

KEYED NOTES

- 3" AC PAVING OVER 4" AGGREGATE BASE COURSE PER DETAIL 2/CII.
- 4", 4000 PSI, AIR-ENTRAINED CONCRETE SIDEWALK.
- 4000 PSI CONCRETE CURB PER DETAIL 1/CII.
- RETAINING WALL - SEE DETAIL 3/CII.
- CONCRETE DRIVE PAD PER C.O.A. STANDARD DRAWING DETAIL #225.
- CONCRETE SIDEWALK PER C.O.A. STANDARD DRAWING DETAIL #230.
- 4" PVC FORCE MAIN THRU WALL.
- DOCK WALL PER DETAIL 4/CII.
- DROP INLET WITH PUMP PER DETAIL 5/CII. T.G. ELEV. = 62.08.
- 6" CONCRETE SLAB REINFORCED W/ #4 @ 16" O.C. EACH WAY OVER SUBGRADE COMPACTED TO 95% OF MAXIMUM DENSITY.
- LOCATION OF F.M. 16" VHP LINE-VERIFIED BY POT HOLING.

DESIGN NARRATIVE

THE SUBJECT PROPERTY IS A NEWLY DEVELOPED SITE LOCATED JUST SOUTH OF PASEO DEL NORTE AND WEST OF THE NORTH DIVERSION CHANNEL. THE SITE SLOPES TOWARD THE NEW STREET WHICH IS DESIGNED TO COLLECT STORM RUNOFF IN CURBS AND GUTTERS, AND DROP INLETS AND THEN A 36" DIA. STORM DRAIN LINE THAT FLOWS WEST TO DOWN STREAM FACILITIES. THE IMPROVED SITE IS DESIGNED TO DIRECT DEVELOPED FLOWS IN THE SAME FASHION. THE ORIGINAL 63'-0" EASEMENT FOR RESTRICTION OF EXCAVATION FOR AMAFCA AT THE EAST END OF THE SITE HAS BEEN REDUCED TO 15'-0" BY AGREEMENT BY LYNN MAZUR OF AMAFCA.

LEGAL DESCRIPTION

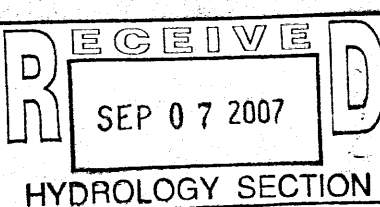
LOT 4, TRACT 4, VISTA DEL NORTE SUBDIVISION, BERNALILLO COUNTY, NEW MEXICO.

BENCHMARK

ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE STATION NO. "NAA-9", HAVING AN ELEVATION OF 5069.21.

HYDROLOGY CALCULATIONS

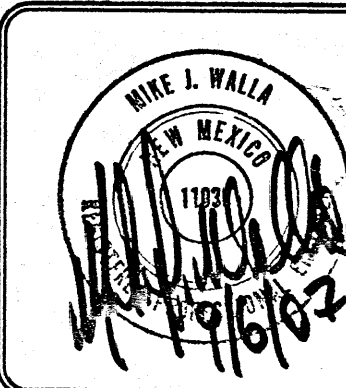
PRECIPITATION ZONE 2									
DESIGN STORM: (IN)				1r	6r	24r	4day	10day	
				2.01	2.35	2.75	3.30	3.95	
ORIGINAL CONDITIONS-ENTIRE SITE									
LAND TRMT	AREA (ACRE)	AREA %	P6 (CF8/AC)	Q (CF8)	V6 (CF)	V24 (CF)	V4DAY (CF)	V10DAY (CF)	
A	0.000	0%	0.53	156	0.00	0	0	0	
B	0.000	0%	0.78	228	0.00	0	0	0	
C	1.190	100%	1.13	3.14	3.74	4.881	4.881	4.881	
D	0.000	0%	2.12	4.70	0.00	0	0	0	
TOTALS	1.190	100%		3.74	4.881	4.881	4.881	4.881	
PROPOSED CONDITIONS-ENTIRE SITE									
LAND TRMT	AREA (ACRE)	AREA %	P6 (CF8/AC)	Q (CF8)	V6 (CF)	V24 (CF)	V4DAY (CF)	V10DAY (CF)	
A	0.000	0%	0.53	156	0.00	0	0	0	
B	0.190	16%	0.78	228	0.43	5.38	5.38	5.38	
C	0.000	0%	1.13	3.14	0.71	0	0	0	
D	1.000	84%	2.12	4.70	4.70	7.696	9.148	11.44	
TOTALS	1.190	100%		5.13	8.234	9.686	11.682	14.042	



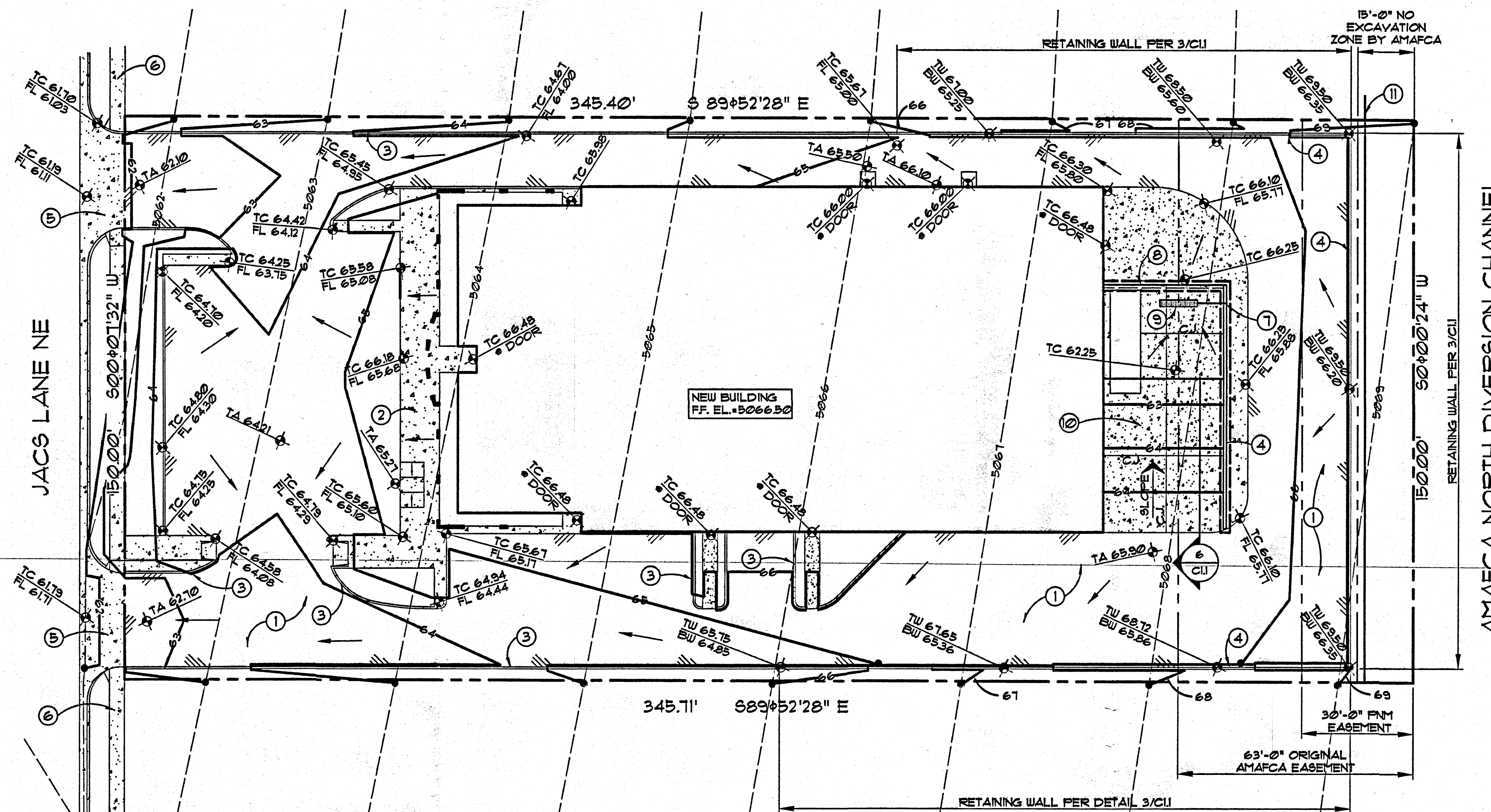
Walla ENGINEERING LTD.
6100 Indian School Road NE, Suite 210
Albuquerque, New Mexico 87110
881-3505 • Facsimile 881-4025

Job title SOWER'S CABINETS LOT 4, TRACT 4, VISTA DEL NORTE ALBUQUERQUE, NEW MEXICO		
PROJECT MANAGER SCHARLES WILDER	job no 26014	date 9/6/07
sheet title GRADING AND DRAINAGE PLAN		
by KK6		

de la torre architecte, p.a. d.a.
 2400 louisiana blvd ne
 building 3 - suite 110
 albuquerque n.m. 87110 / 505-683-7918



