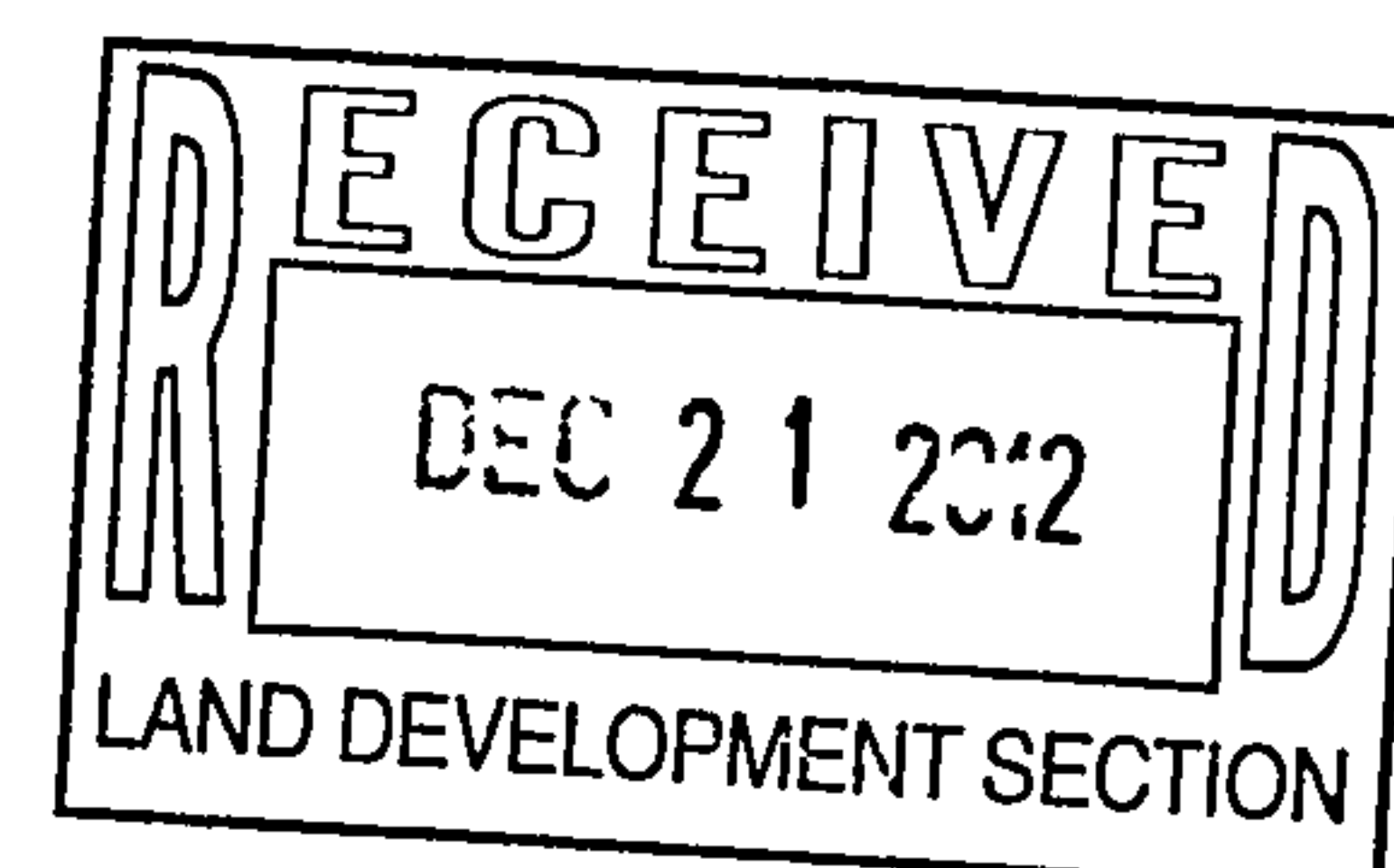
*Greg Olson*  
924-3994

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# CITY OF ALBUQUERQUE

PLANNING DEPARTMENT – Development & Building Services



December 27, 2012

Richard J. Berry, Mayor

Ronald R. Bohannon, P.E.  
Tierra West, LLC  
5571 Midway Park Pl NE  
Albuquerque, NM 87109

RE: **Sagebrush Plaza, Tract 1-D-1-A, Blk 15, Alban Hills - Grading and Drainage Plan**  
NE Corner of Coors & La Orilla NW P.E. Stamp: 12/19/12 File # **D12-D006**

Dear Mr. Bohannon,

Based upon your request, and the information provided in your submittal received 12/21/2012, the above referenced plan is approved for Site Development Plan for Building Permit, Grading Permit and Paving Permit.

