



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

January 12, 1997

R.G. Lee Jr.
Lee Engineering
2316 Calle De Rafael NE
Albuquerque, New Mexico 87122

RE: DRAINAGE PLAN FOR A.O.G. DISTRICT OFFICE (D13-D1G) ENGINEER'S STAMP
DATED 1/8/98

Dear Mr. Lee:

Based on the information provided on your January 8, 1998 submittal, the above referenced site is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Also, prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

If I can be of further assistance, please feel free to contact me at 924-3986.

C: Andrew Garcia

File

Sincerely

Bernie J. Montoya CE
Associate Engineer

DRAINAGE INFORMATION SHEET

PROJECT TITLE: District Office ZONE ATLAS/DRWNG. FILE #: D13-D/1 G

LEGAL DESCRIPTION: Lot 3-A, Bosque Del Pueblo

CITY ADDRESS: 6640 Caminto Coors NW

ENGINEER FIRM: Lee Engineering CONTACT: R.G. Lee, Jr.

ADDRESS: 2316 Calle De Rafael NE PHONE: (505) 299-2471

ARCHITECT: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

OWNER: New Mexico Assembly of God Church CONTACT: _____

ADDRESS: _____ PHONE: _____

SURVEYOR: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

CONTRACTOR: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

PRE-DESIGN MEETING:

YES

☒

NO

COPY OF CONFERENCE RECAP

SHEET PROVIDED

DRB NO. _____

EPC NO. _____

PROJ. NO. _____

RECEIVED
JAN 08 1998
HYDROLOGY SECTION

TYPE OF SUBMITTAL:

DRAINAGE REPORT

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DRAINAGE PLAN

CONCEPTUAL GRADING & DRAINAGE PLAN

GRADING PLAN

EROSION CONTROL PLAN

ENGINEER' CERTIFICATION

CHECK TYPE OF APPROVAL SOUGHT:

SKETCH PLAT APPROVAL

PRELIMINARY PLAT APPROVAL

SITE DEVELOPMENT PLAN APPROVAL

FINAL PLAT APPROVAL

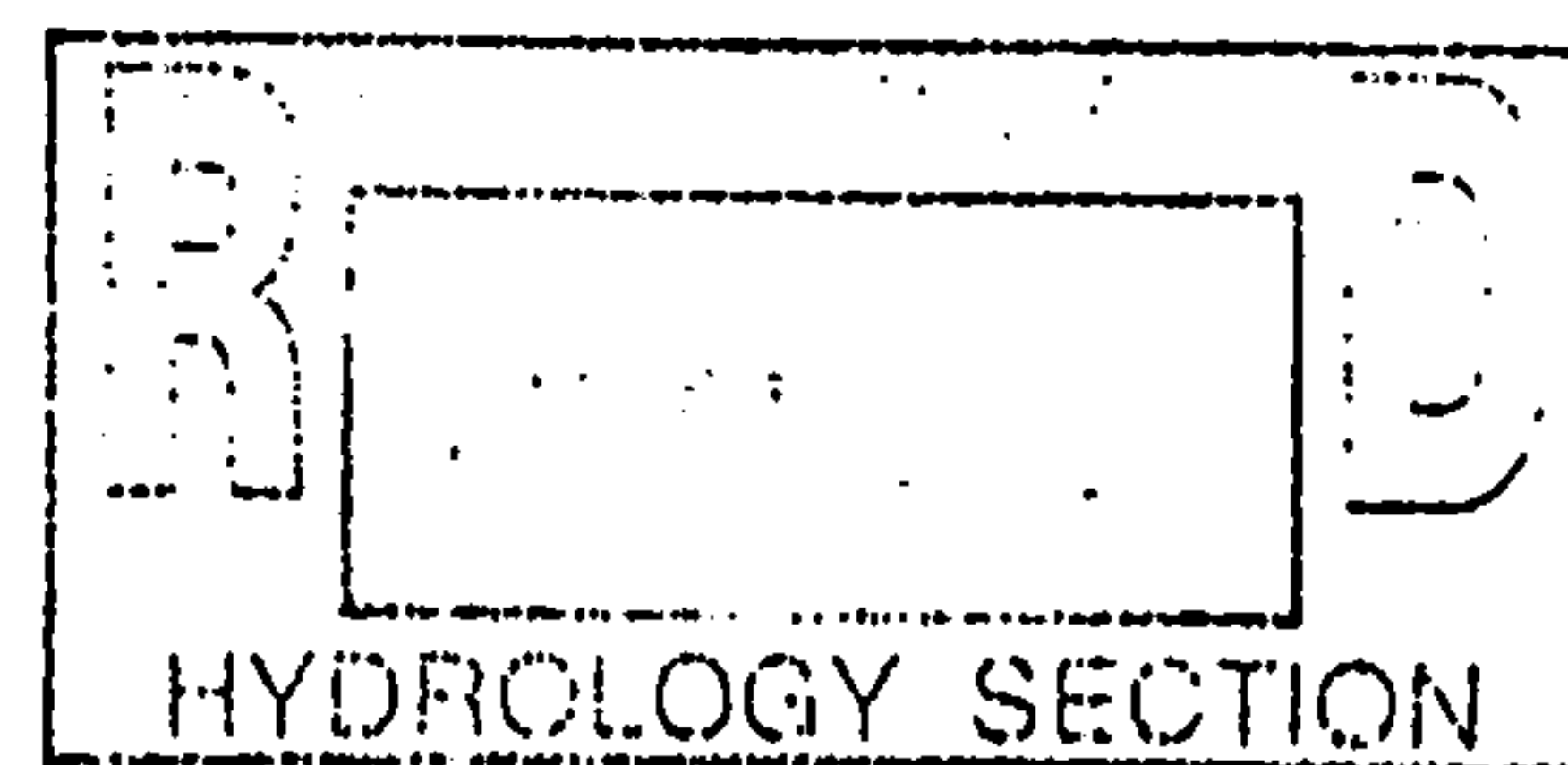
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BUILDING PERMIT APPROVAL