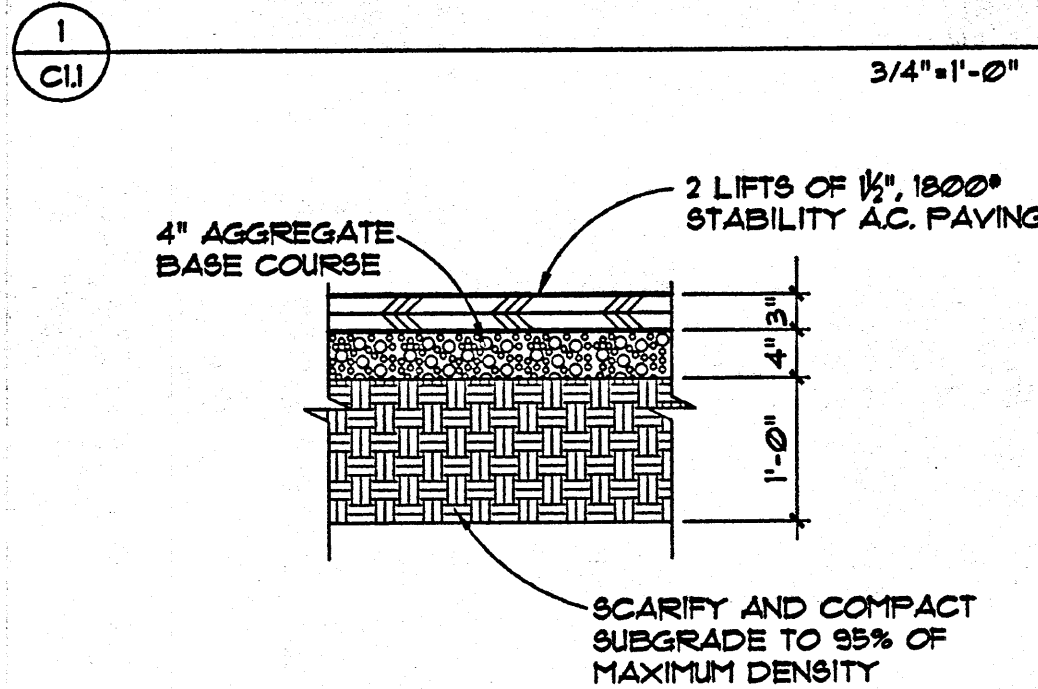
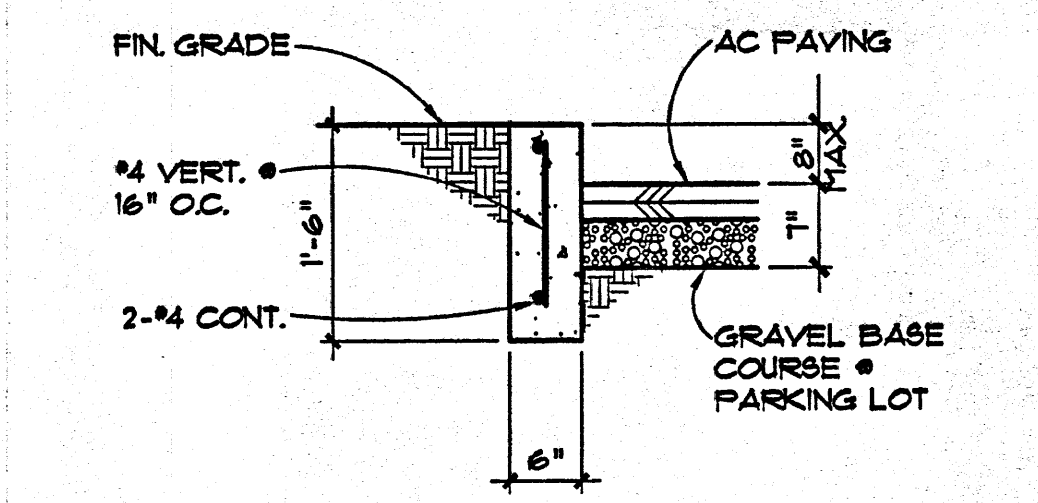
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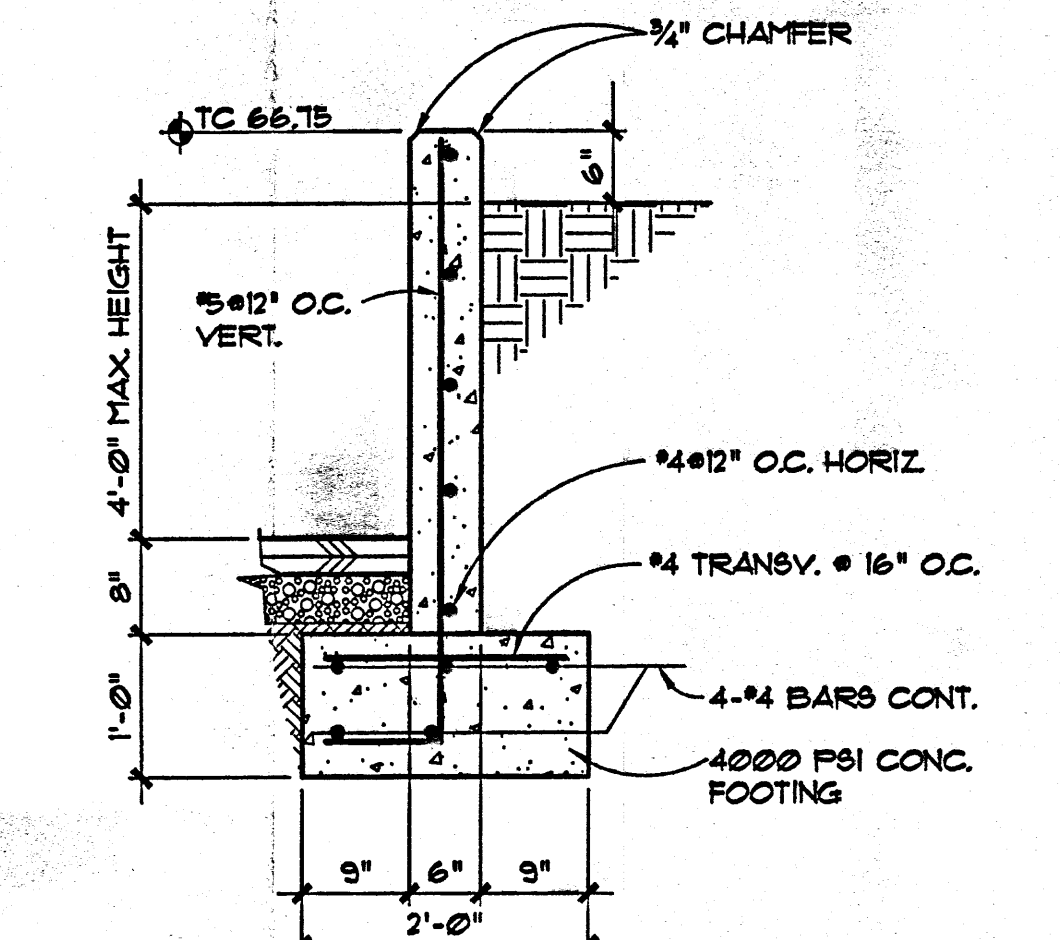
GRADING AND DRAINAGE PLAN

LEGEND

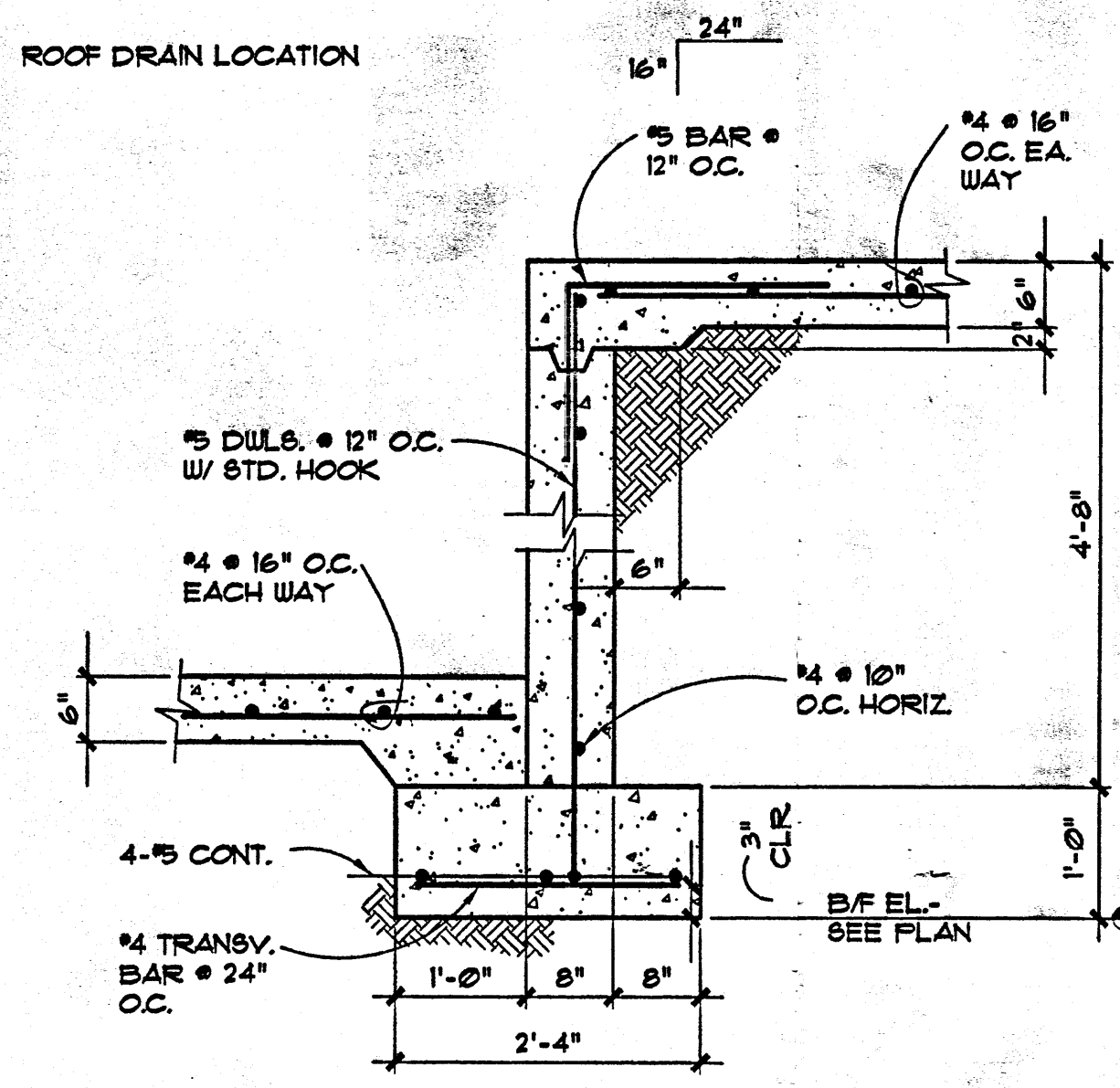
- | | | | |
|-----|--------------------------|----|---------------------|
| --- | PROPERTY LINE | FG | FINISHED GRADE |
| --- | NEW BUILDING LINE | FL | FLOW LINE |
| --- | EXISTING CONTOUR | TW | TOP OF WALL |
| --- | NEW CONTOUR | BW | BASE OF WALL |
| --- | NEW SPOT ELEVATION | TG | TOP OF GRATE |
| --- | EXISTING SPOT ELEVATION | | NEW CONCRETE PAVING |
| --- | NEW FLOW DIRECTION ARROW | | NEW AC PAVING |
| --- | TA TOP OF ASPHALT | | SWALE |
| --- | TC TOP OF CONCRETE | | ROOF DRAIN LOCATION |
| --- | INV INVERT | | |



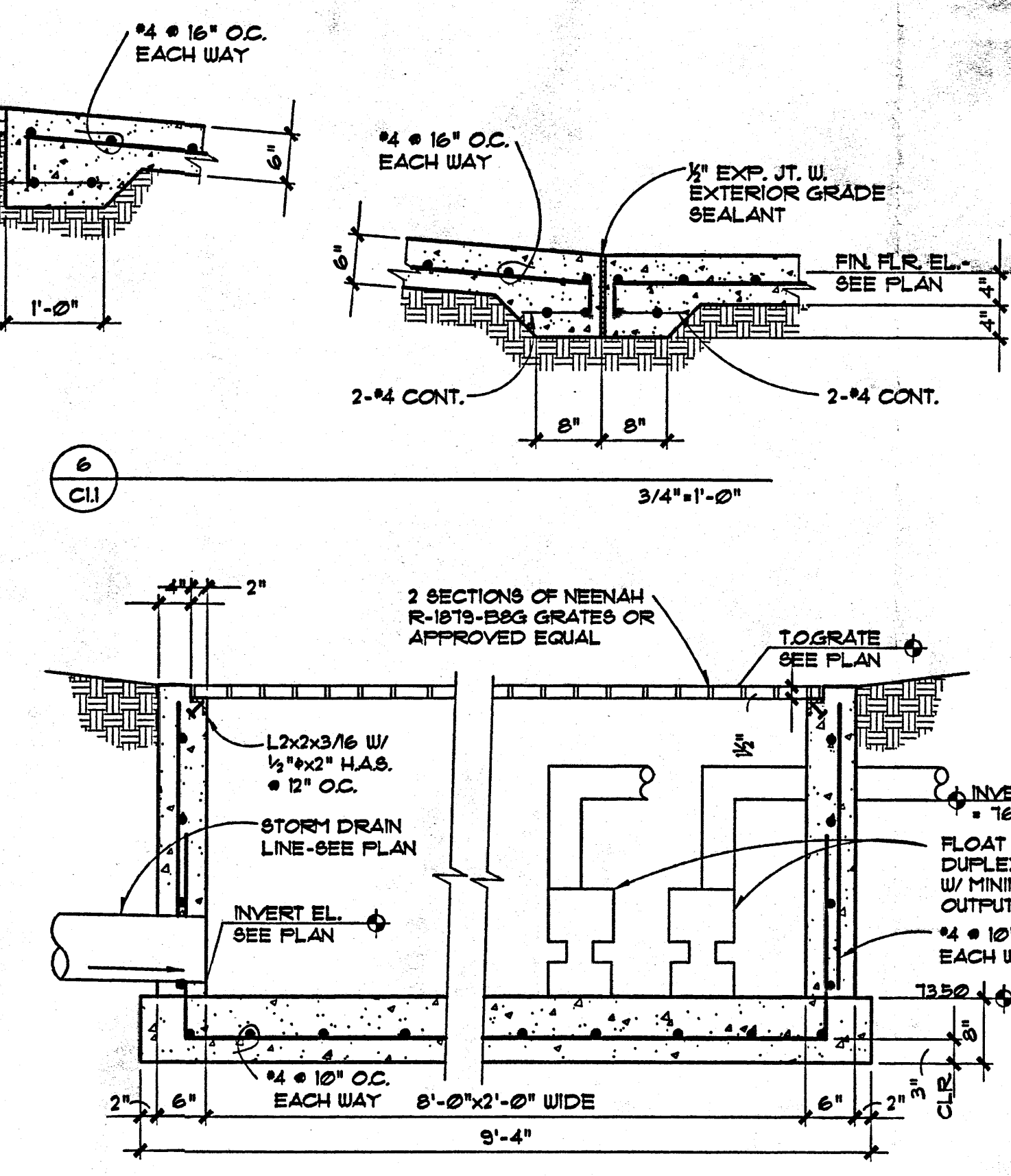
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CII
TYPICAL PAVING SECTION
3/4"=1'-0"



