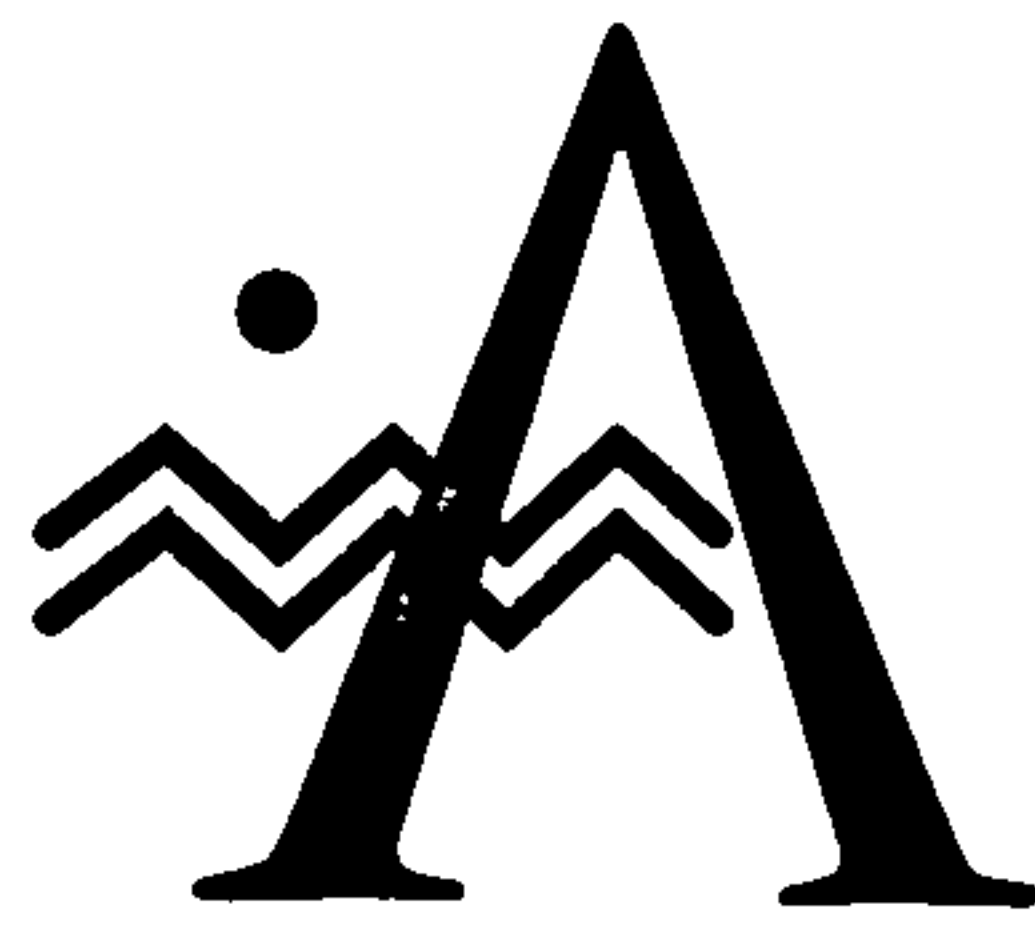




CITY OF
Albuquerque
October 22, 1996

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Martin J. Chávez, Mayor

Roger Martinez, Jr.
Mark Goodwin & Associates
P.O. Box 90606
Albuquerque, NM 87199

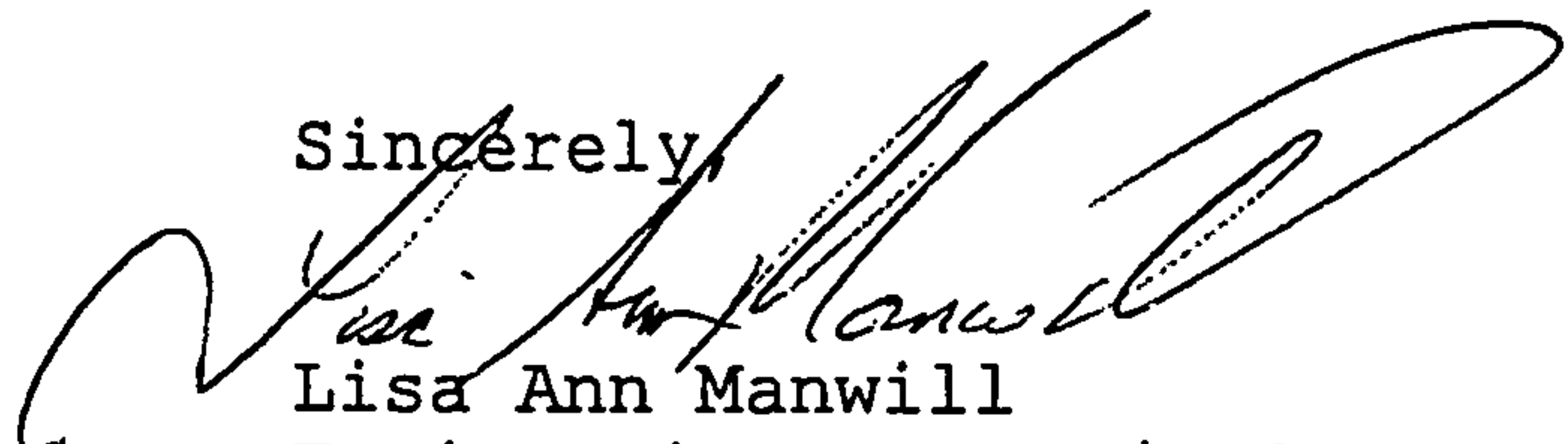
**RE: MADRID STAT FARM (D13-D1D). ENGINEER'S CERTIFICATION FOR
CERTIFICATE OF OCCUPANCY APPROVAL. ENGINEER'S CERTIFICATION
DATED OCTOBER 9, 1996.**

Dear Mr. Martinez:

Based on the information provided on your October 9, 1996 submittal,
and the copy of the recorded Agreement and Covenant the above
referenced project is approved for Final Certificate of Occupancy.

If I can be of further assistance, please feel free to contact me at
768-3622.

Sincerely,

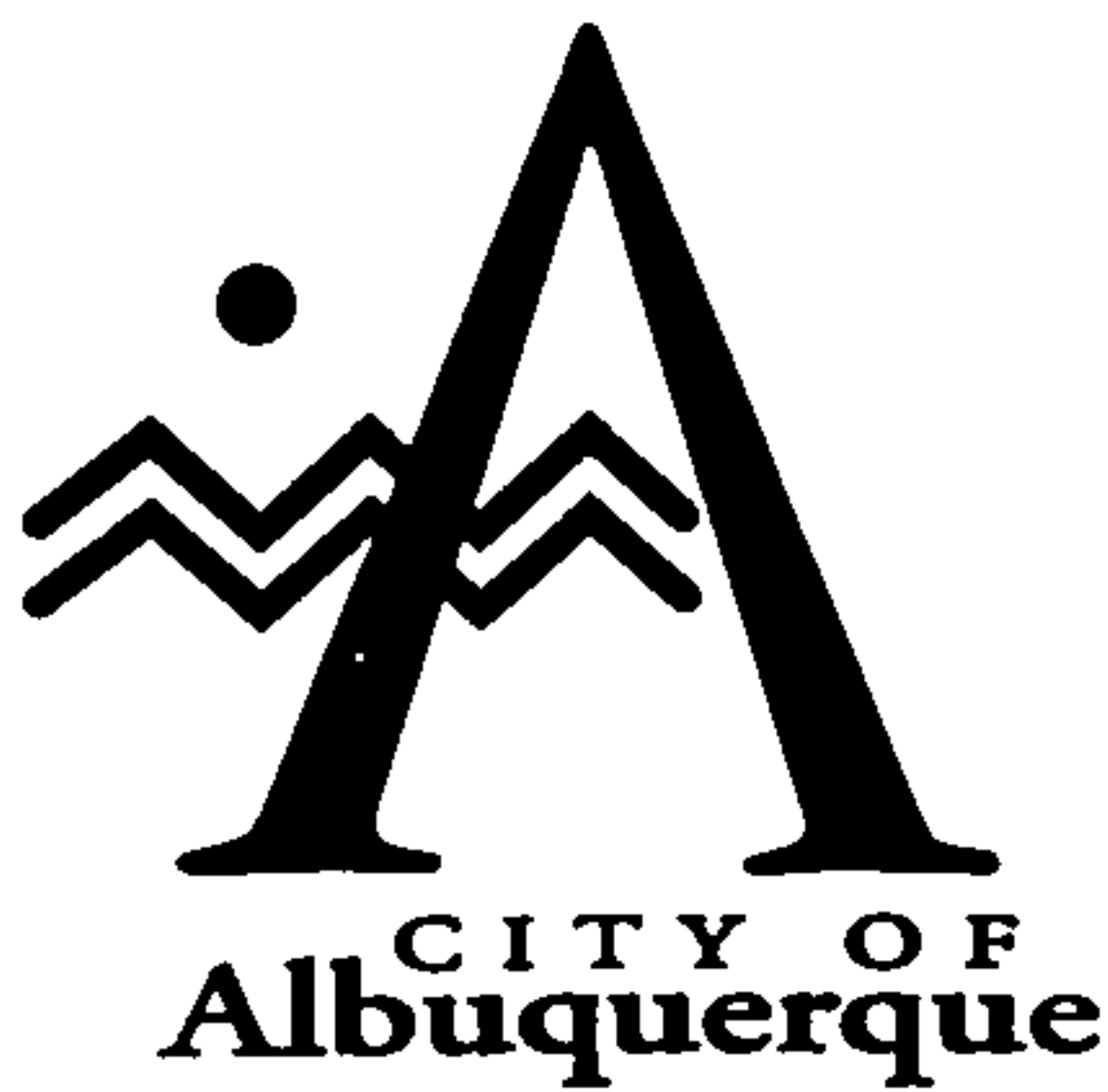


Lisa Ann Manwill
Engineering Assoc./Hyd.

c: Andrew Garcia
File

Good for You, Albuquerque!