ROUGH GRADING PERMIT APPROVAL

GRADING/PAVING PERMIT APPROVAL

OTHER _____ (SPECIFY)

DATE SUBMITTED: 1/8/98BY: Herman Hood



Martin J. Chávez, Mayor

July 31, 1997

R.G. Lee
Lee Engineering
2316 Calle De Rafael NE
Albuquerque, New Mexico 87122

RE: CONCEPTUAL DRAINAGE PLAN FOR A.O.G. DISTRICT OFFICE (D13-D1G)
ENGINEER'S STAMP DATED 7/23/97

Dear Mr. Lee:

Based on the information provided on your July 24, 1997 submittal, the above referenced site is approved for Site Development Plan approval.

Please be advised that prior to Building Permit release, the following must be addressed:

1. Sediment pond design and calculations.
2. Signature block for AMAFCA's approval.
3. Agreement and Covenant must have started the process.
4. Roof downspouts on the east portion of the building should be routed under the sidewalk.

If I can be of further assistance, please feel free to contact me 924-3986.

C: Andrew Garcia
File
Mike Dickenson

Sincerely

Bernie J. Montoya
Bernie J. Montoya CE
Associate Engineer

Good for You, Albuquerque!

P.O. Box 1293, Albuquerque, New Mexico 87103



DRAINAGE INFORMATION SHEET

PROJECT TITLE: District Office ZONE ATLAS/DRWNG. FILE #: D13-D/1 G

LEGAL DESCRIPTION: Lot 3-A, Bosque Del Pueblo

CITY ADDRESS: 6640 Caminto Coors NW

ENGINEER FIRM: Lee Engineering CONTACT: R.G. Lee, Jr.

ADDRESS: 2316 Calle De Rafael NE PHONE: (505) 299-2471

ARCHITECT: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

OWNER: New Mexico Assembly of God Church CONTACT: _____

ADDRESS: _____ PHONE: _____

SURVEYOR: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

CONTRACTOR: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

PRE-DESIGN MEETING:

 YES

 X NO

 COPY OF CONFERENCE RECAP

 SHEET PROVIDED

DRB NO. _____

EPC NO. _____

PROJ.NO _____

TYPE OF SUBMITTAL:

 DRAINAGE REPORT

 DRAINAGE PLAN

 X CONCEPTUAL GRADING & DRAINAGE PLAN

 GRADING PLAN

 EROSION CONTROL PLAN

 ENGINEER' CERTIFICATION

CHECK TYPE OF APPROVAL SOUGHT:

 SKETCH PLAT APPROVAL

 PRELIMINARY PLAT APPROVAL

 X SITE DEVELOPMENT PLAN APPROVAL

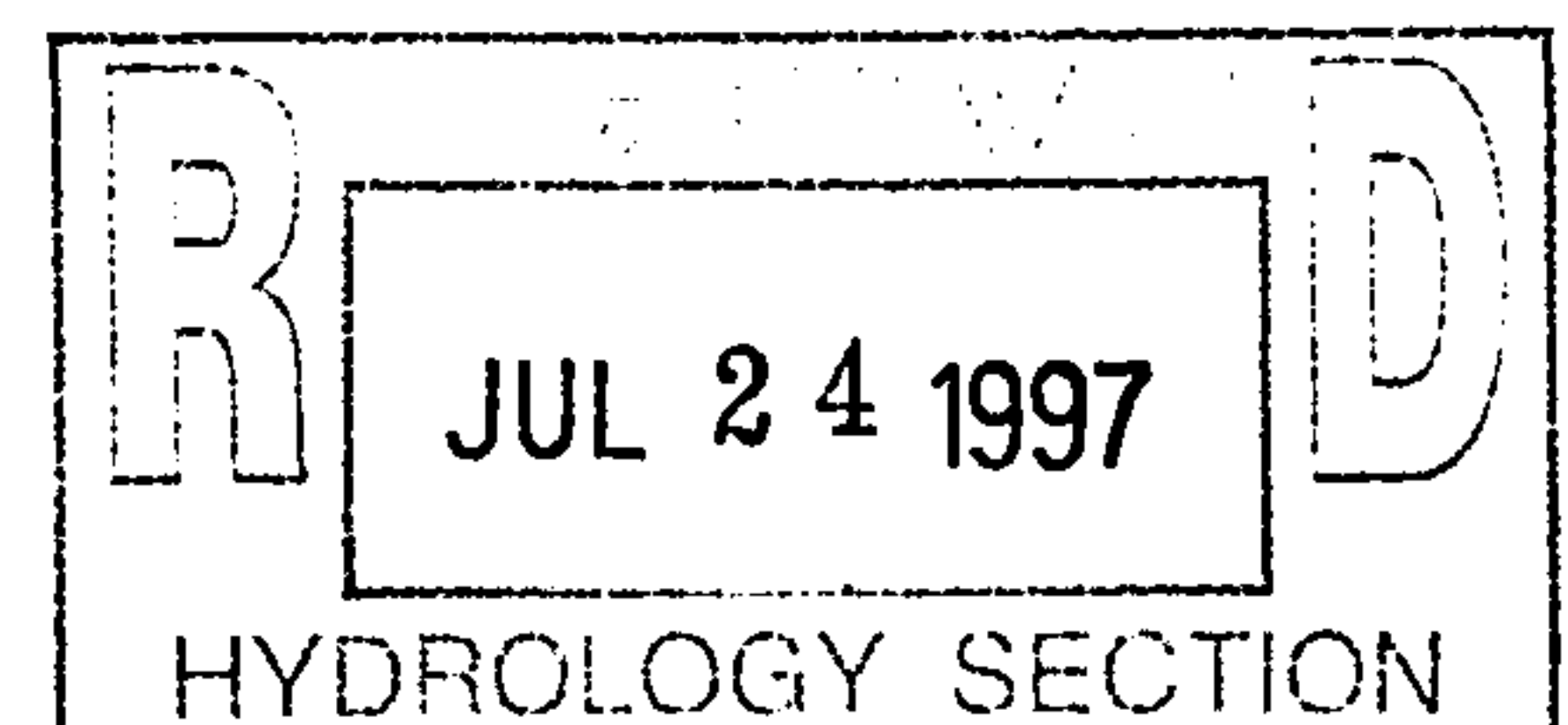
 FINAL PLAT APPROVAL

 BUILDING PERMIT APPROVAL

 ROUGH GRADING PERMIT APPROVAL

 GRADING/PAVING PERMIT APPROVAL

 OTHER _____ (SPECIFY)