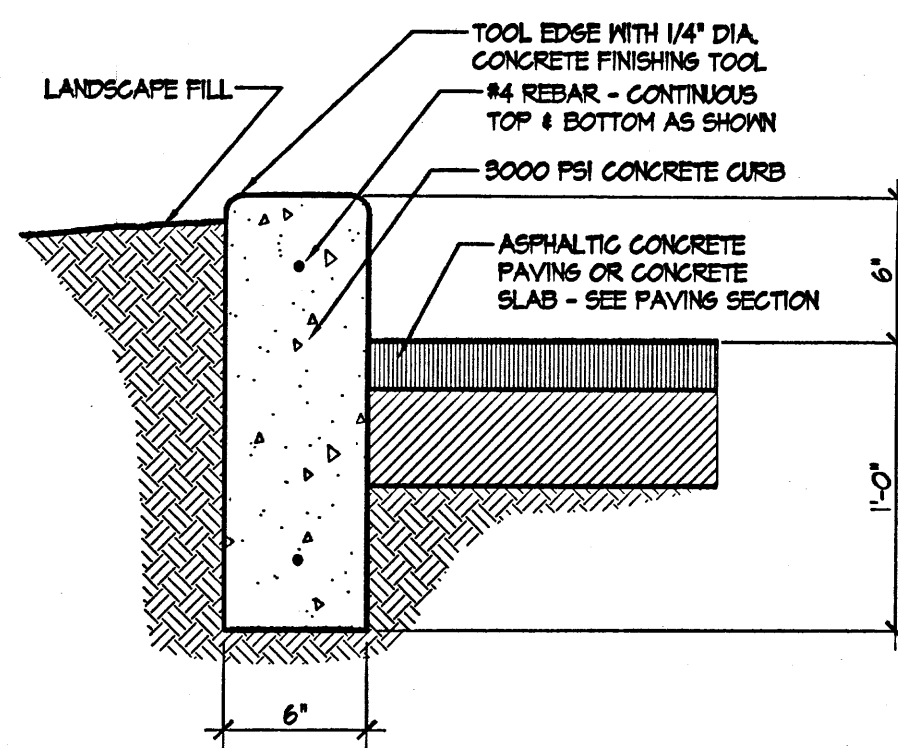
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CII
3/4"=1'-0"



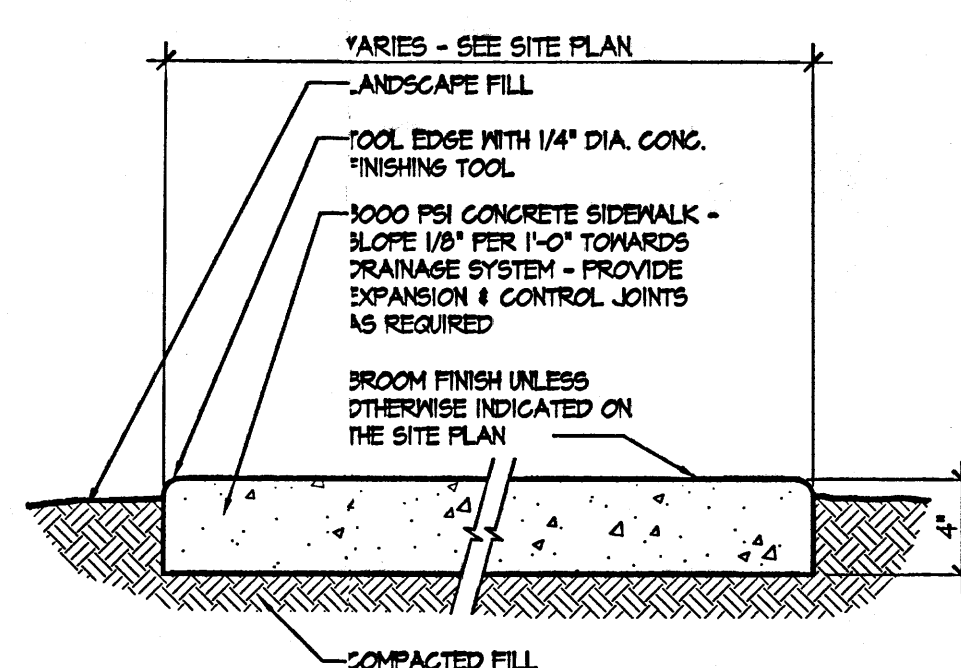
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CII
3/4"=1'-0"



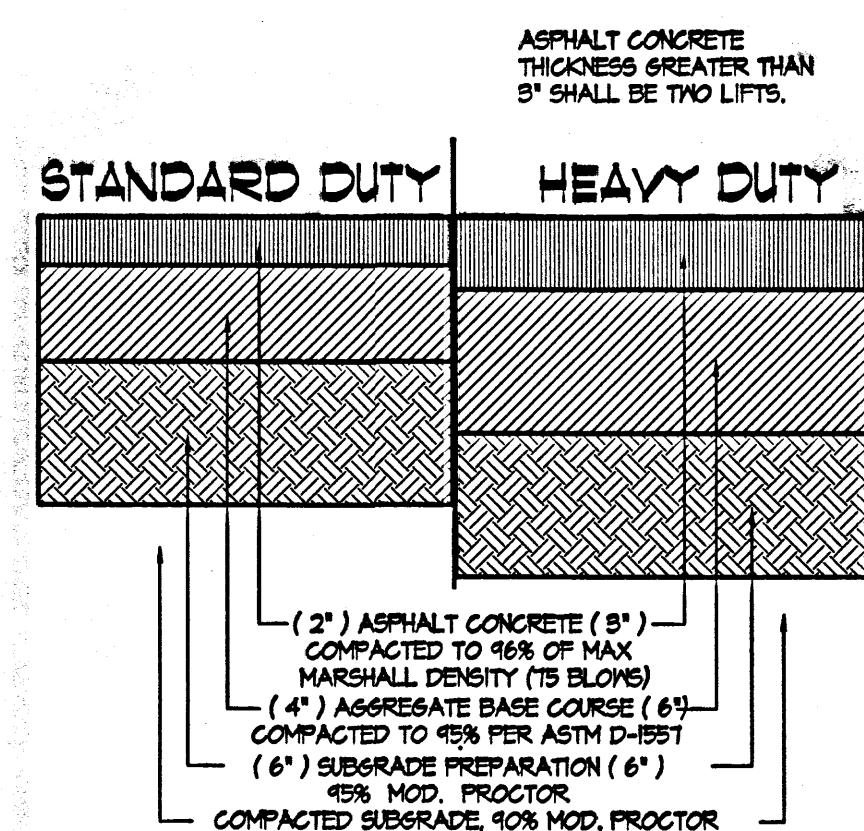
5
CII
DROP INLET SECTION - 2'-0"X3'-0"
3/4"=1'-0"



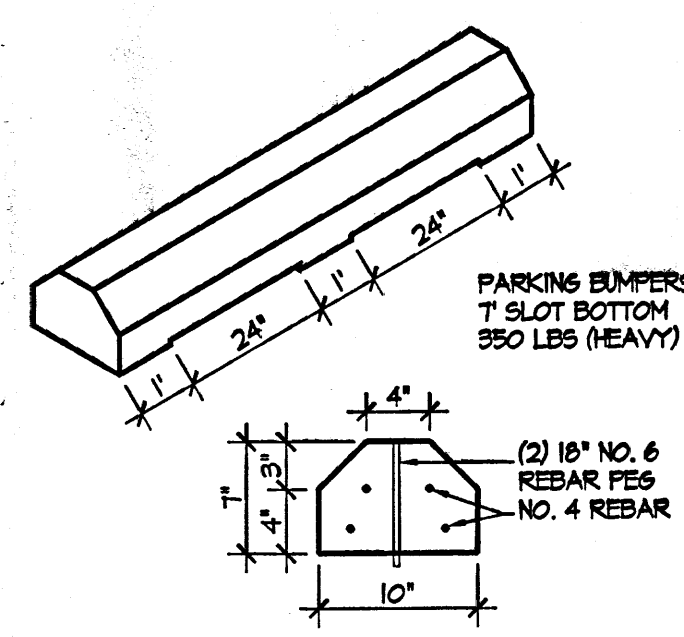
1 STAND-UP CURB - TYPICAL
SCALE: 1/2"=1'-0"



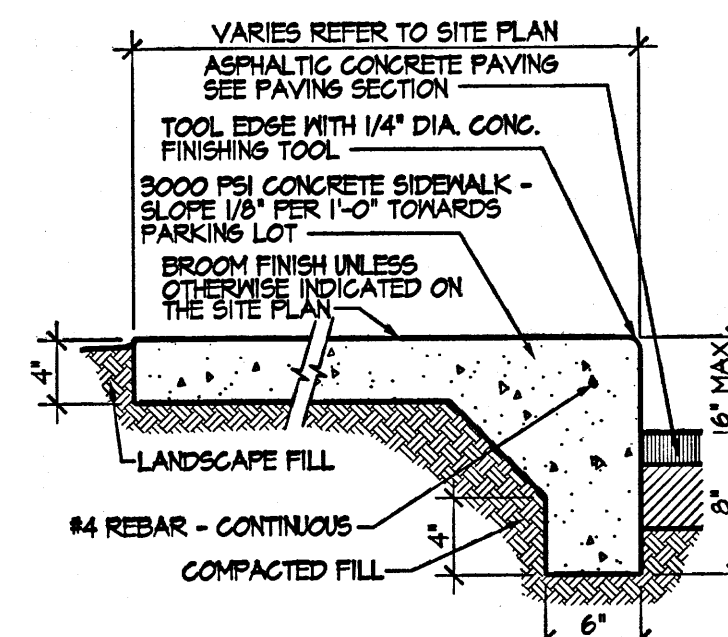
2 SIDEWALK
SCALE: 1/2"=1'-0"



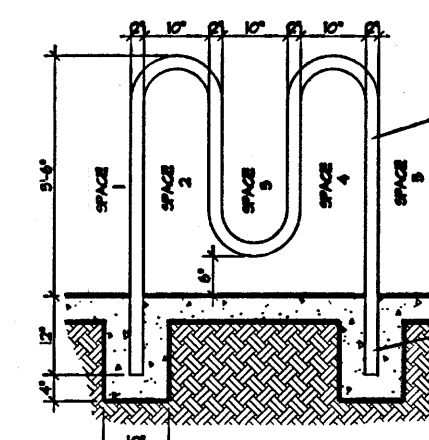
3 ASPHALT PAVING SECTION - 'A'
SCALE: 1/2"=1'-0"