October 18, 1996

Martin J. Chávez, Mayor

Roger Martinez, Jr.
Mark Goodwin & Associates
P.O. Box 90606
Albuquerque, NM 87199

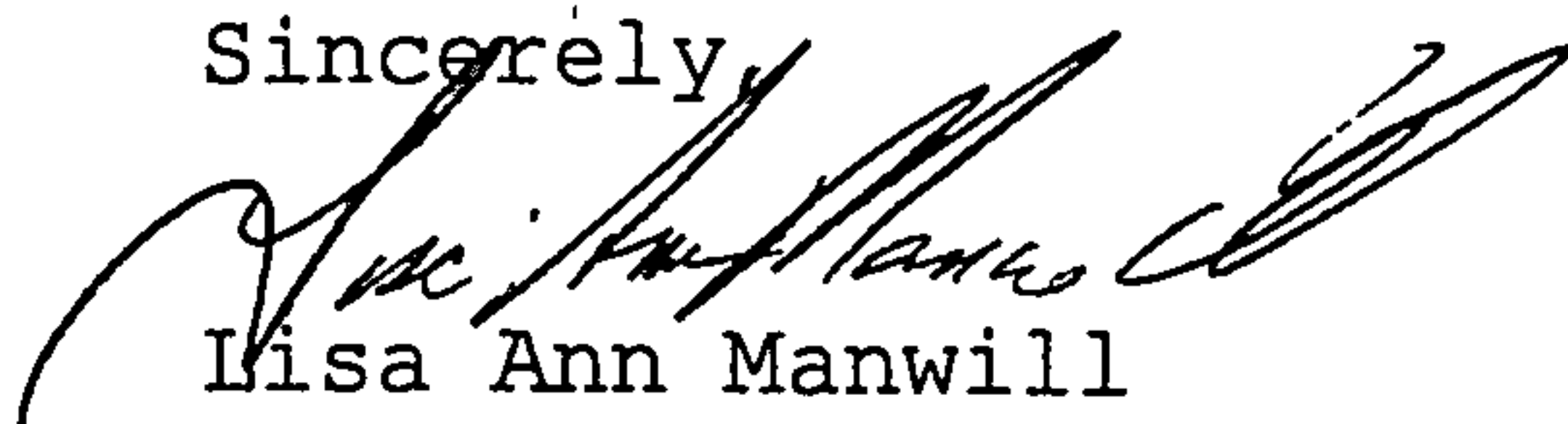
**RE: MADRID STAT FARM (D13-D1D). ENGINEER'S CERTIFICATION FOR
CERTIFICATE OF OCCUPANCY APPROVAL. ENGINEER'S CERTIFICATION
DATED OCTOBER 9, 1996.**

Dear Mr. Martinez:

Based on the information provided on your October 9, 1996 submittal, the above referenced project is approved for a 15-day Temporary Certificate of Occupancy. Per the City's letter dated May 17, 1996, prior to Final Certificate of Occupancy a copy of the recorded Agreement and Covenant for the desilting pond will be required.

If I can be of further assistance, please feel free to contact me at 768-3622.

Sincerely,



Lisa Ann Manwill
Engineering Assoc./Hyd.

c: Andrew Garcia
File

Good for You, Albuquerque!



DRAINAGE INFORMATION SHEET

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PROJECT TITLE: Madrid State Farm ZONE ATLAS/DRNG, FILE#: D-13 / 1810
 DRB #: _____ EPC #: _____ WORK ORDER #: _____
 LEGAL DESCRIPTION: Lot 6
 CITY ADDRESS: _____

ENGINEERING FIRM: Mark Goodwin & Associates PA CONTACT: Roger Martinez Jr.
 ADDRESS: PO Box 90606 PHONE: 345-2010
 OWNER: Ted Madrid CONTACT: Ted Madrid
 ADDRESS: 1001 Coors NW PHONE: 898-8711
 ARCHITECT: David Tinker CONTACT: David Tinker
 ADDRESS: 820 Guadalupe Circle NW PHONE: 898-1620
 SURVEYOR: N/A CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CONTRACTOR: N/A CONTACT: _____
 ADDRESS: _____ PHONE: _____

TYPE OF SUBMITTAL:

____ DRAINAGE REPORT
X DRAINAGE PLAN
 ____ CONCEPTUAL GRADING & DRAINAGE PLAN
X GRADING PLAN
 ____ EROSION CONTROL PLAN
 ____ ENGINEER'S CERTIFICATION
 ____ OTHER

PRE-DESIGN MEETING:

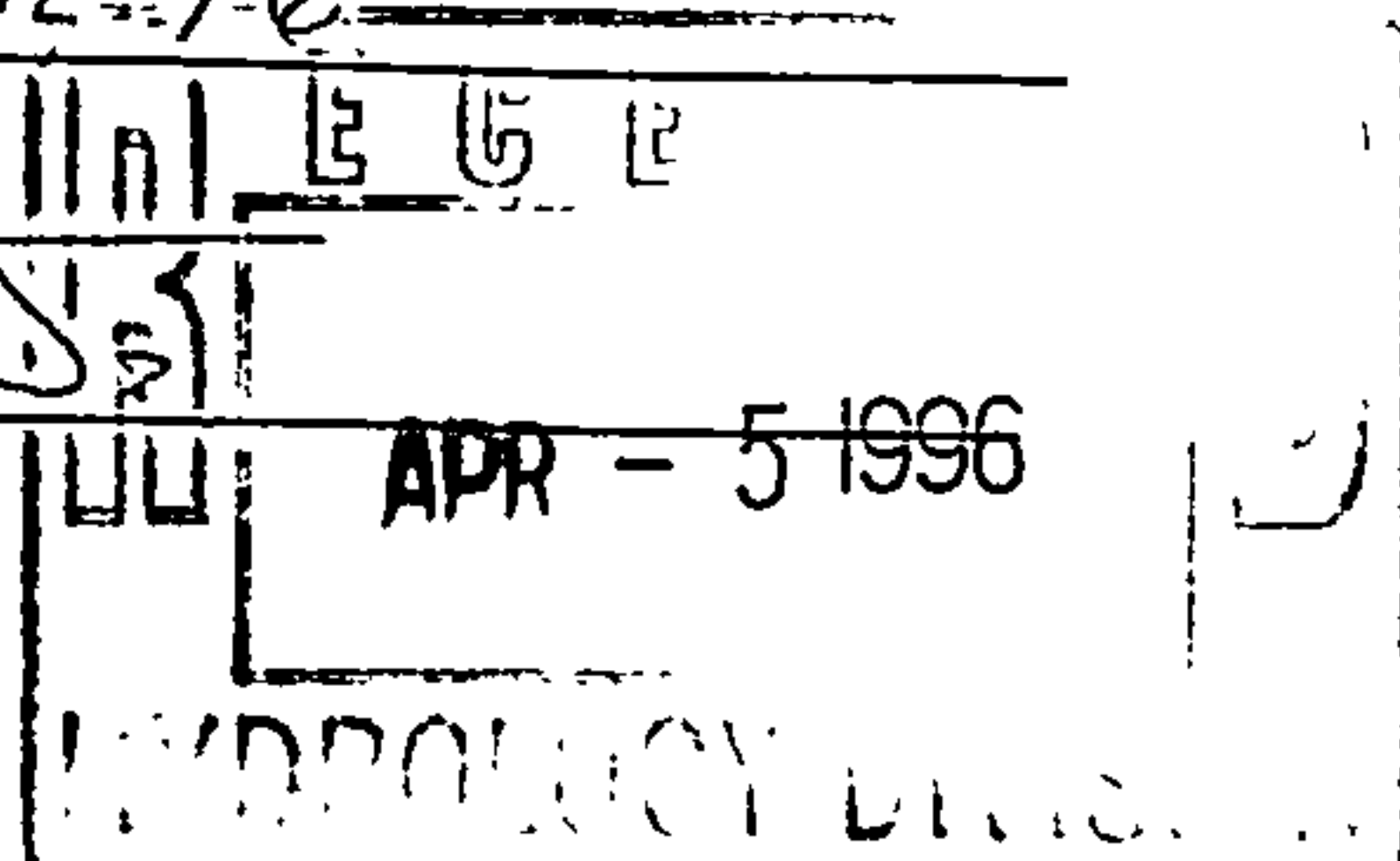
____ YES
X NO
 ____ COPY PROVIDED

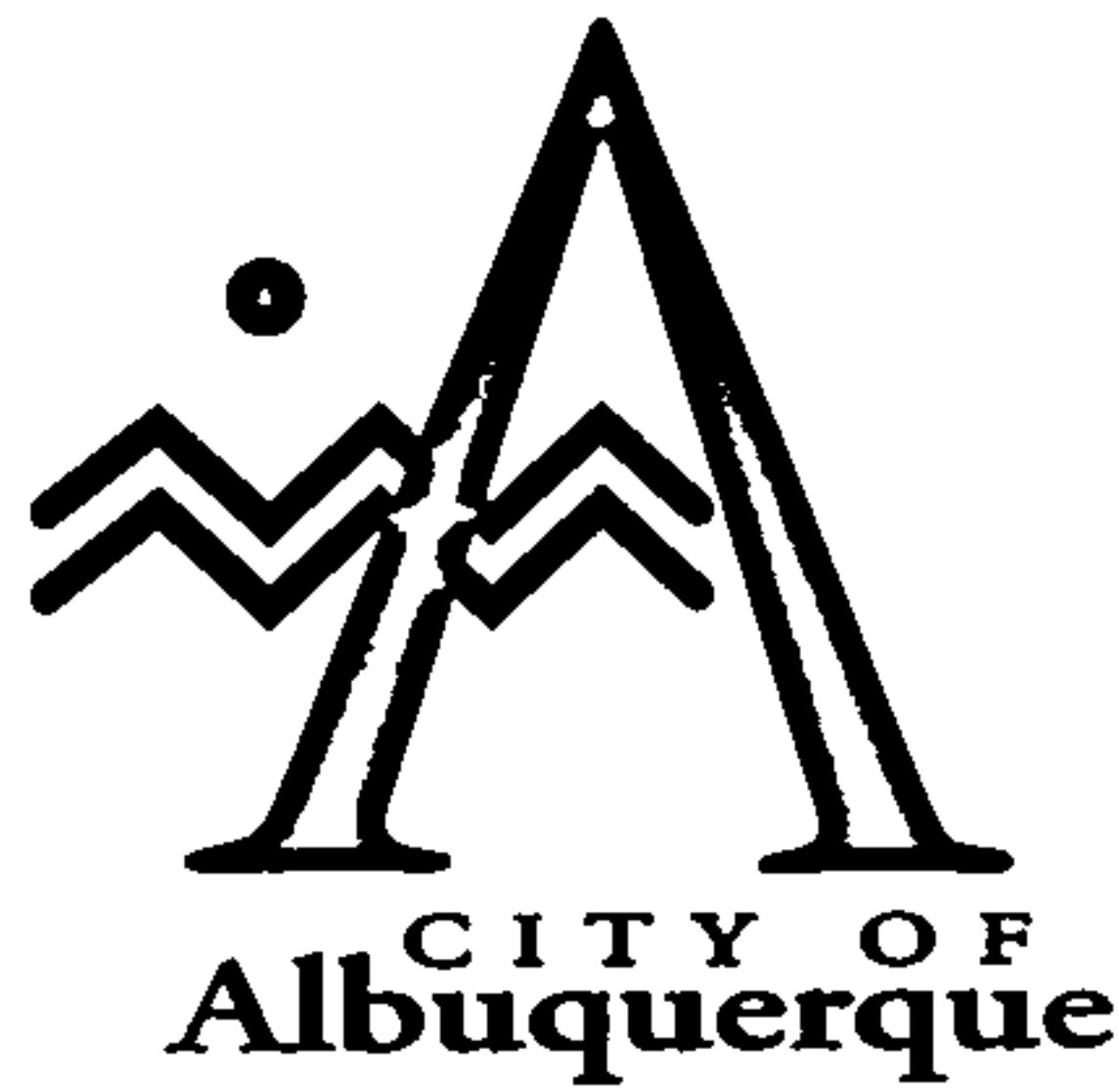
CHECK TYPE OF APPROVAL SOUGHT:

____ SKETCH PLAT APPROVAL
 ____ PRELIMINARY PLAT APPROVAL
 ____ S. DEV. PLAN FOR SUB'D APPROVAL
 ____ S. DEV. PLAN FOR BLDG PERMIT APPROVAL
 ____ SECTOR PLAN APPROVAL
 ____ FINAL PLAT APPROVAL
 ____ FOUNDATION PERMIT APPROVAL
X BUILDING PERMIT APPROVAL
 ____ CERTIFICATION OF OCCUPANCY APPROVAL
 ____ GRADING PERMIT APPROVAL
 ____ PAVING PERMIT APPROVAL
 ____ S.A.D. DRAINAGE REPORT
 ____ DRAINAGE REQUIREMENTS
 ____ OTHER _____ (Specify)

DATE SUBMITTED: 5 APRIL 96

BY: Roger Martinez Jr.
 Roger Martinez Jr.





P.O. Box 1293 Albuquerque, NM 87103

May 17, 1996

Martin J. Chávez, Mayor

Roger Martinez, Jr
Mark Goodwin & Assoc
P.O. Box 90606
Albuquerque, NM 87199

RE: GRADING & DRAINAGE PLAN FOR MADRID STATE FARM (D-13/D1D)
RECEIVED APRIL 25, 1996 FOR BUILDING PERMIT
ENGINEER'S STAMP DATED 4/22/96

Dear Mr. Martinez:

Based on the information included in the submittal referenced above, City Hydrology accepts the Plan for Building Permit. Include a copy of the Grading & Drainage Plan, dated 4/22/96, in the set of construction documents that will be submitted to Code Administration for the Building Permit.

Execute & process an Agreement & Covenant (form attached) for the desilting pond in the 10' public drainage easement granted to the City by Plat C39-127.

Engineer's Certification of grading & drainage per DPM checklist must be accepted by City Hydrology before any Certificate of Occupancy will be released. Include a copy of the recorded Agreement & Covenant with the Certification.

If you have any questions about this project, You may contact me at 768-2727.

Sincerely,

John P. Curtin, P.E.
Civil Engineer, Hydrology

c: Andrew Garcia
Glenn Jurgensen, Storm Maintenance
Kurt Browning, AMAFCA

Good for You, Albuquerque!





City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

March 18, 1996

Roger Martinez, Jr
Mark Goodwin & Assoc
P.O. Box 90606
Albuquerque, NM 87199

RE: GRADING & DRAINAGE PLAN FOR MADRID STATE FARM (D-13/D1D)
RECEIVED MARCH 5, 1996 FOR BUILDING PERMIT
ENGINEER'S STAMP DATED 3/1/96

Dear Mr. Martinez:

Based on the information included in the submittal referenced above, City Hydrology has the following comments:

The Plat of Tracts 3A, 4A, 5A, 6A Bosque Del Pueblo indicates that there is a 10' Public drainage Easement along the southeast side of Tract 6A. Indicate this easement on the Plan. Any work within this easement must be approved by Glenn Jurgensen.

The de-silting pond is confusing (see attached mark up). Call outs for details should match the title of the detail. What is the retention time? Will the multiple inlets short circuit the pond? Submit the calculations necessary to meet the Bosque Del Pueblo master plan criteria. Verify that water blocks are adequate.

If you have any questions about this project, You may contact me at 768-2727.