DATE SUBMITTED: July 23, 1997BY: Herman Hood

$$Q_{100}(\text{lot 3A}) = 1.8 \text{ cfs (D13-D1C)}$$

$$\begin{aligned} \text{Vol}_{\text{req.}} &= 0.0024 \text{ ac-ft/ac} = (0.0024)(2.50)(43,560) \\ &= 261.36 \text{ cf.} \end{aligned}$$

$$Q_{100}(\text{lot 4A}) = 5.0 \text{ cfs (D13-D7)}$$

$$\begin{aligned} V &= 0.47 \text{ ft/sec (see channel Hydraulics calculations)} \\ d &= 0.56 \text{ ft.} \end{aligned}$$

$$Q_{100}(\text{lot 5A}) = 2.33 \text{ cfs}$$

$$T_{\text{retain}} = 0.56 \text{ ft.} / 0.002 \text{ ft/sec} = 280 \text{ sec.}$$

$$L = (280 \text{ sec.})(0.46 \text{ ft/sec.}) = 132 \text{ ft}$$

$$Q_{100}(\text{Total}) = 1.8 + 5.0 + 2.33 = 9.13 \text{ cfs}$$

$$Q = Q_{100}/2 = 9.13/2 = 4.57 \text{ cfs}$$

$$\begin{aligned} &\text{As-built pond volume from Goodwill site (attached)} \\ &322.6 \text{ cf} \end{aligned}$$

$$\text{Area (lot 3A)} = .55 \text{ ac}$$

$$\begin{aligned} &\text{Required from accumulation from upstream basins} \\ &261.36 \text{ cf} \end{aligned}$$

$$\text{Area (lot 4A)} = 1.33 \text{ ac}$$

$$\text{Area (lot 5A)} = .62 \text{ ac}$$

$$\text{Therefore } 322.6 \text{ cf} > 261.36 \text{ cf } \text{OKAY}$$

$$\text{Area(Total)} = 2.50 \text{ ac}$$

DNB No. 94-570
NOTES

1. Bearings are New Mexico State Plane Grid Bearings (Central Zone).
2. Distances are ground distances.
3. Corralito Coors, N.W. (Private) is intended to provide public access to the lots created by this plot and to provide public bike and pedestrian use. The use, operation and maintenance of this easement will be administered jointly by the owners of Lots 1-9 via ownership association whose bylaws, conditions, covenants and restrictions are to be filed in the Bernalillo County Clerk's office.
4. Lots 1-9 are subject to the sediment control provisions of the North Coors Drainage Management Plan (DMP) and the design memorandum. The development must be in accordance with the North Coors DMP and the Order 43508 shall be maintained in accordance with the approved drainage report for this development unit each time as development occurs on each lot.

SUBDIVISION DATA

1. Zone Atlas Index No. D-13-2
2. Gross Subdivision Acreage: 3.2178 Acres
3. Total Number of Lots Created: 4 Lots
4. Project Site is within Project Section 19, T11N, R3E, N.M.P.M.

DISCLOSURE STATEMENT

The purpose of this Report is to Report Lots 3, 4, 5, and 6 of BOSQUE DEL PUEBLO into 4 lots.

PUBLIC UTILITY EASEMENTS

are for the common joint use of:

- A. The Public Service Company of New Mexico for the installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical service.
- B. The Gas Company of New Mexico for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
- C. U.S. West for the installation, maintenance, and service of all buried and underground telecommunications lines, equipment, fixtures, structures and related facilities reasonably necessary to provide telecommunications service.
- D. Interstate Natural Gas Association of America for the installation, maintenance, and service of all buried and underground natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.

SCALE: 1" = 100'

Copy of Survey from DNB No. 94-570
All data from Corralito Coors (see map)
to 375,112.18' to 1,520,104.1'
Bearing - 89°17'30" E
Distance = 500.25

557°01'32"E, a distance of 78.98 feet to a point of curvature 38.73 feet along the arc of a curve to the right having a radius point of reverse curvature thence, 42.76 feet along the arc of a curve to the left having a radius northeast corner of said Lot 6, a point on the westerly right-of-way of the Corralito Main Canal, thence running along the westerly boundary of said Lots 6, 5, 4, and 3, and also along said right-of-way 53°23'43"W, a distance of 415.50 feet to a point thence, thence running along the southern boundary line of said Lot 6, a distance of 231.71 feet to the southeast corner of said Lot 6, a distance of 233.55 feet to the southwest corner of a point on the centerline of Private Street Corralito Coors, N.W. running along the westerly boundary line of said Lots 3, 4, 5, on, N36°06'04"E, a distance of 617.04 feet to the point and place of beginning.