PO Box 1293

Upon completion of the proposed grading and paving, and particularly the water block on the adjacent property to the east, please submit an Engineer Certified copy of this plan to the hydrology office, reflecting as-constructed conditions.

Albuquerque

This project requires a Topsoil Disturbance Permit since it is disturbing more than  $\frac{3}{4}$  acre. The project site is over 1.0 acres, so it also requires a National Pollutant Discharge Elimination System (NPDES) permit for storm water discharge.

NM 87103

If you have any questions, you may contact me by email at [grolson@cabq.gov](mailto:grolson@cabq.gov), or telephone 505-924-3695.

[www.cabq.gov](http://www.cabq.gov)

Sincerely,

Gregory R. Olson, P.E.  
Senior Engineer

Orig: Drainage file D12-D006  
c.pdf Addressee via Email: [rrb@tierrawestllc.com](mailto:rrb@tierrawestllc.com)  
Jeff Wooten, via Email: [JWooten@TierraWestLLC.com](mailto:JWooten@TierraWestLLC.com)  
Kathy Verhage, COA/DMD via Email: [KVerhage@cabq.gov](mailto:KVerhage@cabq.gov)

# DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2012)

PROJECT TITLE: Sagebrush Plaza  
DRB #: \_\_\_\_\_ EPC #: \_\_\_\_\_

ZONE MAP/DRG. FILE #: D-12 / 1006  
WORK ORDER #: \_\_\_\_\_

LEGAL DESCRIPTION: Tract 1-D-1-A, Block 15 Alban Hills, Unit 1  
CITY ADDRESS: \_\_\_\_\_

ENGINEERING FIRM: TIERRA WEST, LLC  
ADDRESS: 5571 Midway Park Place NE  
CITY, STATE: ALBUQUERQUE, NM

CONTACT: RONALD R. BOHANNAN, P.E.  
PHONE: (505) 858-3100  
ZIP CODE: 87109

OWNER: Sagebrush Community Church  
ADDRESS: 6440 Coors Blvd. NW  
CITY, STATE: Albuquerque, NM

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: 87120

ARCHITECT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

SURVEYOR: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

CONTRACTOR: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

## CHECK TYPE OF SUBMITTAL:

\_\_\_\_ DRAINAGE REPORT  
\_\_\_\_ DRAINAGE PLAN 1st SUBMITTAL, **REQUIRES TCL or equal**  
☒ DRAINAGE PLAN RESUBMITTAL  
\_\_\_\_ CONCEPTUAL GRADING & DRAINAGE PLAN  
☒ GRADING PLAN  
\_\_\_\_ EROSION CONTROL PLAN  
\_\_\_\_ ENGINEER'S CERTIFICATION (HYDROLOGY)  
\_\_\_\_ CLOMR/LOMR  
\_\_\_\_ TRAFFIC CIRCULATION LAYOUT (TCL)  
\_\_\_\_ ENGINEERS CERTIFICATION (TCL)  
\_\_\_\_ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)  
\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_