Sincerely,

John P. Curtin, P.E.
Civil Engineer, Hydrology

c: Andrew Garcia
Glenn Jurgensen, Storm Maintenance
Kurt Browning, AMAFCA

DRAINAGE INFORMATION SHEET

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PROJECT TITLE: Madrid State Farm ZONE ATLAS/DRNG, FILE#: D-13 / 0112
DRB #: _____ EPC #: _____ WORK ORDER #: _____
LEGAL DESCRIPTION: Lot 6
CITY ADDRESS: _____

ENGINEERING FIRM: Mark Goodwin & Associates PA CONTACT: Roger Martinez Jr.
ADDRESS: PO Box 90606 PHONE: 345-2010
OWNER: Ted Madrid CONTACT: Ted Madrid
ADDRESS: 1001 Coors NW PHONE: 898-8711
ARCHITECT: David Tinker CONTACT: David Tinker
ADDRESS: 820 Guadalupe Circle NW PHONE: 898-1620
SURVEYOR: N/A CONTACT: _____
ADDRESS: _____ PHONE: _____
CONTRACTOR: N/A CONTACT: _____
ADDRESS: _____ PHONE: _____

TYPE OF SUBMITTAL:

____ DRAINAGE REPORT
____ ☒ DRAINAGE PLAN
____ CONCEPTUAL GRADING & DRAINAGE PLAN
____ ☒ GRADING PLAN
____ EROSION CONTROL PLAN
____ ENGINEER'S CERTIFICATION
____ OTHER

PRE-DESIGN MEETING:

____ YES
____ ☒ NO
____ COPY PROVIDED

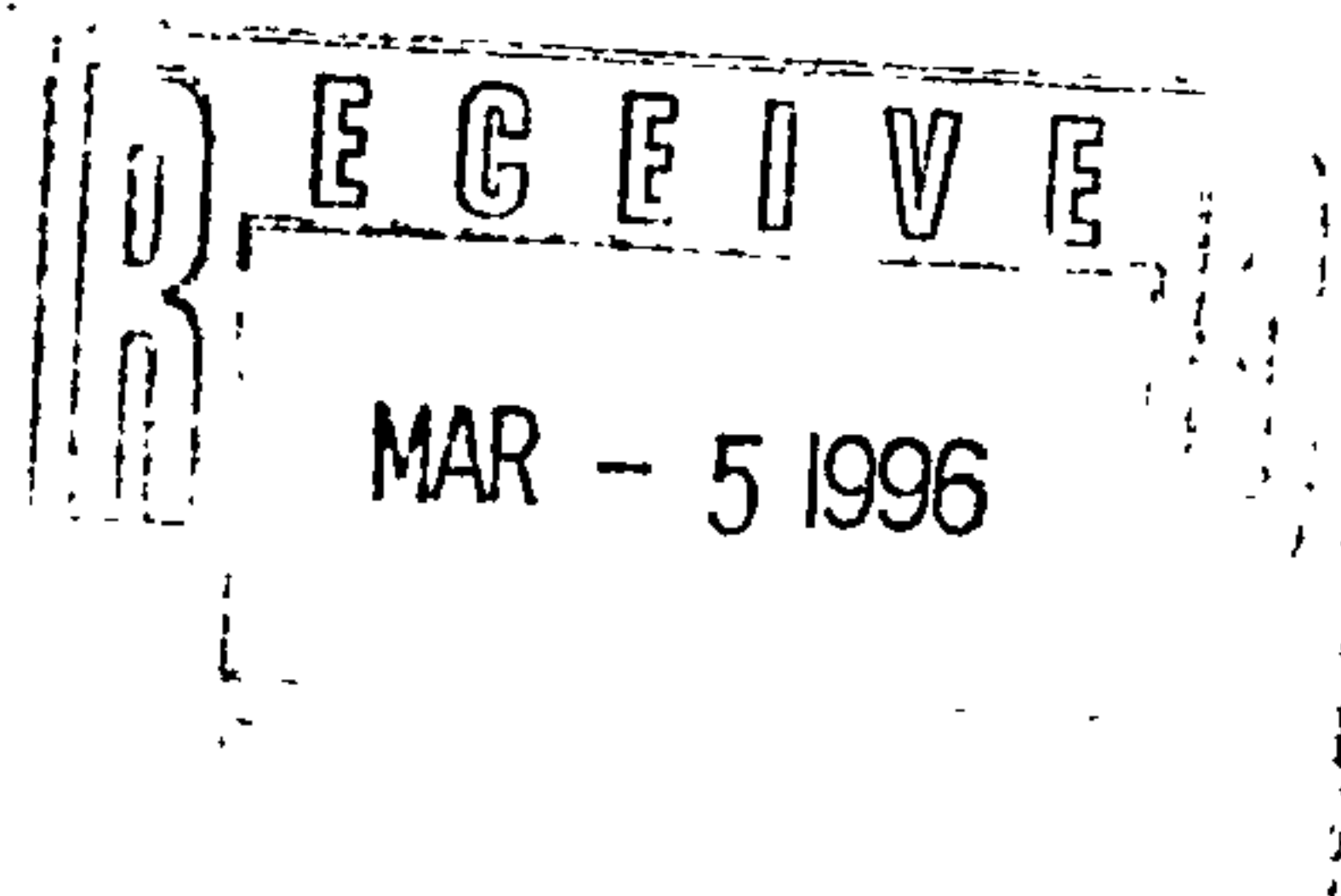
CHECK TYPE OF APPROVAL SOUGHT:

____ SKETCH PLAT APPROVAL
____ PRELIMINARY PLAT APPROVAL
____ S. DEV. PLAN FOR SUB'D APPROVAL
____ S. DEV. PLAN FOR BLDG PERMIT APPROVAL
____ SECTOR PLAN APPROVAL
____ FINAL PLAT APPROVAL
____ FOUNDATION PERMIT APPROVAL
____ ☒ BUILDING PERMIT APPROVAL
____ CERTIFICATION OF OCCUPANCY APPROVAL
____ GRADING PERMIT APPROVAL
____ PAVING PERMIT APPROVAL
____ S.A.D. DRAINAGE REPORT
____ DRAINAGE REQUIREMENTS
____ OTHER _____ (Specify)

DATE SUBMITTED: 4 MAR 96

BY: Roger Martinez Jr.

Roger Martinez Jr.





City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

January 18, 1995

Mark Goodwin, PE
Mark Goodwin & Associates, PA
PO Box 90606
Albuquerque, NM 87199

RE: MADRID STATE FARM (D-13/D1D) ENGINEER'S STAMP DATED 12/22/94

Dear Mr. Goodwin:

Based upon your 12/22/94 submittal, the referenced project is approved for Site Development Plan for Building Permit. Upon submitting for Building Permit approval, please provide more detail on the following:

1. How does water accumulating in the parking lot get into the existing channel east of the site?
2. Please provide pertinent information from the previously approved Master Drainage Plan to support your claim that free discharge to the AMAFCA facility should be allowed.

If I can be of further assistance, feel free to contact me at 768-3622.

Sincerely,

Scott Davis
PWD, Hydrology Division

c: Ted Madrid (owner)
Andrew Garcia
File

DRAINAGE INFORMATION SHEET

PROJECT TITLE: Madrid State Farm ZONE ATLAS/DRNG, FILE#: D-13 / D10
DRB #: _____ EPC #: _____ WORK ORDER #: _____
LEGAL DESCRIPTION: Lot 6, Bosque del Pueblo
CITY ADDRESS: Coors Caminito & Eagle Ranch

ENGINEERING FIRM: Mark Goodwin & Associates, PA CONTACT: Mark Goodwin, PE
ADDRESS: PO Box 90606 PHONE: 345-2010
OWNER: Ted Madrid CONTACT: Ted Madrid
ADDRESS: 10011 Coors NW PHONE: 898-8711
ARCHITECT: David Tinker CONTACT: David Tinker
ADDRESS: 820 Guadalupe Circle NW PHONE: 898-1620
SURVEYOR: N/A CONTACT: _____
ADDRESS: _____ PHONE: _____
CONTRACTOR: N/A CONTACT: _____
ADDRESS: _____ PHONE: _____

TYPE OF SUBMITTAL:

CHECK TYPE OF APPROVAL SOUGHT:

____ DRAINAGE REPORT
____ DRAINAGE PLAN
☒ CONCEPTUAL GRADING & DRAINAGE PLAN
____ GRADING PLAN
____ EROSION CONTROL PLAN
____ ENGINEER'S CERTIFICATION
____ OTHER