Tree contains 3.2178 acres, more or less.

FREE CONVEY

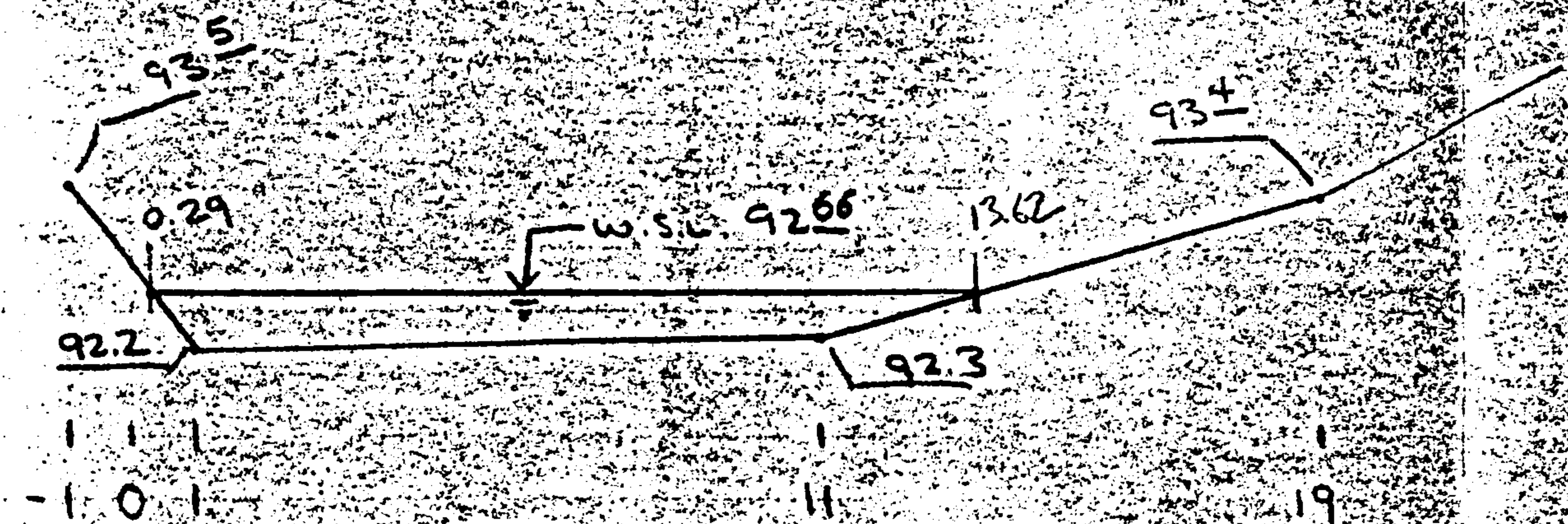
The foregoing report of that co northeast one-quarter (NW1/4) of Section East, New Mexico Principal Meridian, 9 of Bosque Del Pueblo being a Reg office of the County Clerk of Bernalillo in Volume C38, Folio 127 and now here 6A, BOSQUE DEL PUEBLO is with the desires of the undersigned owner(s) and/or representative(s) do he distribution (map) for pole type conduits, designed for underground where shown or indicated, and both construct and maintenance and

State of New Mexico
County of Bernalillo
Notary Public
My Comm. Expires
Notary Seal