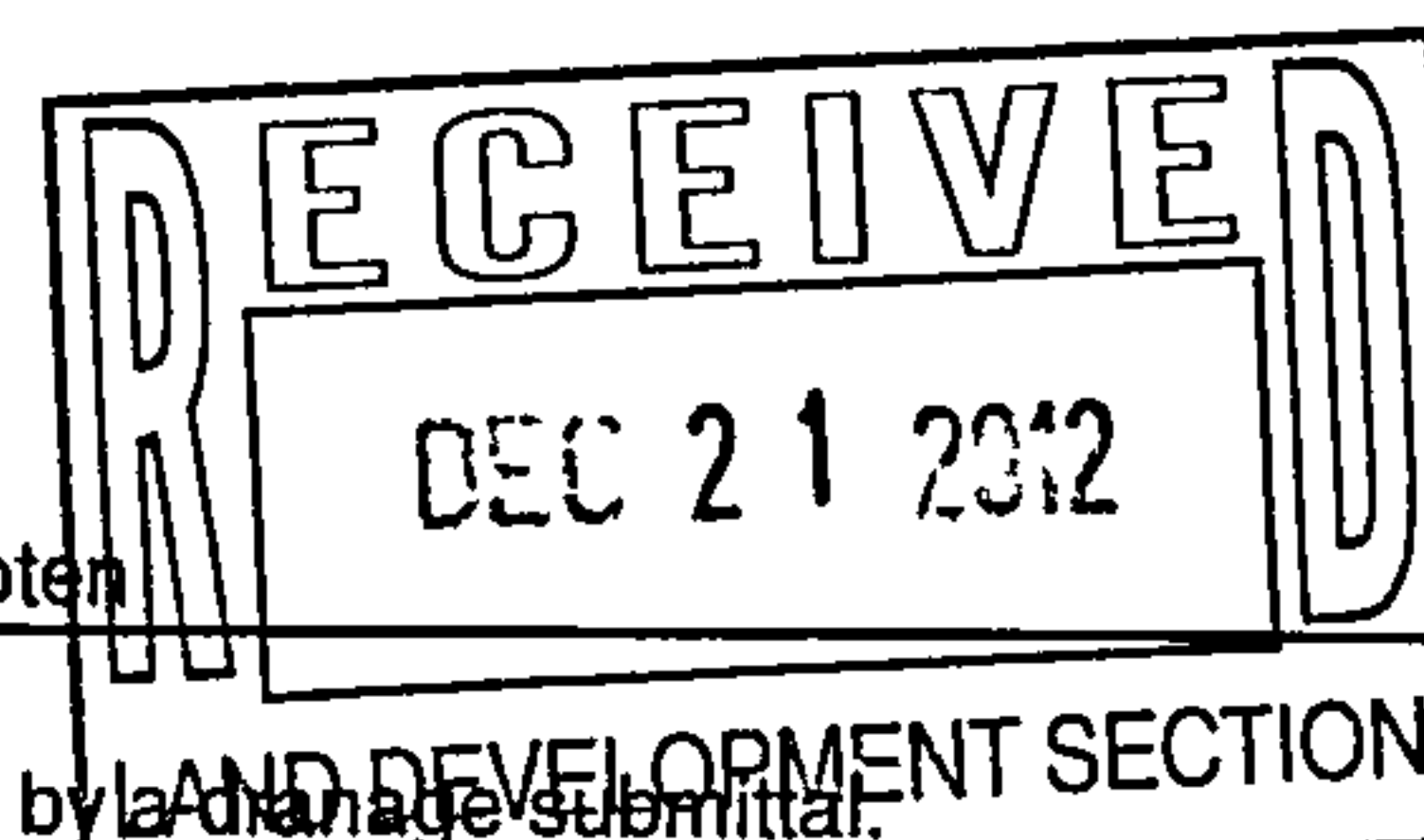
## CHECK TYPE OF APPROVAL SOUGHT:

\_\_\_\_ SIA / FINANACIAL GUARANTEE RELEASE  
\_\_\_\_ PRELIMINARY PLAT APPROVAL  
\_\_\_\_ S. DEV. PLAN FOR SUB'D. APPROVAL  
☒ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL  
\_\_\_\_ SECTOR PLAN APPROVAL  
\_\_\_\_ FINAL PLAT APPROVAL  
\_\_\_\_ FOUNDATION PERMIT APPROVAL  
\_\_\_\_ BUILDING PERMIT APPROVAL  
\_\_\_\_ CERTIFICATE OF OCCUPANCY (PERM.)  
\_\_\_\_ CERTIFICATE OF OCCUPANCY (TEMP.)  
☒ GRADING PERMIT APPROVAL  
☒ PAVING PERMIT APPROVAL  
\_\_\_\_ WORK ORDER APPROVAL  
\_\_\_\_ GRADING CERTIFICATION  
\_\_\_\_ OTHER (SPECIFY) SO-19 \_\_\_\_\_

## WAS A PRE-DESIGN CONFERENCE ATTENDED:

☒ YES  
\_\_\_\_ NO  
\_\_\_\_ COPY PROVIDED

DATE SUBMITTED: December 21, 2012 BY: Jeff Wooten



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal.

The particular nature, location and scope of the proposed development defines the degree of drainage detail.

One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plans:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.