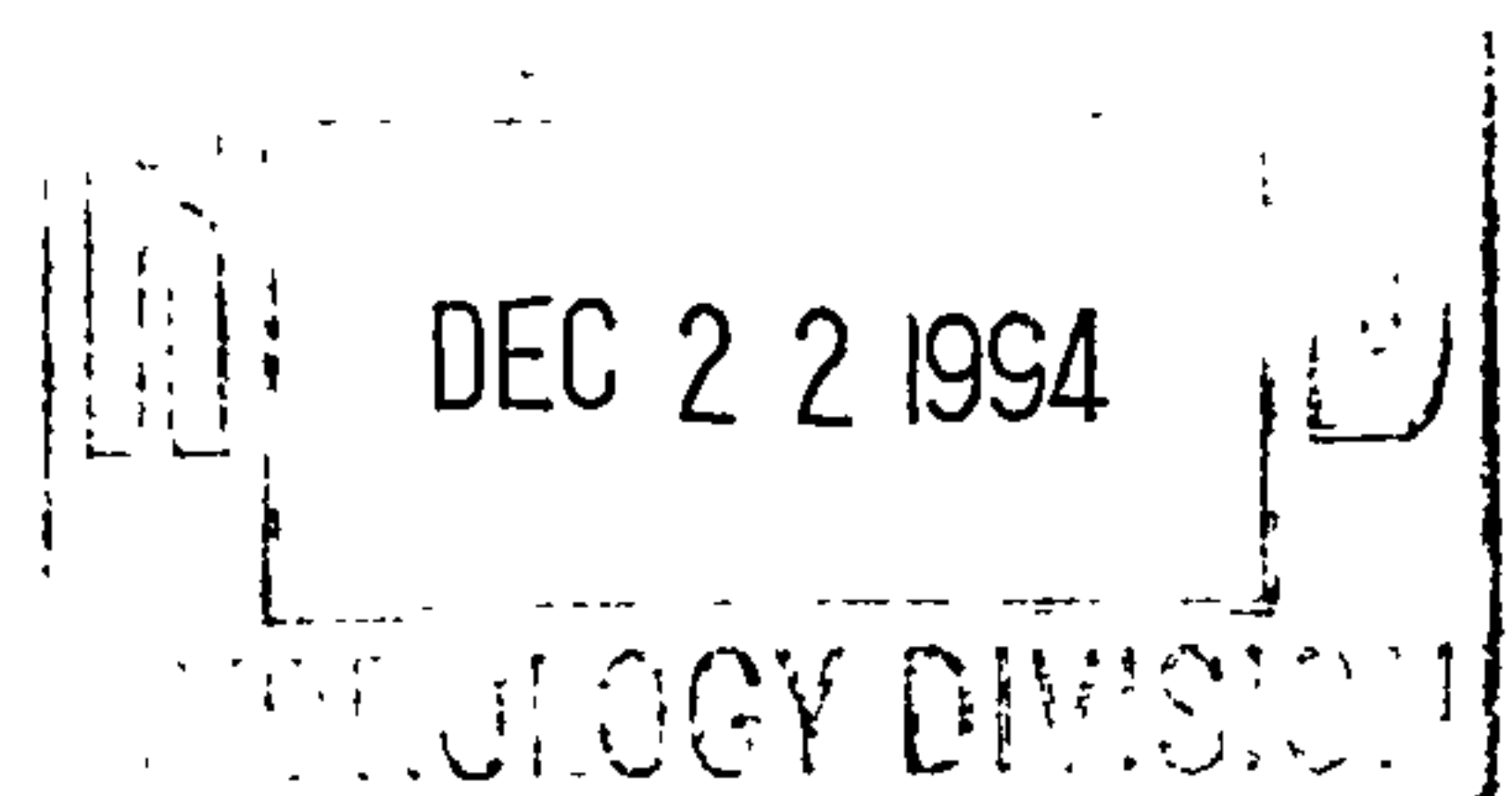
____ SKETCH PLAT APPROVAL
____ PRELIMINARY PLAT APPROVAL
____ S. DEV. PLAN FOR SUB'D APPROVAL
☒ S. DEV. PLAN FOR BLDG PERMIT APPROVAL
____ SECTOR PLAN APPROVAL
____ FINAL PLAT APPROVAL
____ FOUNDATION PERMIT APPROVAL
____ BUILDING PERMIT APPROVAL
____ CERTIFICATION OF OCCUPANCY APPROVAL
____ GRADING PERMIT APPROVAL
____ PAVING PERMIT APPROVAL
____ S.A.D. DRAINAGE REPORT
____ DRAINAGE REQUIREMENTS
____ OTHER _____ (Specify)

PRE-DESIGN MEETING:

____ YES
____ NO
____ COPY PROVIDED

DATE SUBMITTED: 12/22/94

BY: Mark Goodwin
Mark Goodwin, PE



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The outlet for the pond would be a sumped drop inlet. The inlet is large enough to function as a weir rather than an orifice. The Q100/2 flow results in a .36' depth flowing over the weir. The Q100 flow would result in a 0.57' depth flowing over the weir; elevations on the plan indicate adequate freeboard.

Drainage area B sheet flows across Lots C, D & E and is collected at the northeast corner of Lot D. At this point the flow enters a desilting pond before dumping into the Corrales Main Canal. The desilting requirement are the same as above.

The cross section for this pond is detailed on appendix B. The pond hydraulics were calculated with the following independent variables:

$n = .03$

cross section as shown on appendix B

pond bottom slope = 0.025%

$Q = 4.47 \text{ cfs}$

$Q_{100} = 8.94 \text{ cfs}$

The resulting flow data is as follows:

normal depth = 0.55'

horz velocity = 0.49 ft/sec

With a pond length of 135' the retention time is 275.5 sec.

The sediment storage volume = .012 acft

Routing the hydrograph through the site and detention pond the resulting Q100 = 6.08 cfs with the allowable from the NCDMP being 6.9 cfs.

Drainage area C sheet flows across Lots F and is collected at the northeast corner of Lot F. At this point the flow enters a desilting pond before dumping into the Corrales Main Canal. The desilting requirement are the same as above.

The cross section for this pond is detailed on appendix C. The pond hydraulics were calculated with the following independent variables:

$n = .03$

cross section as shown on appendix C

pond bottom slope = 0.025%

$Q = 2.20 \text{ cfs}$

$Q_{100} = 4.40 \text{ cfs}$

The resulting flow data is as follows:

normal depth = 0.45'

horz velocity = 0.43 ft/sec

With a pond length of 115' the retention time is 267.4 sec.

The sediment storage volume = .006 acft

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92.58
92.03 T_{weir}

Routing the hydrograph through the site and detention pond the resulting Q100 = 2.98 cfs with the allowable from the NCDMP being 2.98 cfs.

The combined pond configuration (6.67cfs) requires outlet control to maintain the maximum velocity for desilting. A rectangular weir having a 5.1' width with the .55' head was chosen for this purpose. The Q100 flow (9.06cfs) was checked for a worse case scenario where the weir notch was blocked and the flow breached the sides of the control weir. This resulted in a 0.32' depth flowing over the control weir; elevations on the plan indicate adequate freeboard. $Q = 3.0 (5.1') (.55')^{1.5} = 6.24 \text{ cfs}$

Drainage area D includes Eagle Ranch Road, the private street and Lots G, H, & I. Site inspection indicates that the area north of Eagle Ranch Rd. primarily drains to the north, a negligible area does pond and ultimately drain to the south via an existing CMP culvert in the MRGCD R.O.W. Lots G, H, & I sheet flow to the northeast corner of each lot. At this point the flow must be desilted before dumping into the private street.

The drainage area for lot G is 0.918 ac. using the hydrologic parameters from above the resulting Q100 is 4.38 cfs. The desilting requirement are the same as above. The cross section for this pond is detailed on appendix E. The pond hydraulics were calculated with the following independent variables:

n = .03

cross section as shown on appendix E

pond bottom slope = 0.025%

Q = 2.19 cfs

The resulting flow data is as follows:

normal depth = 0.45'

horz velocity = 0.43 ft/sec

With a pond length of 97' the retention time is 225.6 sec.