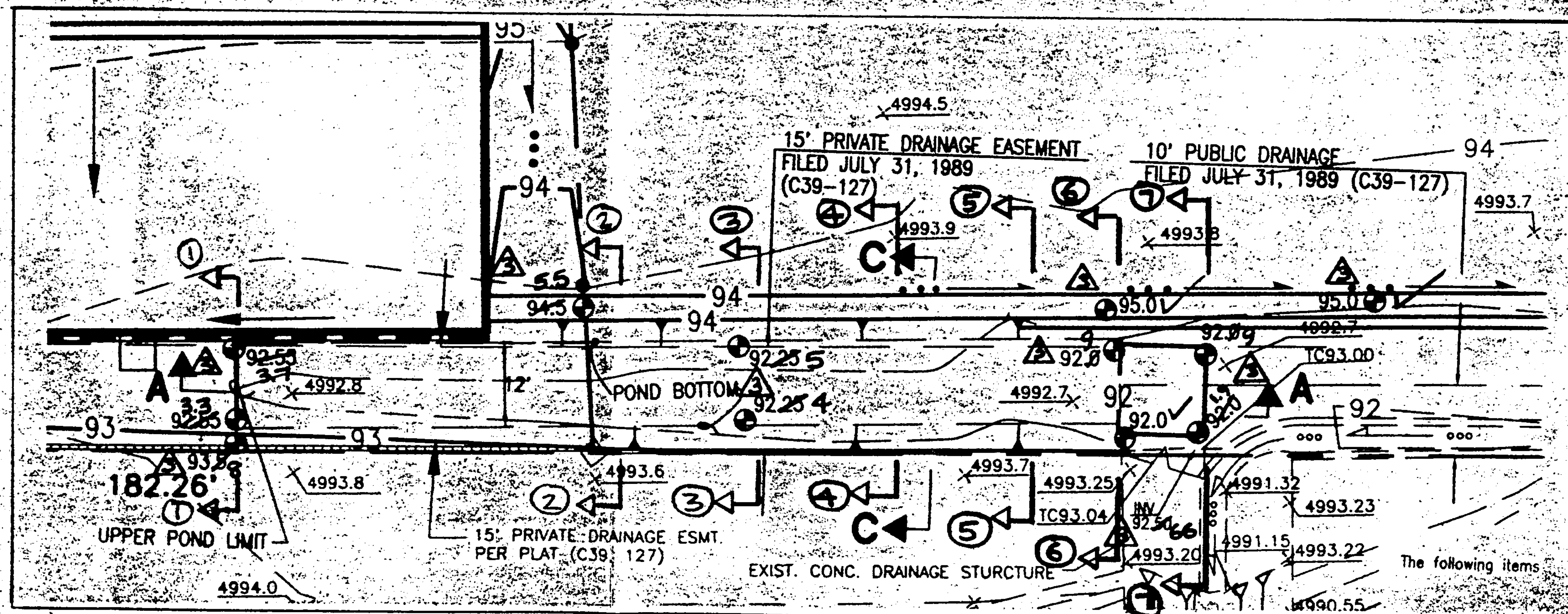
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Notary Seal
Notary Seal
Notary Seal

SECTION (A)-(A)



SECTION 5-5



SECTION CUT PLAN (1"=20')

SECTION 67-67

SECTION 6-7 $A = (0.76)(1/2)(11.4) = 4.33 \text{ sf}$

VOLUME CALCULATIONS

DISTANCE ②-③ = 20 ft. $v = (A_2 + A_3) \left(\frac{1}{2} \right) (20) = 488 \text{ cf}$

DISTANCE ③-④ = 20 ft $V = (A_3 + A_4) \left(\frac{1}{2} (20) \right) = 80.7 \text{ cf}$

DISTANCE (4)-(5) = 20 ft $V = (A_4 + A_5) \left(\frac{1}{2} \right) (20) = 103.5 \text{ cfs}$

DISTANCE ⑤-⑥ = 10 ft. $v = (A_5 + A_6) \cdot \frac{1}{2} \cdot (10) = 41.8 \text{ cfs}$

DISTANCE ⑥-⑦ = 12 ft $V = (A_6 + A_7) \left(\frac{Y}{2} \right) (12) = 47.8 \text{ cfs}$