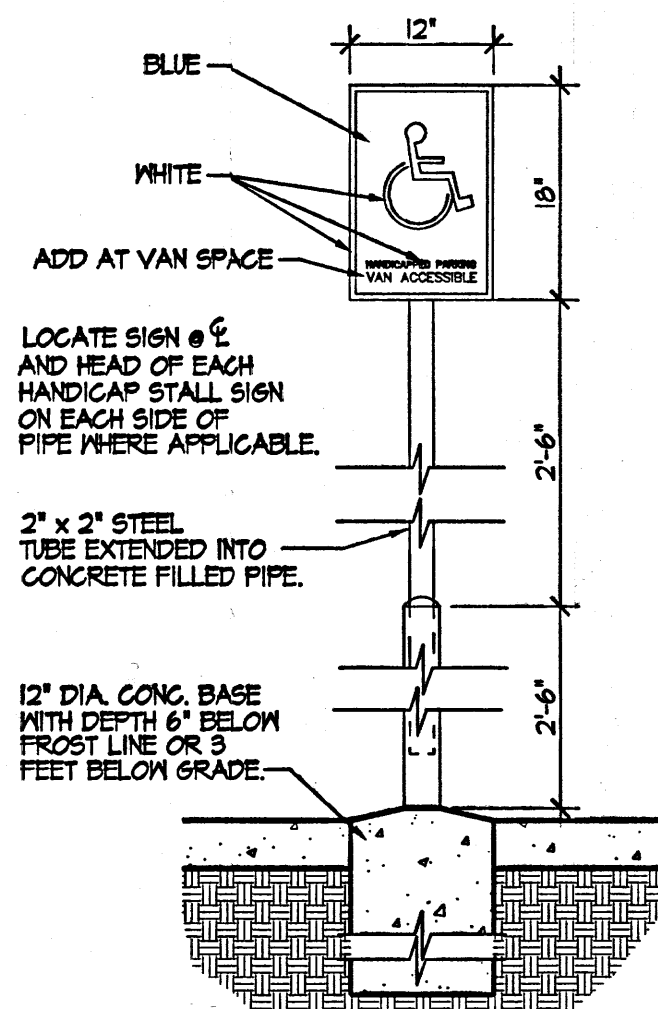
4 PARKING BUMPER
NOT TO SCALE



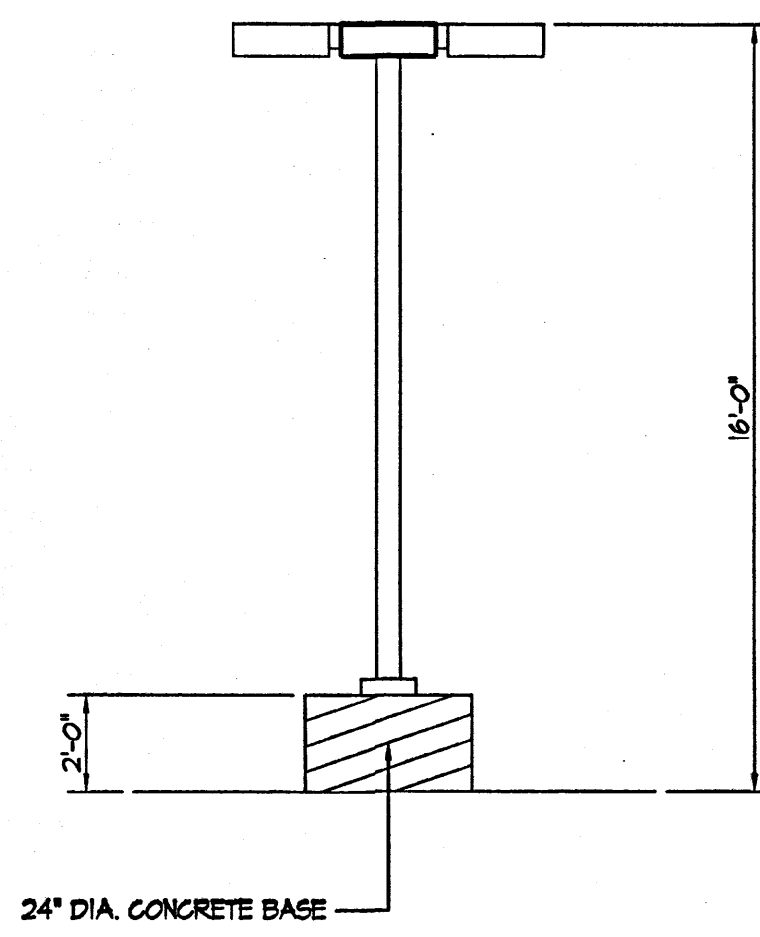
5 TURN-DOWN SIDEWALK - TYP.
SCALE: 1/2"=1'-0"



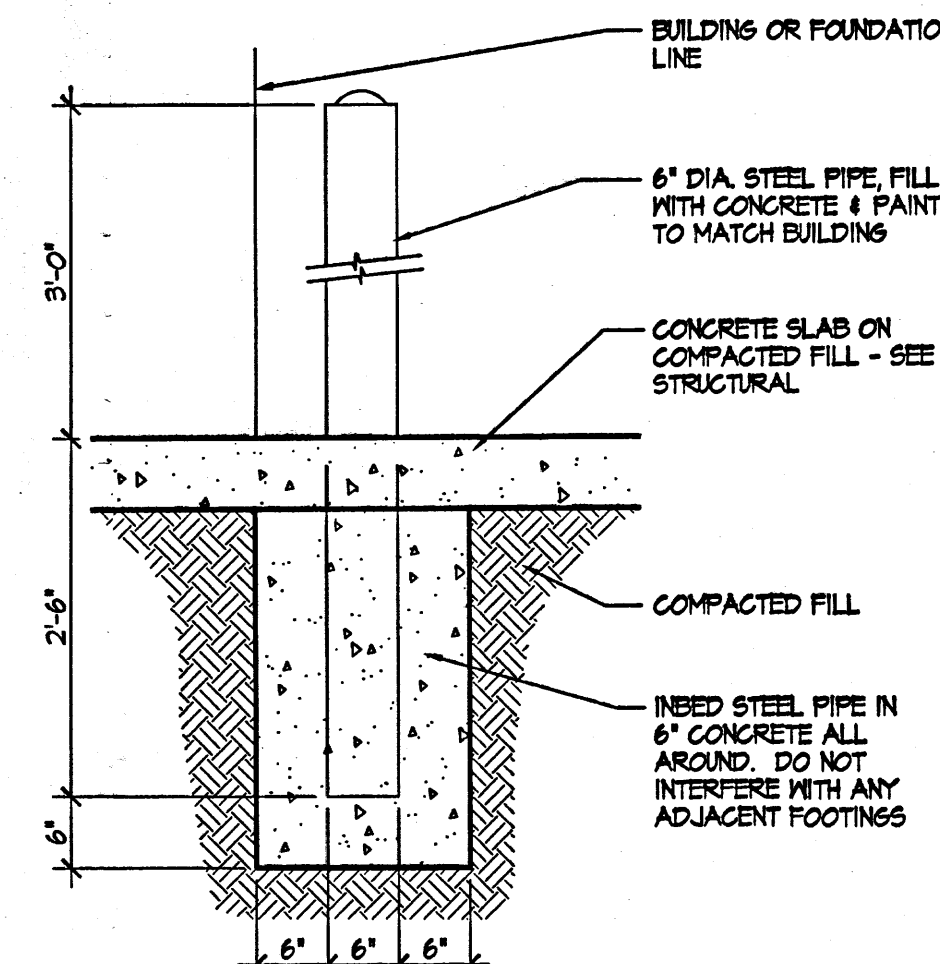
6 BICYCLE RACK
SCALE: 3/4"=1'-0"



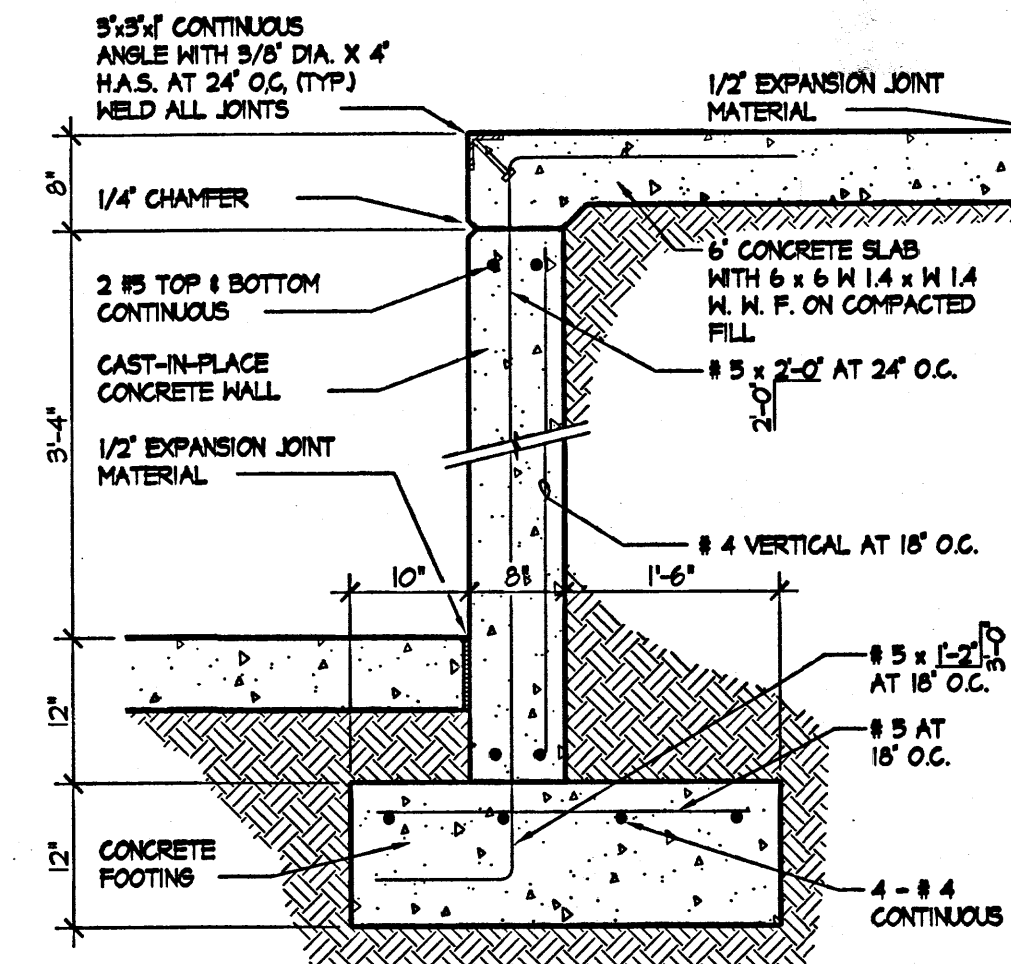
7 HANDICAP PARKING SIGN
SCALE: 3/4"=1'-0"