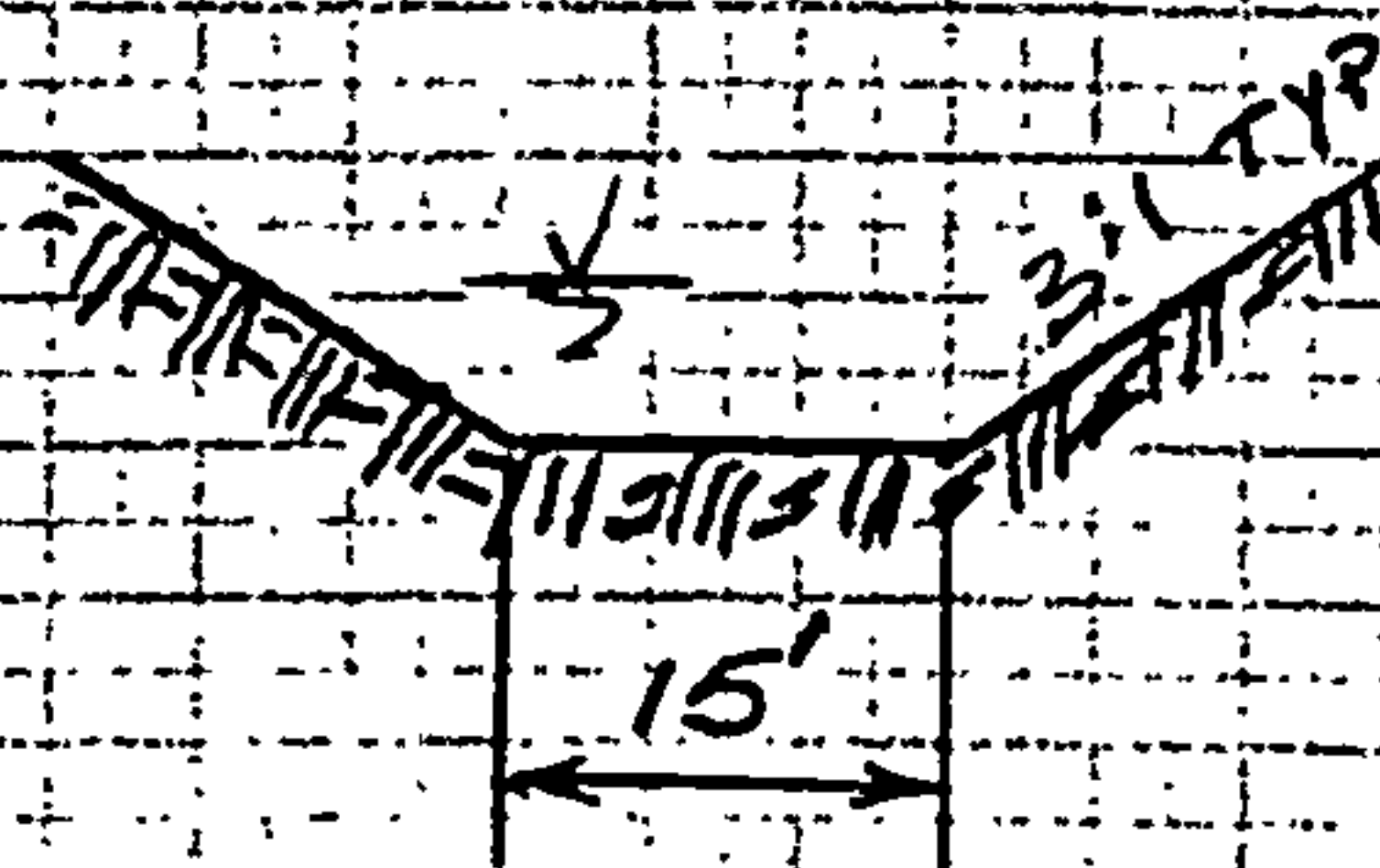
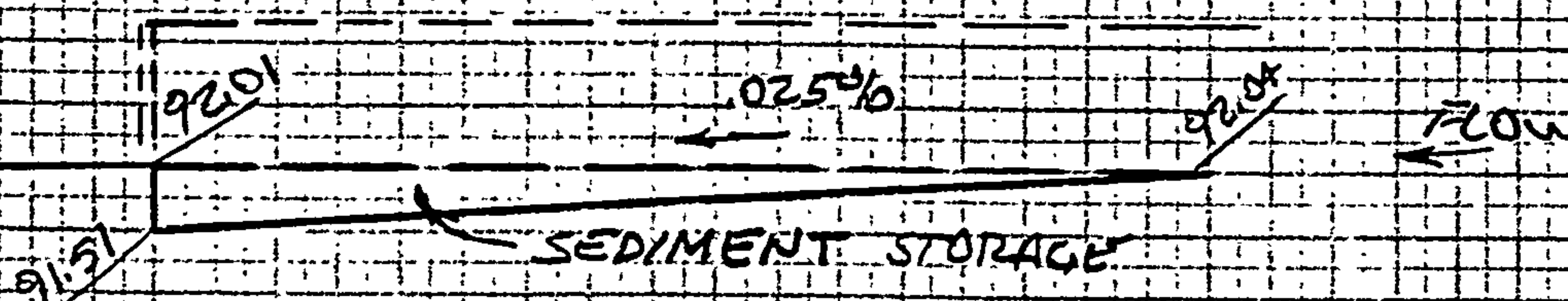
The sediment storage volume = .006 acft

This pond configuration requires outlet control to maintain the maximum velocity for desilting. A sidewalk culvert (functioning as a rectangular weir) having a 2.2' width with the .45' head was chosen for this purpose.

The drainage area for lot H is 0.911 ac. using the hydrologic parameters from above the resulting Q100 is 4.34 cfs. The desilting requirement are the same as above. The cross section for this pond is detailed on appendix E. The pond hydraulics were calculated with the following independent variables:

- PROJECT BOSQUE DEL PUEBLO
JOB NUMBER 0640656 SHEET OF
CALCULATED BY JJB DATE
CHECKED BY DATE

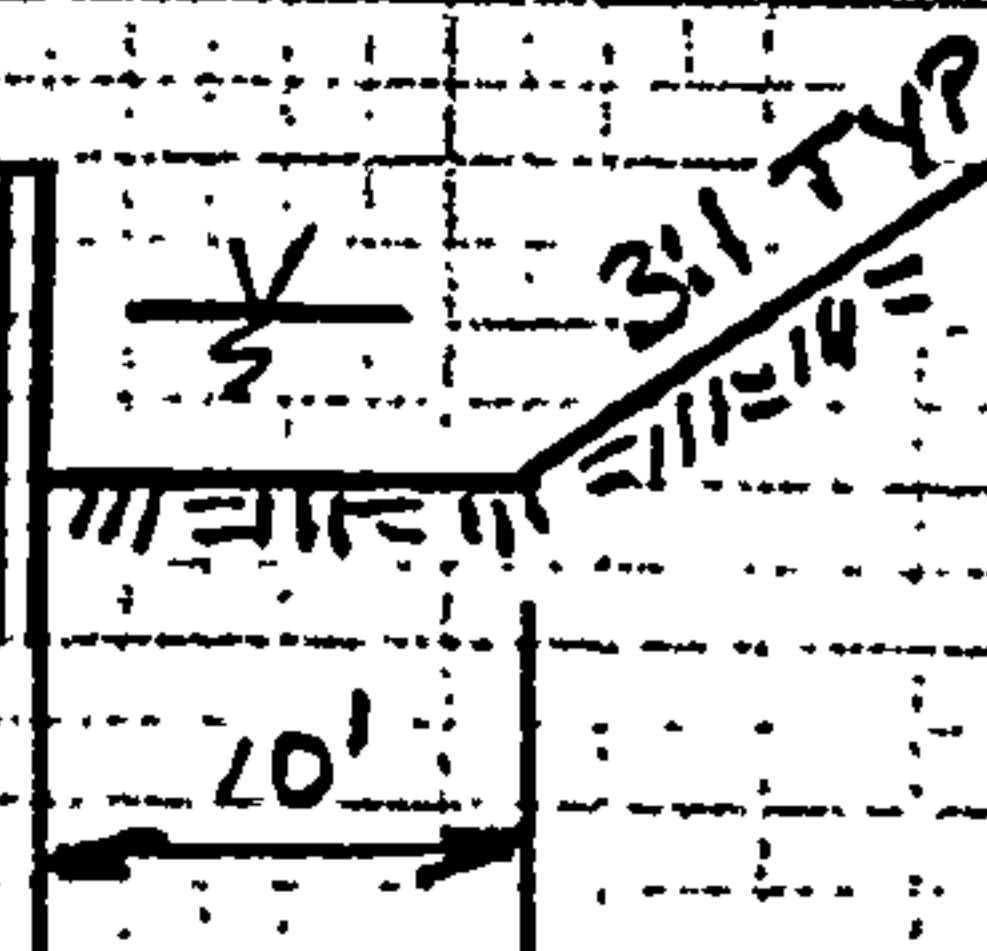
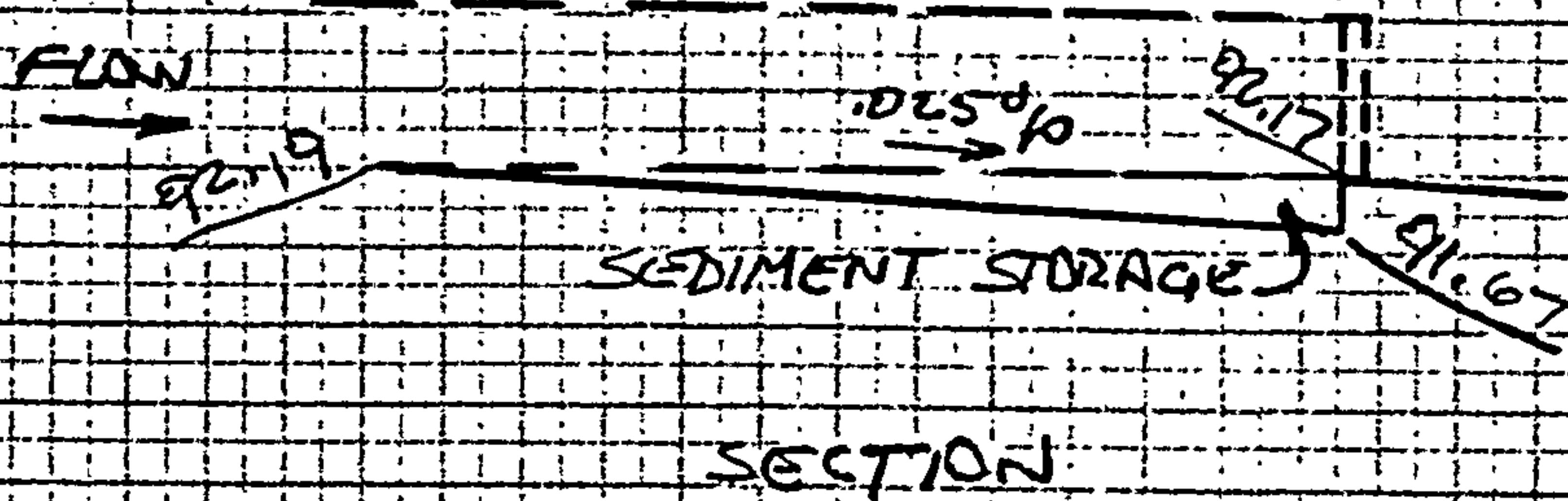
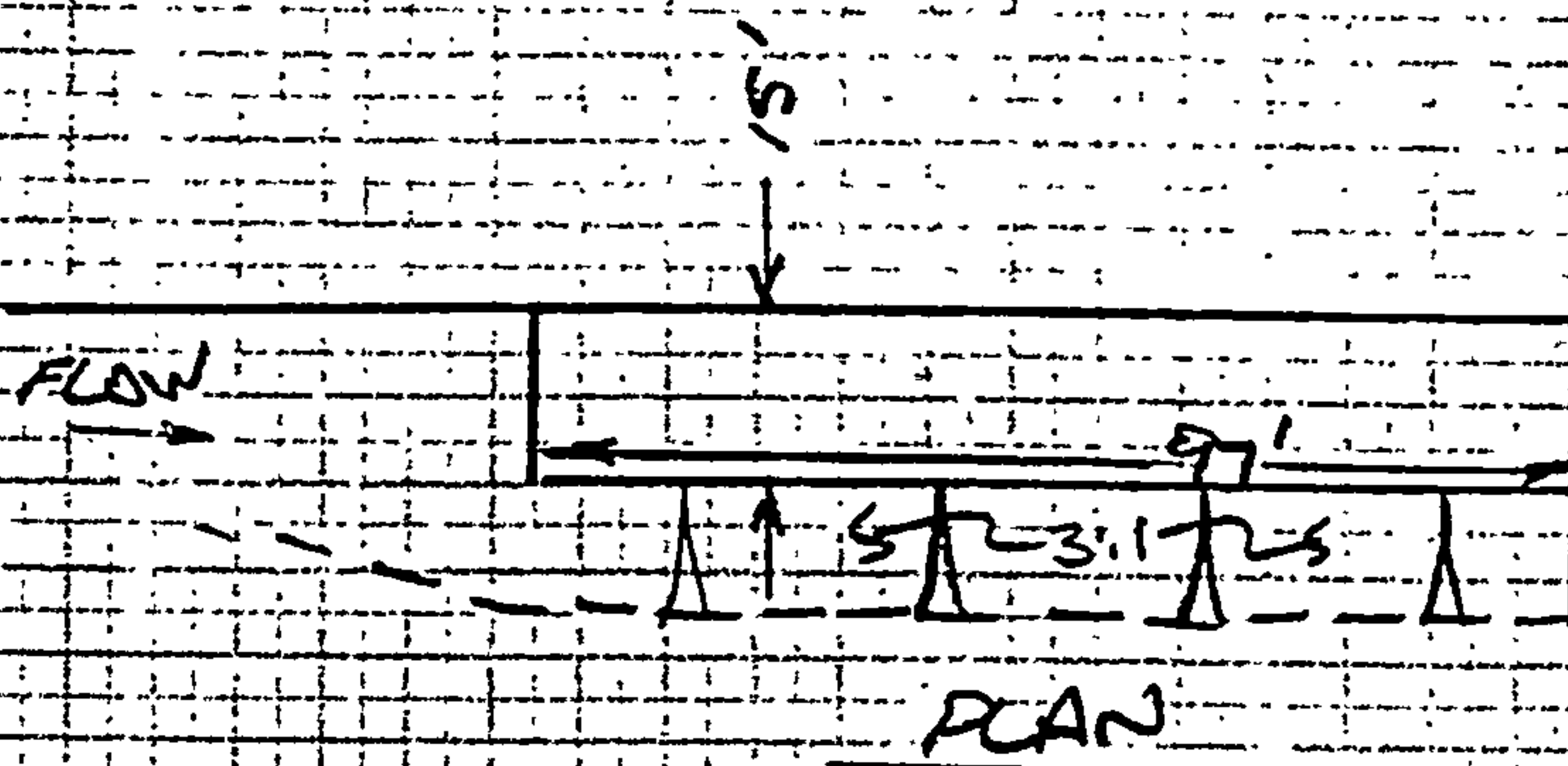
SECTION