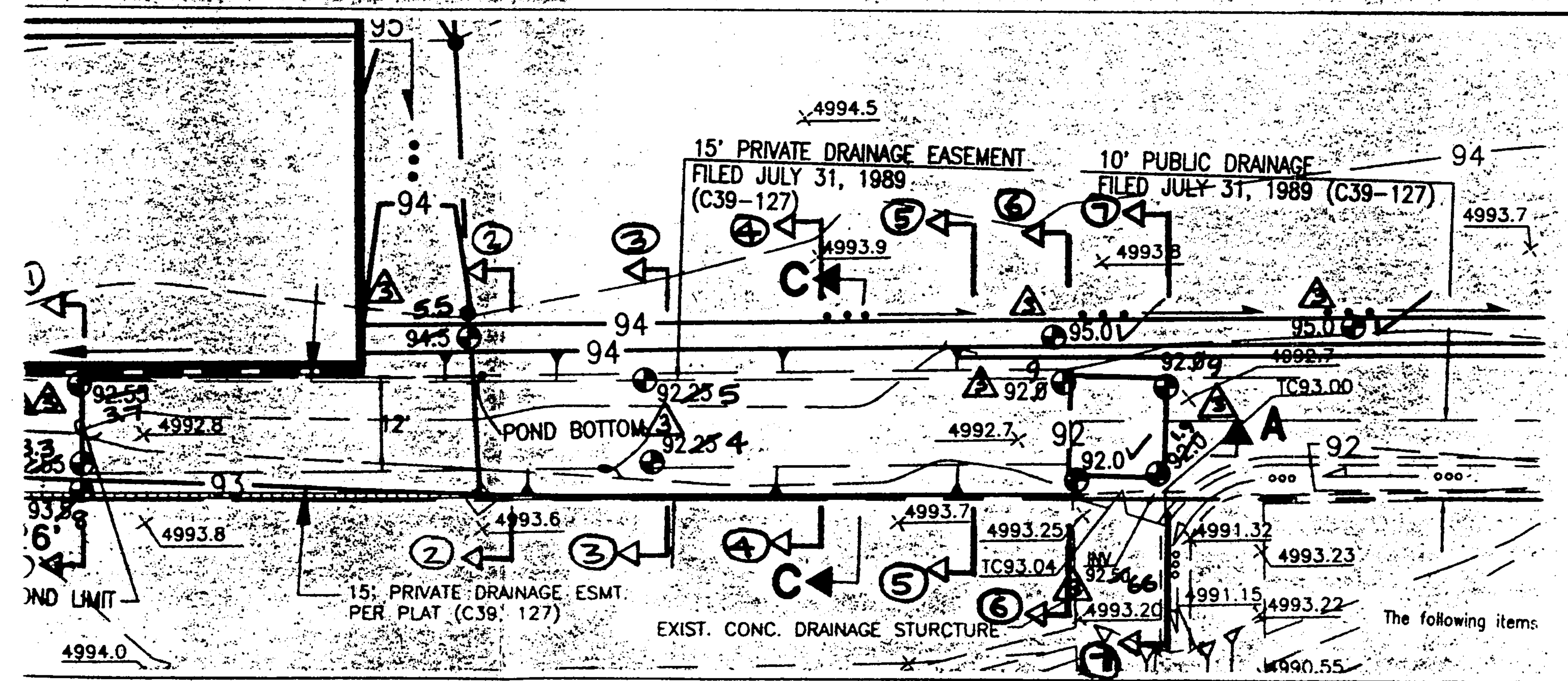
$$\Sigma V_a = 322.6 \text{ cf} > V_{\text{Required}}$$