8 TYPICAL LIGHT POLE
SCALE: 3/4"=1'-0"



9 BOLLARD
SCALE: 3/4"=1'-0"

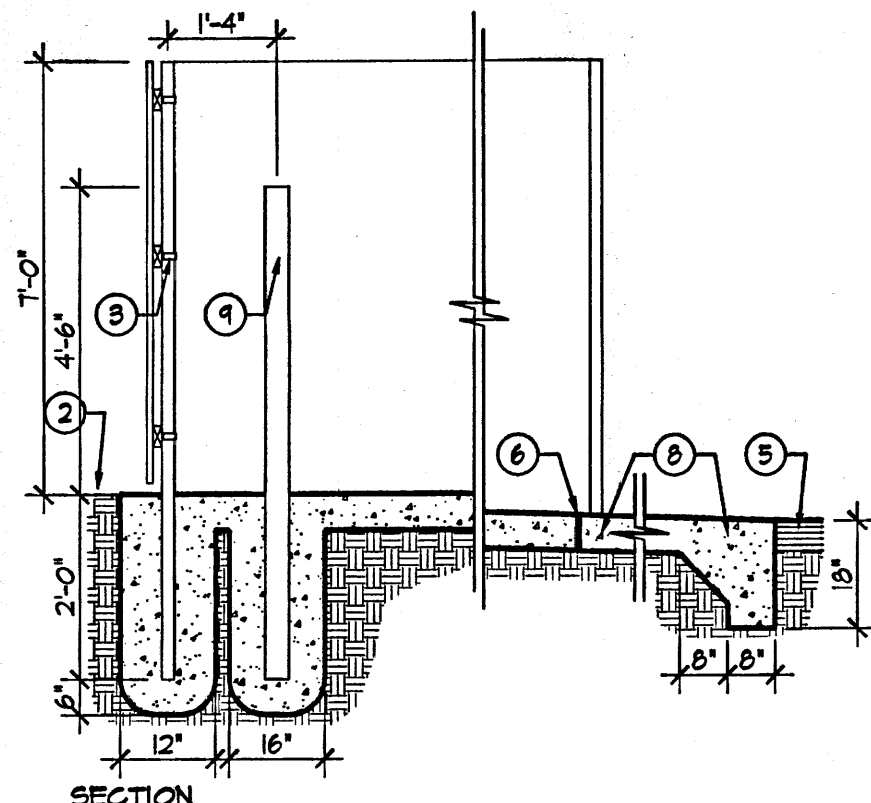
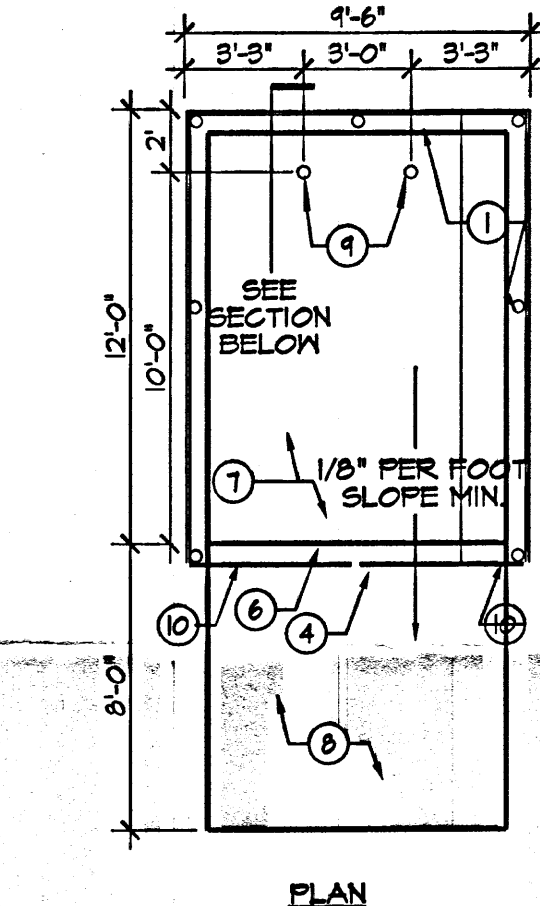


10 LOADING DOCK
SCALE: 3/4"=1'-0"

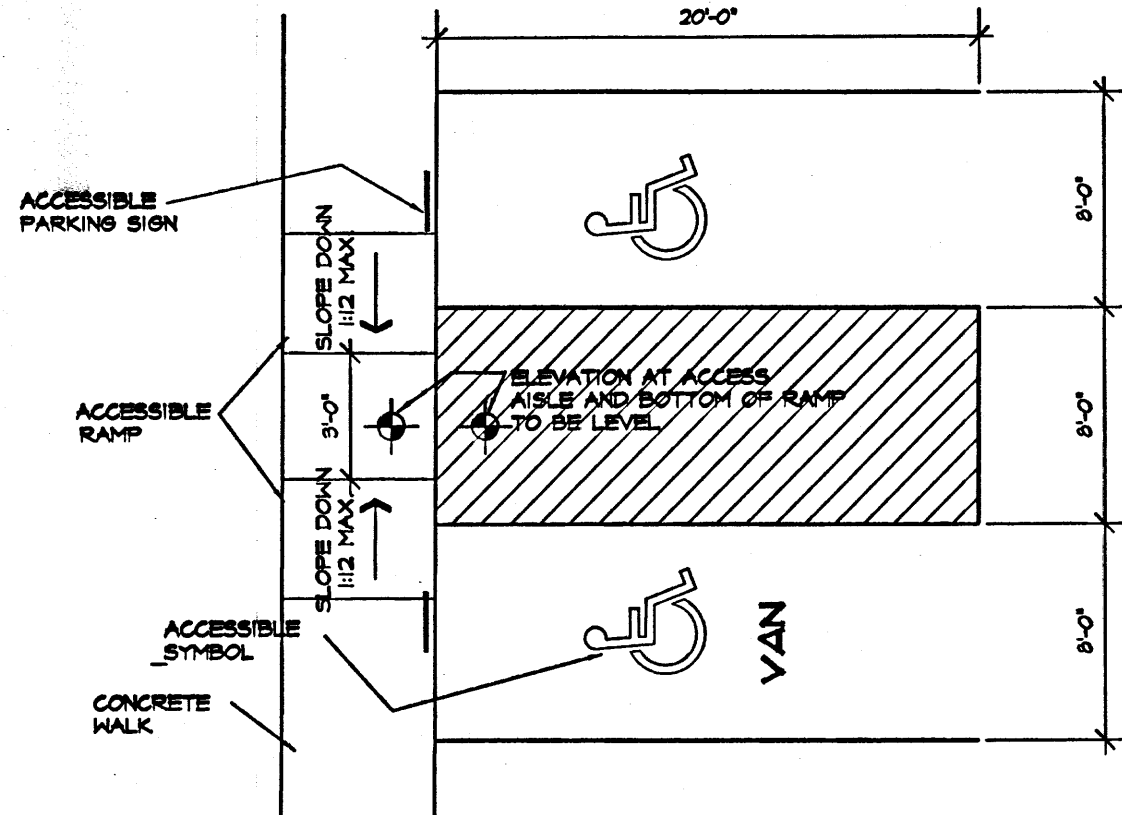
TRAFFIC CIRCULATION LAYOUT APPROVED
Signed: [Signature] Date: 9/21/07

REFUSE NOTES

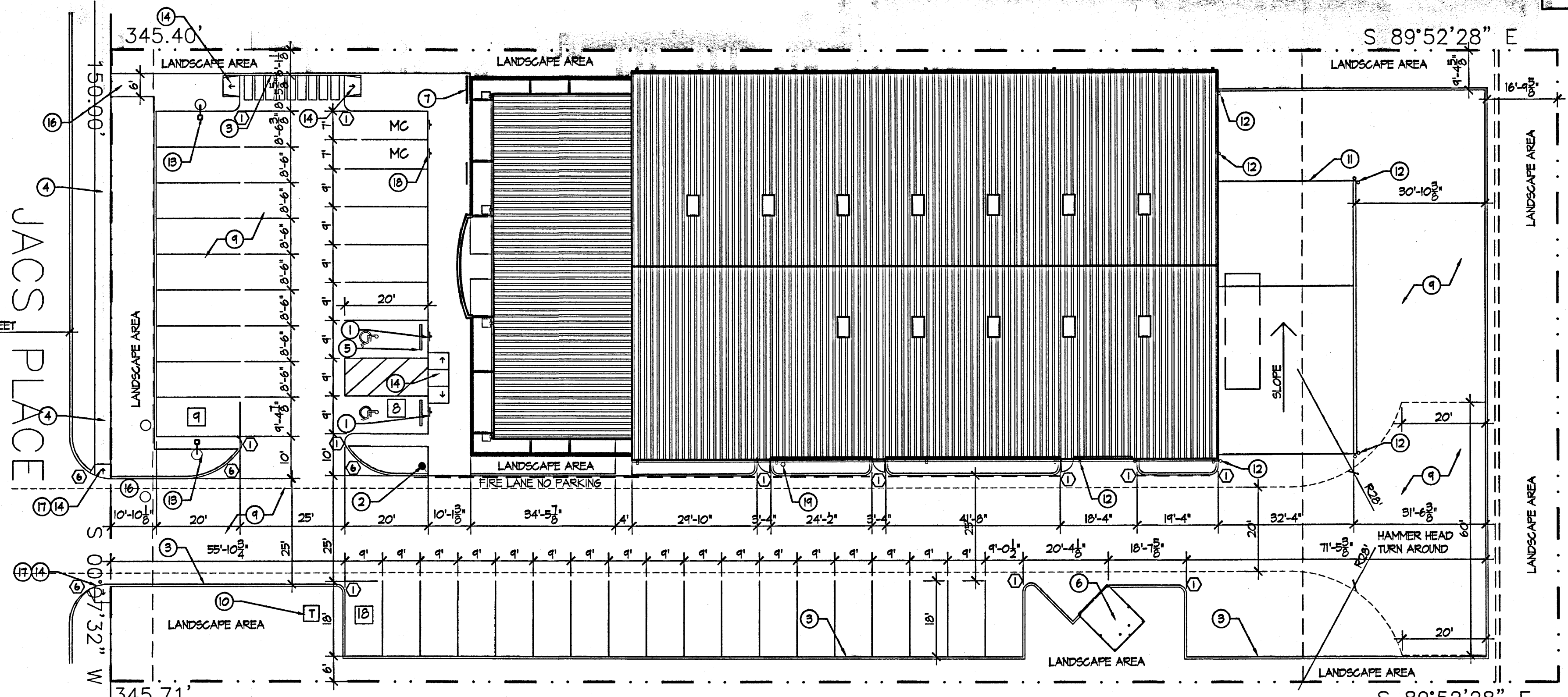
- 1 WOOD FENCE PANELS ON 2" STEEL POSTS - 1'-0" TALL AND 2" ABOVE FINISHED CONCRETE
- 2 FINISH GRADE
- 3 METAL SUPPORT STRAPS
- 4 PROVIDE SLIDE ANCHORS @ GATE LEAFS
- 5 ASPHALT PAVING
- 6 1/2" EXPANSION JOINT MATERIAL
- 7 6" CONCRETE SLAB, 4000 PSI, 3/4" AGGREGATE WITH 6X6 - 10X10 MM IV TURNDOWN EDGE
- 8 6" CONCRETE APRON, 4000 PSI, 3/4" AGGREGATE WITH 6X6 - 10X10 MM IV TURNDOWN EDGE
- 9 4" CONCRETE FILLED PIPE IN 16" DIA. X 2'-6" DEEP CONC. FOOTING, PAINT TO MATCH ENCLOSURE COLOR
- 10 6" CEDAR PICKET GATES WITH NOTE 14" POSTS 1" TALL, WELD HEAVY DUTY HINGES TO PIPES.



11 REFUSE ENCLOSURE
SCALE: 3/8"=1'-0"



12 DISABLED PARKING DETAIL
SCALE: 3/8"=1'-0"



SITE PLAN
SCALE: 1"=20'-0"

LANDSCAPING PROVIDED:
REQUIRED LANDSCAPING:
LOT SIZE 51,892 SF
BUILDING SIZE 16,022 SF
51,892 - 16,022 SF = 35,870 SF
TOTAL REQUIRED LANDSCAPING = 53,72 SF
TOTAL PROVIDED LANDSCAPING = 10,107 SF

PARKING PROVIDED:
REQUIRED SPACES:
3,791 SF (OFFICE/SHOWROOM) 1 PER 200 = 19 SPACES
11,558 SF (MANUFACTURING) 1 PER 1000 = 12 SPACES
1 ACCESSIBLE AND 1 VAN AND 2 MOTORCYCLES INCLUDED
TOTAL REQUIRED 31
TOTAL PROVIDED SPACES 35

Public Infrastructure shown on these plans for information only and not part of approval. Separate DRC/Permit approval and Work Order required.

ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.

KEYED NOTES

1. HANDICAP SIGN - 2 REQUIRED.
2. NEW FIRE HYDRANT LOCATION, TYPICAL OF 1 LOCATIONS.
3. NEW STANDUP CURB TYPICAL - SEE DETAIL 1/C1.
4. NEW SIDEWALK TYPICAL - SEE DETAIL 2/C1.
5. NEW PARKING BUMPER - 2 REQUIRED - SEE DETAIL 4/C1.
6. NEW REFUSE CONTAINER BY OWNER
7. NEW RIBBON STYLE BIKE RACK 5 SPACES
8. FIRE LANE FOR FIRE DEPARTMENT ACCESS ONLY, TO BE PAINTED RED AND LABELED FIRE LANE - NO PARKING IN 4' HIGH BLOCK LETTERS EVERY 20'-0" ON FACE OF CURB.
9. HEAVY DUTY ASPHALT PAVING TYPICAL, SEE PAVING SECTION.
10. INDICATES PROPOSED LOCATION OF FPM TRANSFORMER.
11. LOADING DOCK - SEE 10/C1.
12. 4" PIPE BOLLARD TYPICAL.
13. NEW 20' MAX HEIGHT LIGHT POLES TYPICAL OF (B) LOCATIONS. LIGHT LEVELS SHALL MEET ALL ZONING AND NIGHT SKY REGULATIONS
14. HANDICAP RAMPS TO SLOPE UP 1:12 IN DIRECTION SHOWN. CONSTRUCT RAMP PER COA DETAIL 2426 @ PUBLIC SIDEWALK.
15. NEW REFUSE ENCLOSURE
16. 6'-0" WIDE PEDESTRIAN CONNECTION TO CITY SIDEWALK.
17. YELLOW PAINTED TRUNCATED DOMES AT CROSSWALKS AND RAMPS WITHIN CITY RIGHT OF WAY
18. MOTORCYCLE PARKING SIGN
19. POST INDICATOR VALVE

GENERAL NOTES

- A. EXTEND ELECTRIC PRIMARY CONDUIT TO NEW TRANSFORMER LOCATION SHOWN ON PLAN. COORDINATE WITH FPM FOR EXACT REQUIREMENTS AND LOCATION.
- B. REMOVE/RELOCATE/COORDINATE ANY AFFECTED UTILITIES, POWER POLES, LIGHT POLES, ETC. AS REQUIRED TO ACCOMMODATE PROPOSED CONSTRUCTION.

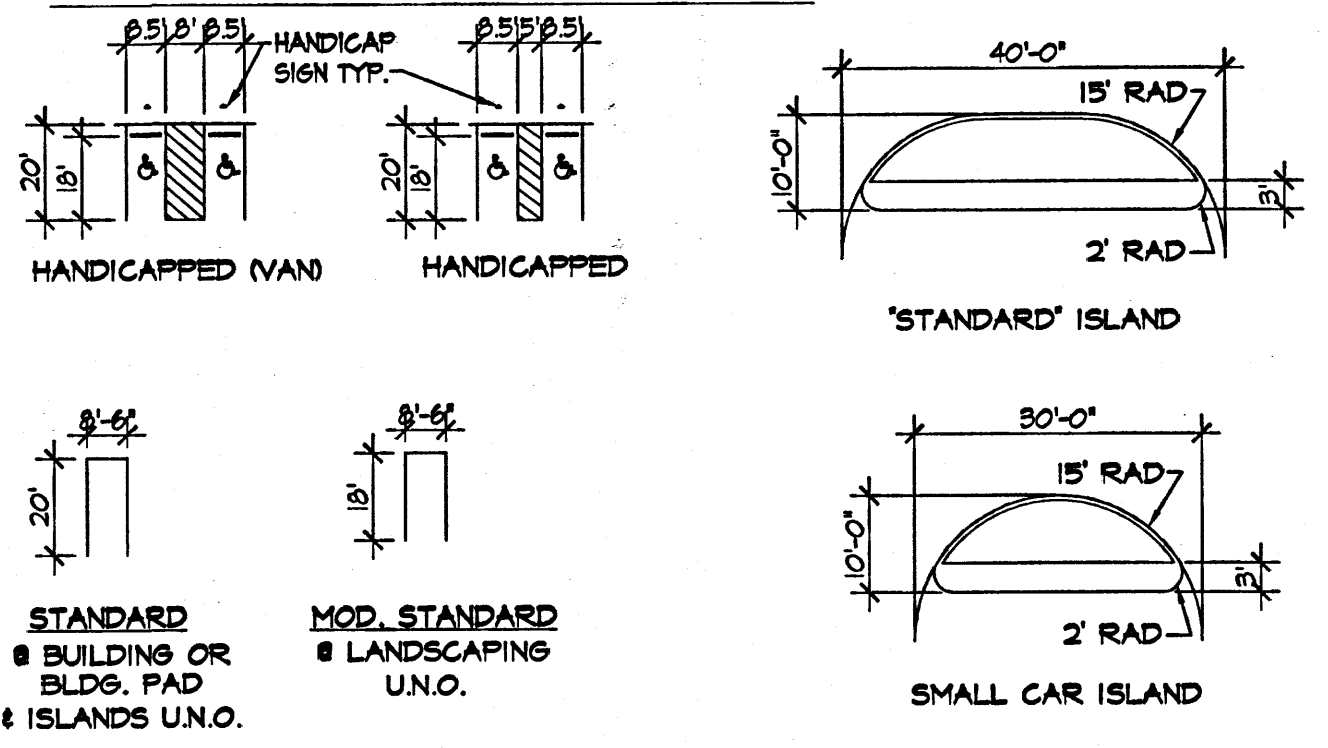
RADIUS LEGEND

- | | |
|--------------|--------------|
| ① 2' RADIUS | ⑥ 15' RADIUS |
| ② 3' RADIUS | ⑦ 20' RADIUS |
| ③ 4' RADIUS | ⑧ 25' RADIUS |
| ④ 5' RADIUS | ⑨ 30' RADIUS |
| ⑤ 10' RADIUS | ⑩ 50' RADIUS |

GENERAL NOTES - CITY REQUIRED

- A. THE RESPONSIBLE PARTY MUST RECTIFY ALL UNAPPROVED CONSTRUCTION RESULTING FROM ERRORS ON THE APPROVED SITE PLAN.
- B. THIS SITE PLAN HAS BEEN APPROVED AND ACCEPTED BY ALL PARTIES. ANY FIELD CHANGES NOT EXCEPTED BY THE TRAFFIC ENGINEER AFTER APPROVAL WILL RESULT IN (1) UNLAWFUL DELAY OF INITIAL INSPECTION FOR TELESCOPIC CERTIFICATE OF OCCUPANCY IN ORDER TO CORRECT UNAPPROVED WORK, AND (2) INCREASE IN CONSTRUCTION COST TO RESPONSIBLE PARTIES.
- C. ALL ASPHALT AND CONCRETE CONSTRUCTION MUST BE 100% COMPLETE BEFORE INITIAL INSPECTION FOR TEMPORARY C.O. WILL BE SCHEDULED.
- D. ALL SIDEWALK AND C&G IN DISREPAIR WILL BE REMOVED AND REPLACED.
- E. CONSTRUCT DRIVEPAD PER CITY OF ALBUQUERQUE STANDARD DETAIL DWS. No. 2425.
- F. CONTRACTOR MUST BE MADE AWARE THAT ANY AGREEMENT WITH THE OWNER STATING PORTIONS OF THIS BUILDING PERMIT WORK TO BE COMPLETED BY THE OWNER OR A REPRESENTATIVE WILL MEAN CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED UNTIL ALL WORK IS FINISHED.
- G. CERTIFICATION BY THE DESIGNER OF RECORD, REQUIRED BY THE TRANSPORTATION SECTION, NEEDS TO STATE THAT THIS SITE WAS CONSTRUCTED IN ACCORDANCE WITH THE TRAFFIC CIRCULATION LAYOUT (TCL) BEFORE C.O. IS RELEASED.
- H. CONSTRUCT VALLEY PRIVATE ACCESS DRIVE PER CITY OF ALBUQUERQUE STANDARD DETAIL DWS. No. 2420.