- ☐ DENVER, COLORADO
- ☐ COLORADO SPRINGS, COLORADO
- ☐ ALBUQUERQUE, NEW MEXICO
- ☐ KEMMERER, WYOMING

PROJECT BOSQUE DEL PUEBLO
 JOB NUMBER 0690650 SHEET OF
 CALCULATED BY JB DATE
 CHECKED BY DATE

APPENDIX "C"





CITY OF
Albuquerque

P.O. Box 1293 Albuquerque, NM 87103

May 17, 1996

Martin J. Chávez, Mayor

Roger Martinez, Jr
Mark Goodwin & Assoc
P.O. Box 90606
Albuquerque, NM 87199

RE: GRADING & DRAINAGE PLAN FOR MADRID STATE FARM (D-13/D1D)
RECEIVED APRIL 25, 1996 FOR BUILDING PERMIT
ENGINEER'S STAMP DATED 4/22/96

Dear Mr. Martinez:

Based on the information included in the submittal referenced above, City Hydrology accepts the Plan for Building Permit. Include a copy of the Grading & Drainage Plan, dated 4/22/96, in the set of construction documents that will be submitted to Code Administration for the Building Permit.

Execute & process an Agreement & Covenant (form attached) for the desilting pond in the 10' public drainage easement granted to the City by Plat C39-127.

Engineer's Certification of grading & drainage per DPM checklist must be accepted by City Hydrology before any Certificate of Occupancy will be released. Include a copy of the recorded Agreement & Covenant with the Certification.

If you have any questions about this project, You may contact me at 768-2727.

Sincerely,

John P. Curtin, P.E.
Civil Engineer, Hydrology

c: Andrew Garcia
Glenn Jurgensen, Storm Maintenance
Kurt Browning, AMAFCA

Good for You. Albuquerque!



DRAINAGE INFORMATION SHEET

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PROJECT TITLE: Madrid State Farm ZONE ATLAS/DRNG, FILE#: D-13 / 010
 DRB #: _____ EPC #: _____ WORK ORDER #: _____
 LEGAL DESCRIPTION: Lot 6
 CITY ADDRESS: _____

ENGINEERING FIRM: Mark Goodwin & Associates PA CONTACT: Roger Martinez Jr.
 ADDRESS: PO Box 90606 PHONE: 345-2010
 OWNER: Ted Madrid CONTACT: Ted Madrid
 ADDRESS: 1001 Coors NW PHONE: 898-8711
 ARCHITECT: David Tinker CONTACT: David Tinker
 ADDRESS: 820 Guadalupe Circle NW PHONE: 898-1620
 SURVEYOR: N/A CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CONTRACTOR: N/A CONTACT: _____
 ADDRESS: _____ PHONE: _____

TYPE OF SUBMITTAL:

CHECK TYPE OF APPROVAL SOUGHT:

____ DRAINAGE REPORT
X DRAINAGE PLAN
 ____ CONCEPTUAL GRADING & DRAINAGE PLAN
X GRADING PLAN
 ____ EROSION CONTROL PLAN
 ____ ENGINEER'S CERTIFICATION
 ____ OTHER