SECTION ①-⑦ $A = (0.76 \times 1/2 \times 11.4) = 4.33 \text{ cf}$

VOLUME CALCULATIONS

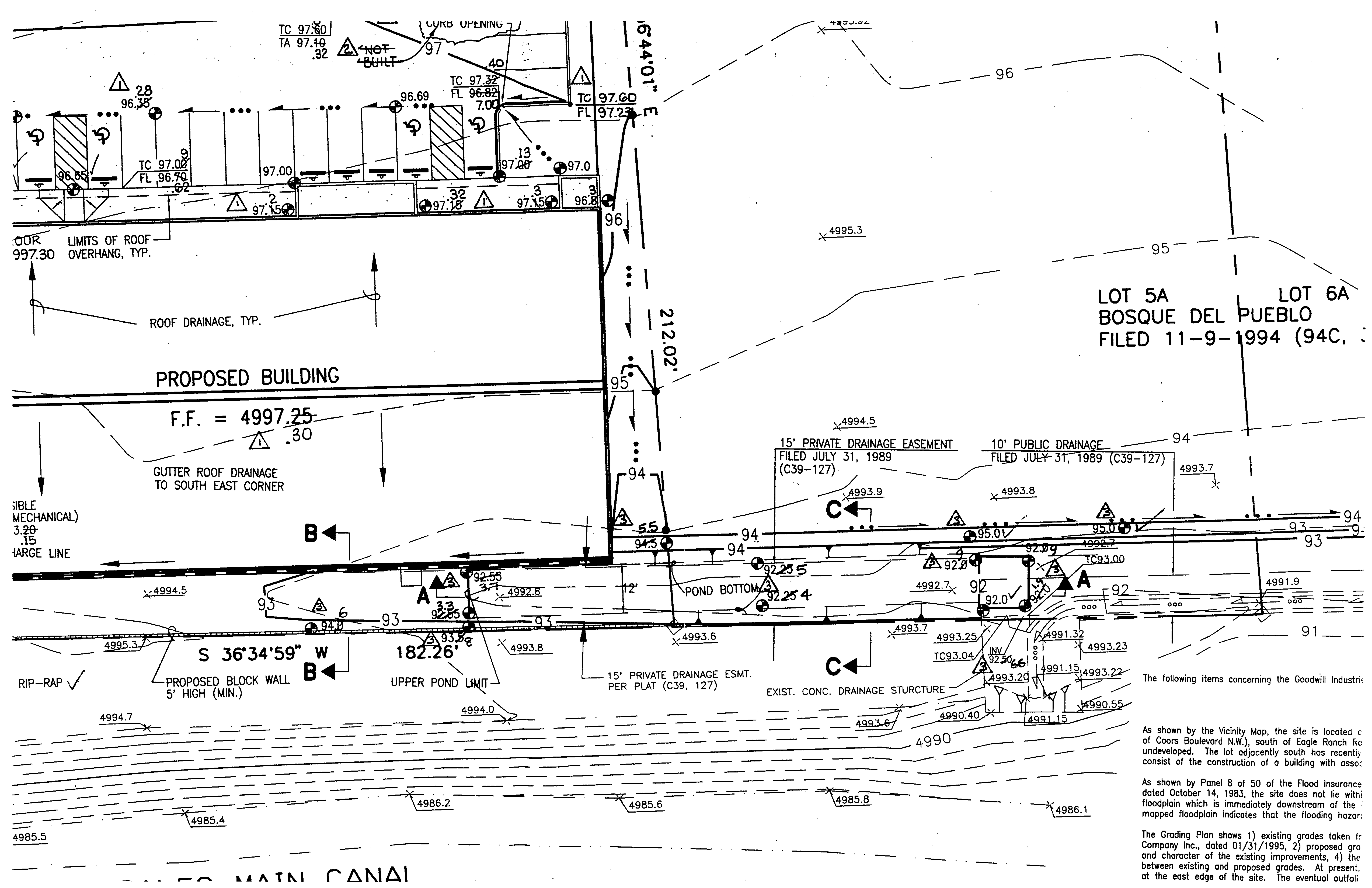
DISTANCE ②-③ = 20 ft $V = (A_2 + A_3) \times 1/2 \times 20 = 48.8 \text{ cf}$
 DISTANCE ③-④ = 20 ft $V = (A_3 + A_4) \times 1/2 \times 20 = 80.7 \text{ cf}$
 DISTANCE ④-⑤ = 20 ft $V = (A_4 + A_5) \times 1/2 \times 20 = 103.5 \text{ cf}$
 DISTANCE ⑤-⑥ = 10 ft $V = (A_5 + A_6) \times 1/2 \times 10 = 41.8 \text{ cf}$
 DISTANCE ⑥-⑦ = 12 ft $V = (A_6 + A_7) \times 1/2 \times 12 = 47.8 \text{ cf}$

$\Sigma Va = 322.6 \text{ cf} > V_{\text{Required}}$



SECTION CUT PLAN (1"=20')

AS-BUILT POND VOLUMES AND DRAINAGE CERTIFICATION
 GOODWILL INDUSTRIES



LOT 5A
BOSQUE DEL PUEBLO
FILED 11-9-1994 (94C, 127)

The following items concerning the Goodwill Industries:

As shown by the Vicinity Map, the site is located south of Coors Boulevard N.W., south of Eagle Ranch Road, undeveloped. The lot adjacently south has recently been developed. The lot consists of the construction of a building with associated parking.

As shown by Panel 8 of 50 of the Flood Insurance Study dated October 14, 1983, the site does not lie within the mapped floodplain which is immediately downstream of the site. The mapped floodplain indicates that the flooding hazard is minimal.

The Grading Plan shows 1) existing grades taken from the site, dated 01/31/1995, 2) proposed grades and character of the existing improvements, 4) the difference between existing and proposed grades. At present, the site is at the east edge of the site. The eventual outfall is to the south.