PARKING TYPES & ISLAND DETAILS



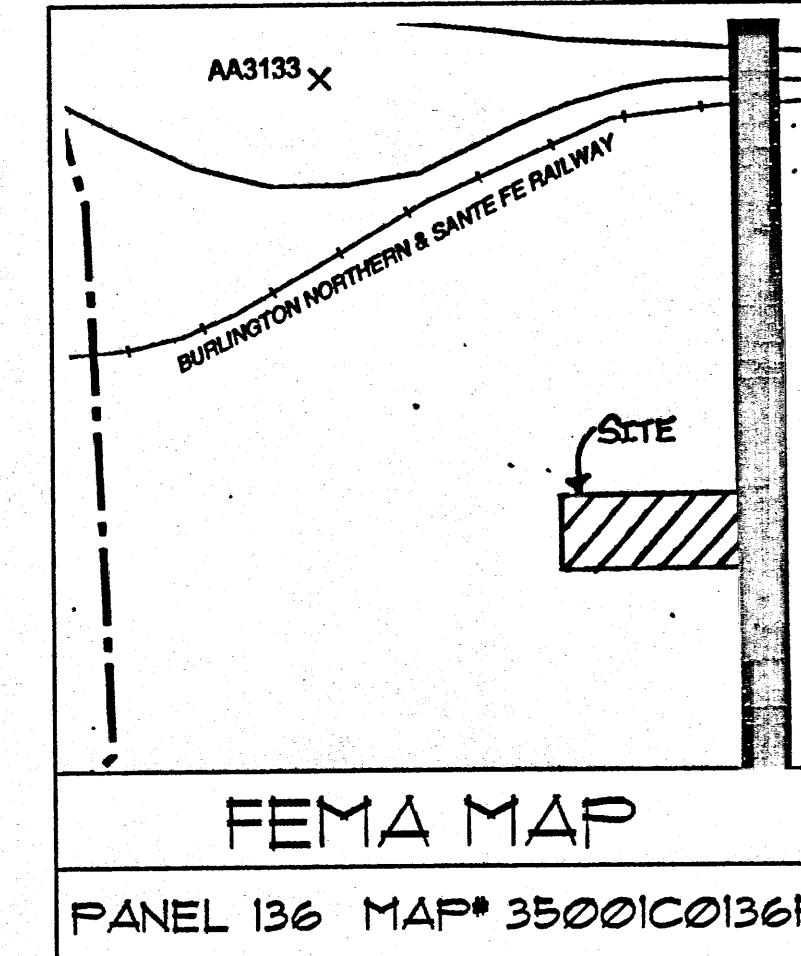
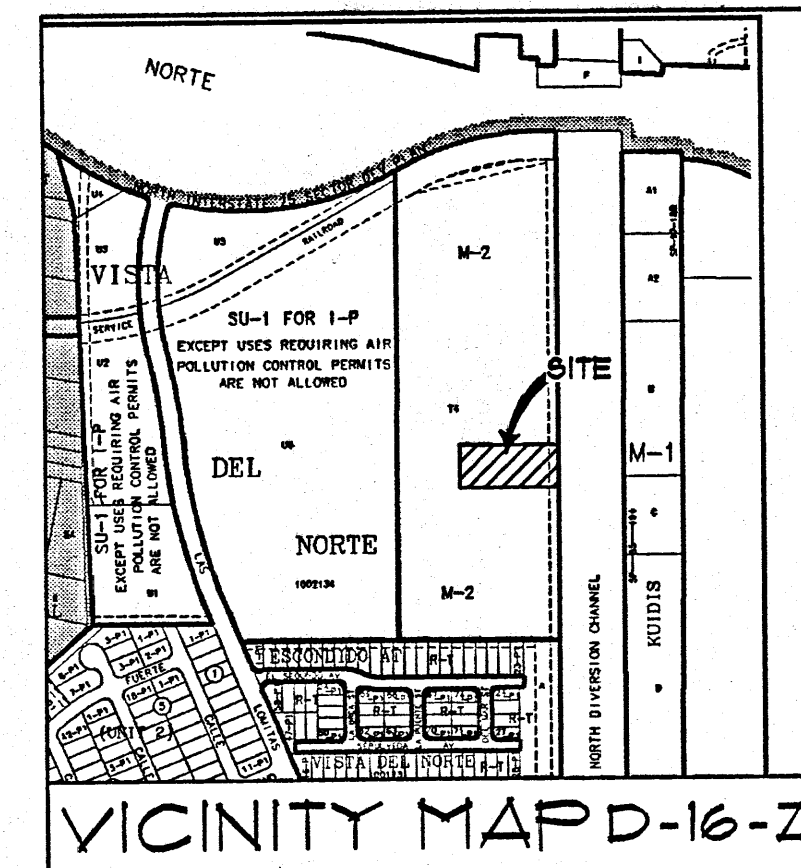
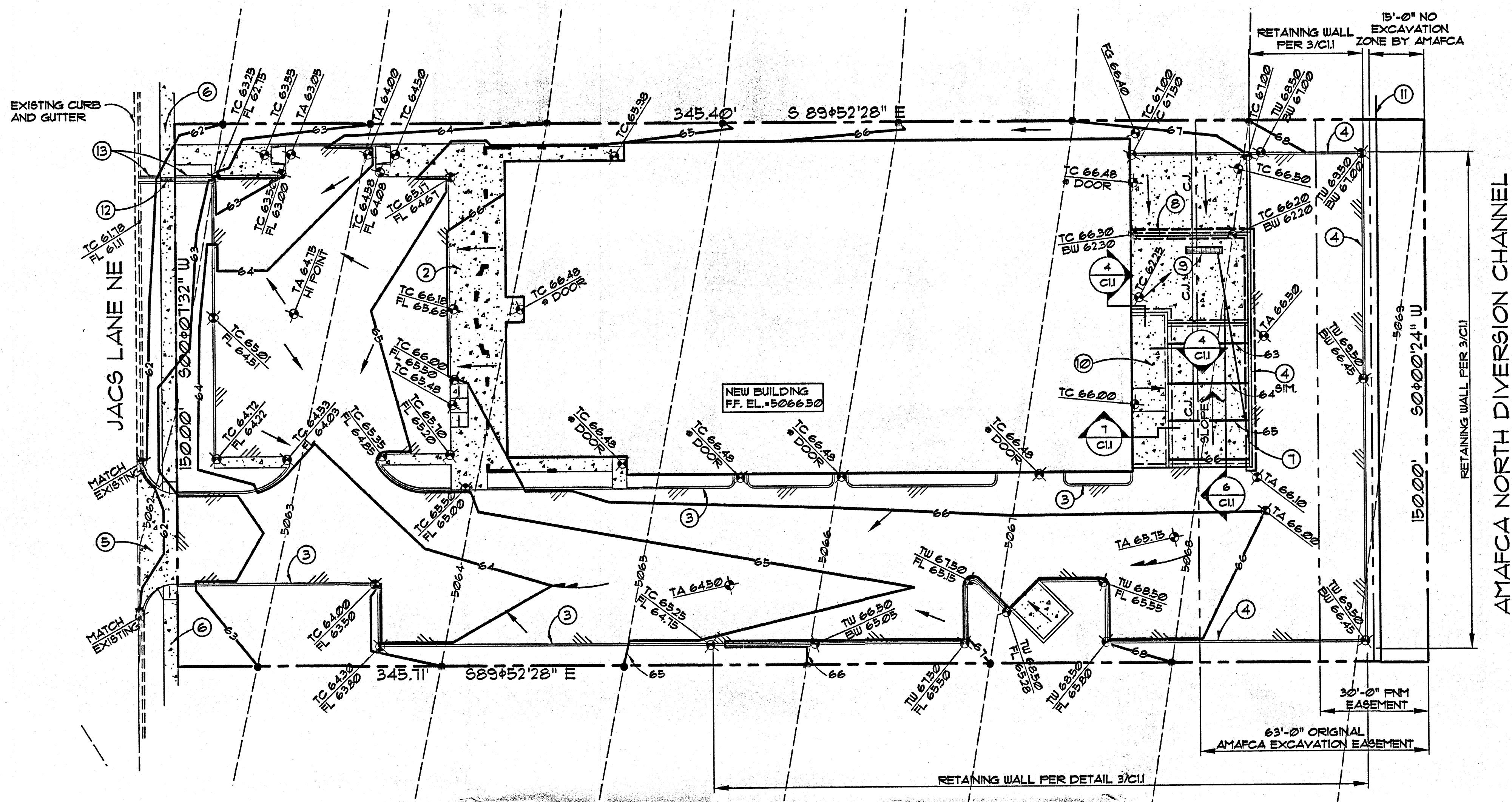
revisions
9-7-07
9-20-07

Job title
CRAIG SOWER'S CTM. CAB.
7900 JACS LANE NE
ALBUQUERQUE, NEW MEXICO 87109
PROJECT MANAGER
CHARLES TAFT WILDER
sheet title
SITE PLAN

job no
26014
date
5-21-07
by
STW

de la torre architecte, p.a. dla
2400 louisiana blvd ne
building 3 suite 110
albuquerque nm 87110 505.683.7918

sheet -
C1
of -



KEYED NOTES

- 3" AC PAVING OVER 4" AGGREGATE BASE COURSE PER DETAIL 2/CII.
- 4", 4000 PSI, AIR-ENTRAINED CONCRETE SIDEWALK.
- 4000 PSI CONCRETE CURB PER DETAIL 1/CII.
- RETAINING WALL - SEE DETAIL 3/CII.
- CONCRETE DRIVE PAD PER C.O.A. STANDARD DRAWING DETAIL 2425.
- CONCRETE SIDEWALK PER C.O.A. STANDARD DRAWING DETAIL 2430.
- 4" PVC FORCE MAIN THRU WALL - INVERT ELEVATION OUT=6620.
- DOCK WALL PER DETAIL 4/CII.
- DROP INLET WITH PUMP PER DETAIL 5/CII T.G. ELEV.=6200.
- 6" CONCRETE SLAB REINFORCED W/ #4 @ 16" O.C. EACH WAY OVER SUBGRADE COMPACTED TO 95% OF MAXIMUM DENSITY.
- LOCATION OF FNM 16" VHP LINE-VERIFIED BY POT HOLING.
- 12" WIDE SIDEWALK CULVERT PER C.O.A. STD. DRWG. #2236.
- CONCRETE CHANNEL PER DETAIL 8/CII.

DESIGN NARRATIVE

THE SUBJECT PROPERTY IS A NEWLY DEVELOPED SITE LOCATED JUST SOUTH OF PASEO DEL NORTE AND WEST OF THE NORTH DIVERSION CHANNEL. THE SITE SLOPES TOWARD THE NEW STREET WHICH IS DESIGNED TO COLLECT STORM RUNOFF IN CURBS AND GUTTERS, AND DROP INLETS AND THEN A 36" DIA. STORM DRAIN LINE THAT FLOWS WEST TO DOWN STREAM FACILITIES. THE IMPROVED SITE IS DESIGNED TO DIRECT DEVELOPED FLOWS IN THE SAME FASHION THE ORIGINAL 63'-0" EASEMENT FOR RESTRICTION OF EXCAVATION FOR AMAFCA AT THE EAST END OF THE SITE HAS BEEN REDUCED TO 15'-0" BY AGREEMENT BY LYNN MAZUR OF AMAFCA.

LEGAL DESCRIPTION

LOT 4, TRACT 4, VISTA DEL NORTE SUBDIVISION, BERNALILLO COUNTY, NEW MEXICO.

BENCHMARK

ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE STATION NO. "NAA-9", HAVING AN ELEVATION OF 5069.21