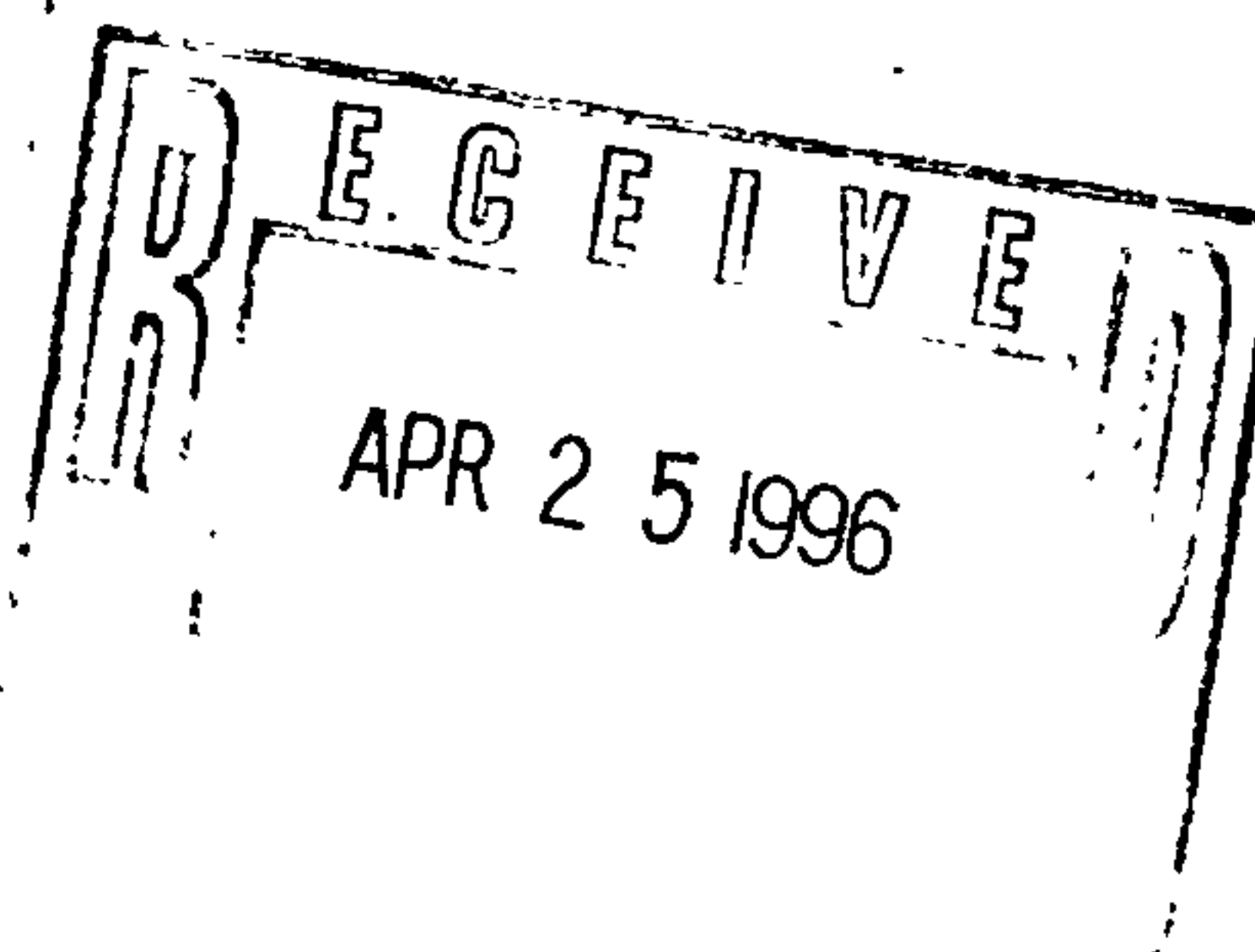
____ SKETCH PLAT APPROVAL
 ____ PRELIMINARY PLAT APPROVAL
 ____ S. DEV. PLAN FOR SUB'D APPROVAL
 ____ S. DEV. PLAN FOR BLDG PERMIT APPROVAL
 ____ SECTOR PLAN APPROVAL
 ____ FINAL PLAT APPROVAL
 ____ FOUNDATION PERMIT APPROVAL
X BUILDING PERMIT APPROVAL
 ____ CERTIFICATION OF OCCUPANCY APPROVAL
 ____ GRADING PERMIT APPROVAL
 ____ PAVING PERMIT APPROVAL
 ____ S.A.D. DRAINAGE REPORT
 ____ DRAINAGE REQUIREMENTS
 ____ OTHER _____ (Specify)

PRE-DESIGN MEETING:

____ YES
X NO
 ____ COPY PROVIDED

DATE SUBMITTED: 5 APRIL 96

BY: Roger Martinez Jr.
 Roger Martinez Jr.



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DRAINAGE INFORMATION SHEET

PROJECT TITLE: Madrid State Farm ZONE ATLAS/DRNG, FILE#: D-13/10/10
DRB #: _____ EPC #: _____ WORK ORDER #: _____
LEGAL DESCRIPTION: Lot 6
CITY ADDRESS: 6644 Caminito Coors N.W.

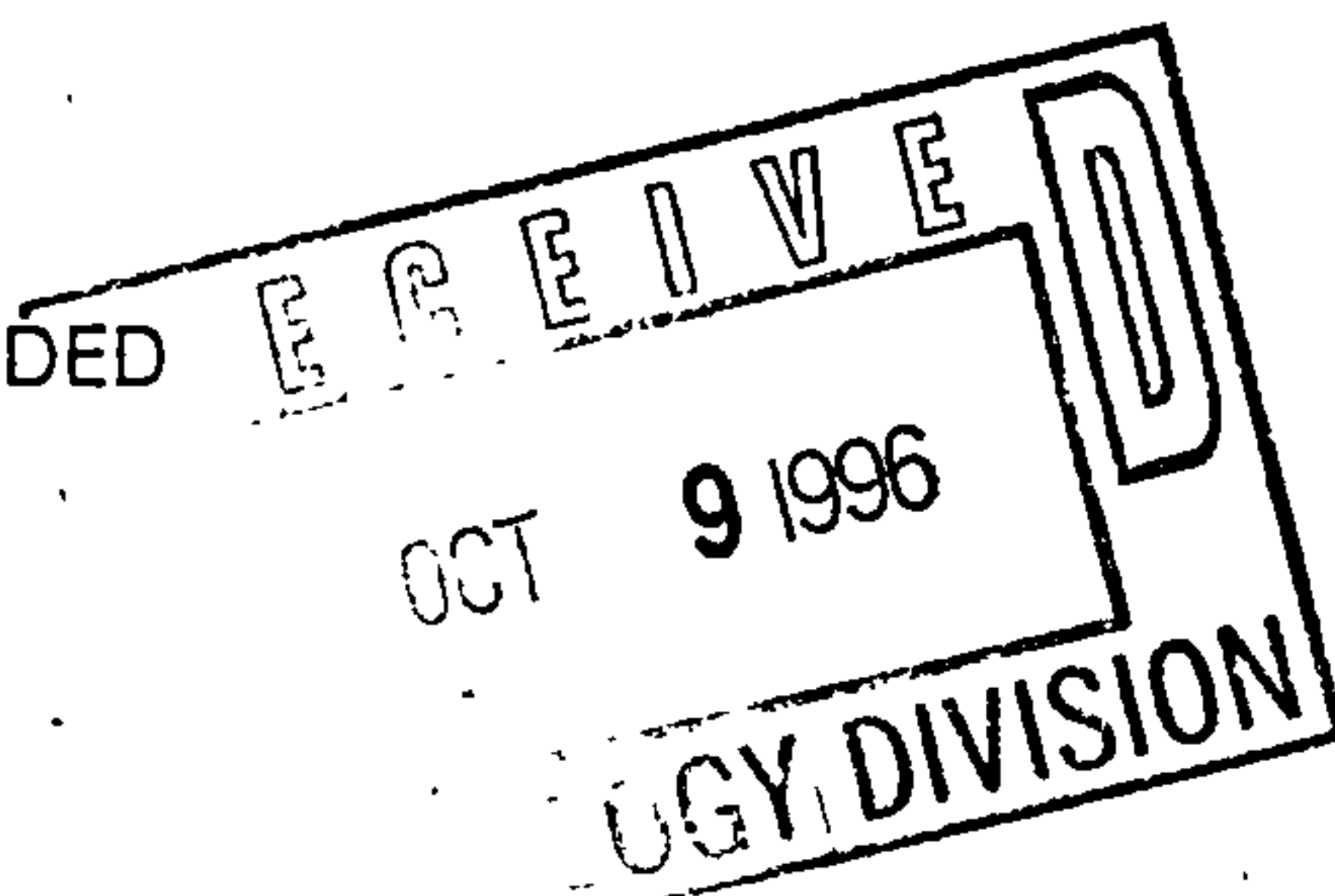
ENGINEERING FIRM: Mark Goodwin & Associates PA CONTACT: Roger Martinez Jr.
ADDRESS: PO Box 90606 PHONE: 345-2010
OWNER: Ted Madrid CONTACT: Ted Madrid
ADDRESS: 1001 Coors NW PHONE: 898-8711
ARCHITECT: David Tinker CONTACT: David Tinker
ADDRESS: 820 Guadalupe Circle NW PHONE: 898-1620
SURVEYOR: N/A CONTACT: _____
ADDRESS: _____ PHONE: _____
CONTRACTOR: N/A CONTACT: _____
ADDRESS: _____ PHONE: _____

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT
☐ DRAINAGE PLAN
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☒ ENGINEER'S CERTIFICATION
☐ OTHER

PRE-DESIGN MEETING:

☐ YES
☒ NO
☐ COPY PROVIDED



DATE SUBMITTED: 9 OCT 96

BY: Roger Martinez Jr.
52
Roger Martinez Jr.

CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT APPROVAL
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. PLAN FOR BLDG PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATION OF OCCUPANCY APPROVAL
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ S.A.D. DRAINAGE REPORT
☐ DRAINAGE REQUIREMENTS
☐ OTHER _____ (Specify)

30 day Temp CO. on 10-10-96 dy.