LEGEND

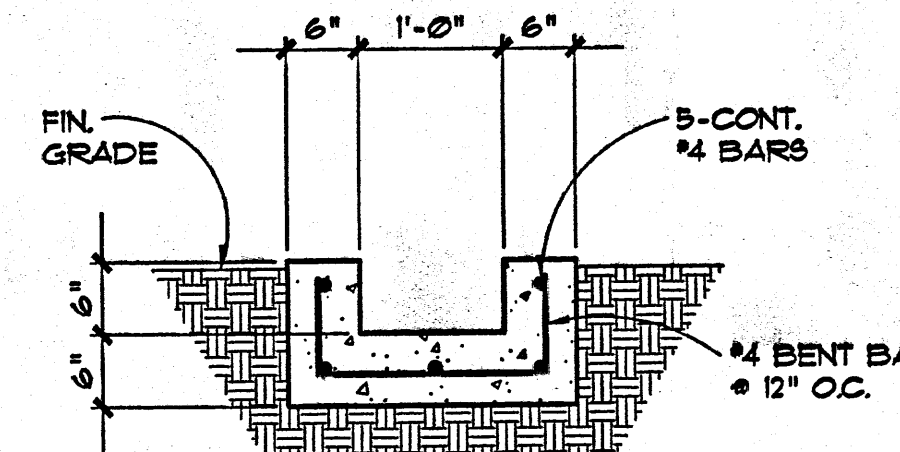
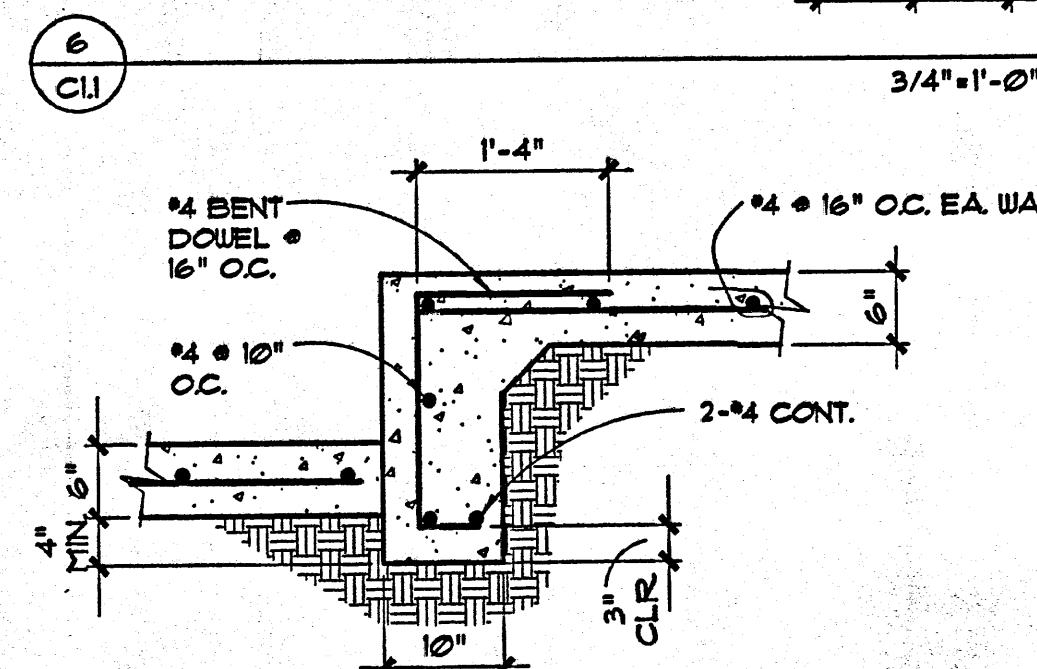
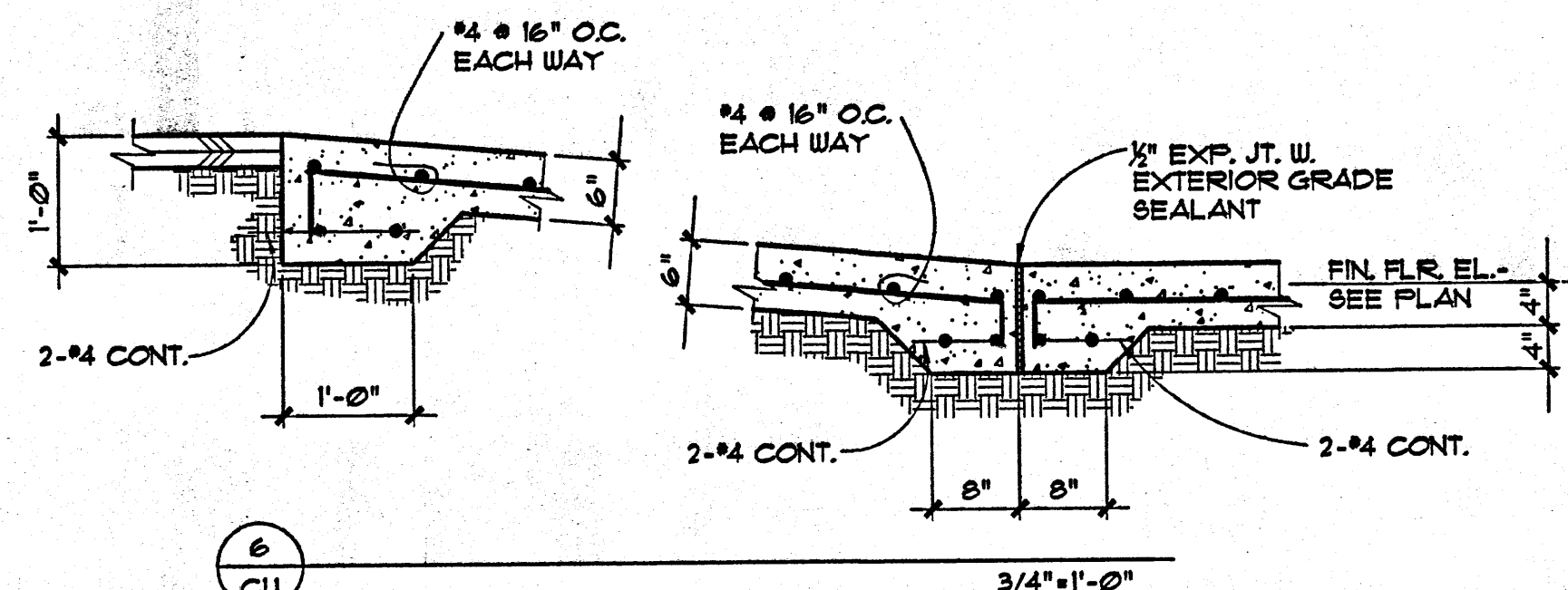
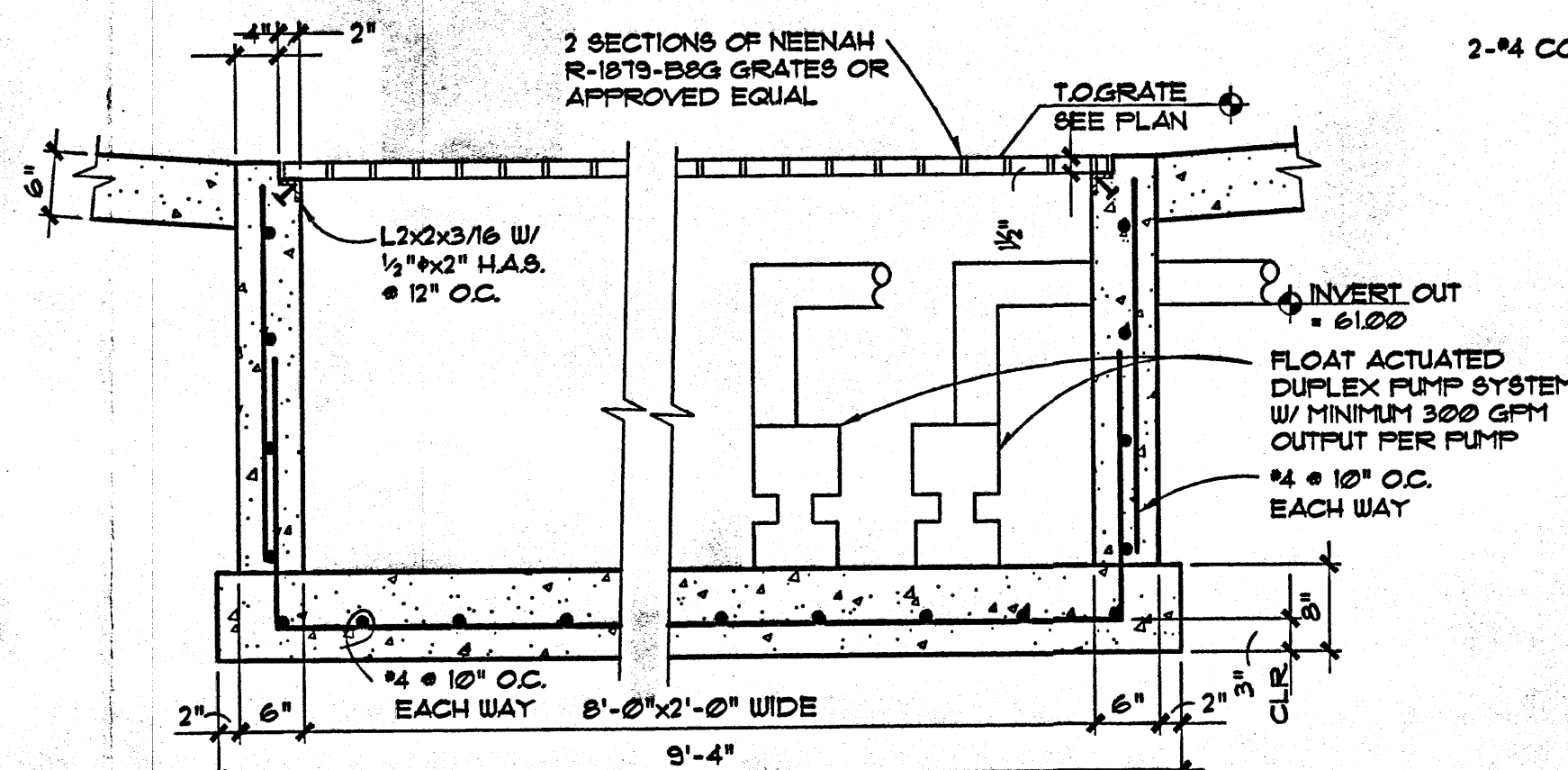
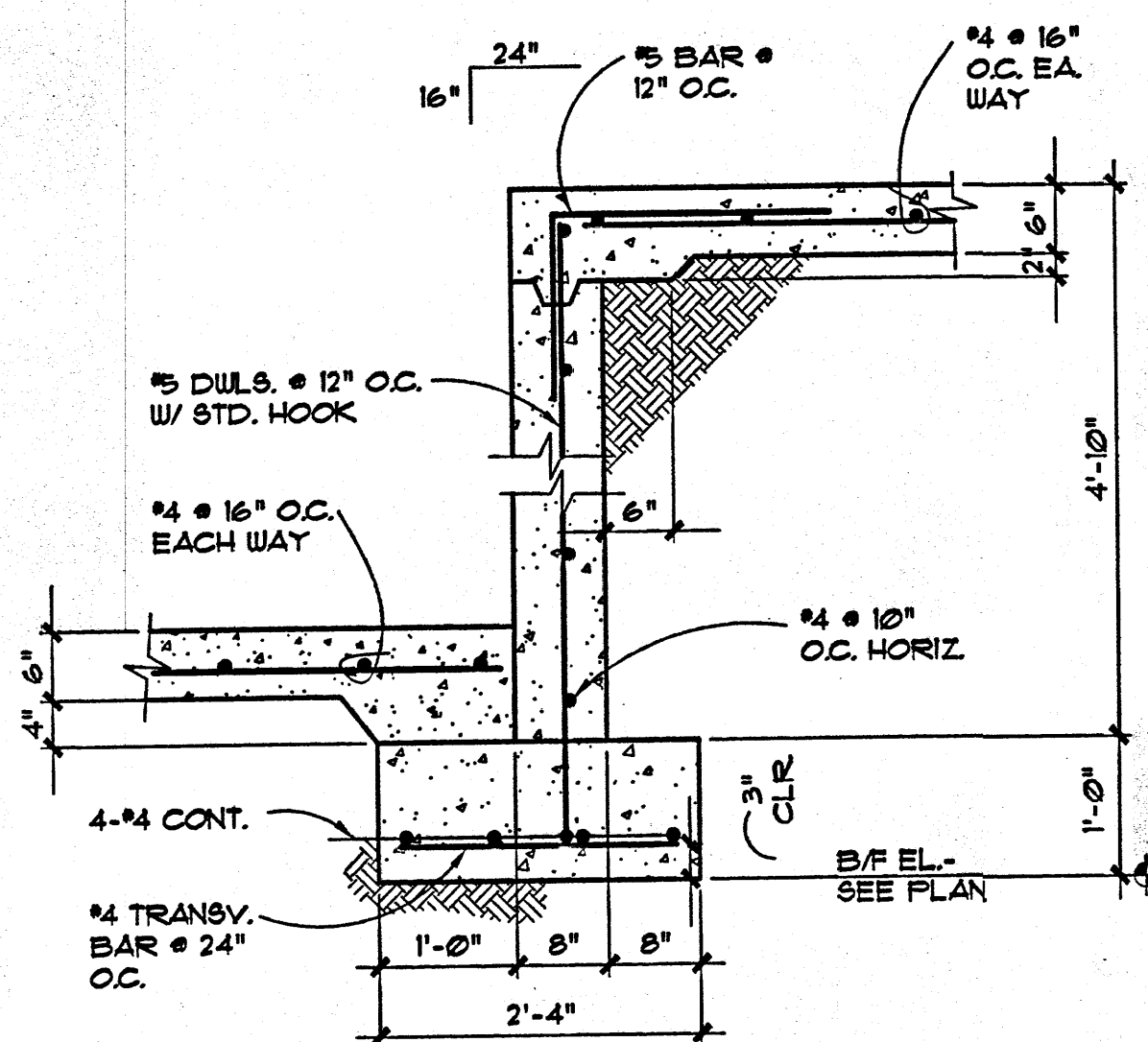
- PROPERTY LINE
- NEW BUILDING LINE
- EXISTING CONTOUR
- NEW CONTOUR
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- EXISTING SPOT ELEVATION
- NEW FLOW DIRECTION ARROW
- TA TOP OF ASPHALT
- TC TOP OF CONCRETE
- INV INVERT
- FG FINISHED GRADE
- FL FLOW LINE
- TW TOP OF WALL
- BW BASE OF WALL
- TG TOP OF GRATE
- NEW CONCRETE PAVING
- NEW AC PAVING
- SWALE
- ROOF DRAIN LOCATION

Walla Structural Engineering
Civil Engineering
6100 Indian School Road NE, Suite 210
Albuquerque, New Mexico 87110
505-308-5000 • Facsimile 505-4025

GRADING AND DRAINAGE PLAN

HYDROLOGY CALCULATIONS

PRECIPITATION ZONE 2 DESIGN STORM: (IN)		1hr	6hr	24hr	4day	10day
		2.01	2.35	2.75	3.30	3.95
ORIGINAL CONDITIONS-ENTIRE SITE						
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B	0.000	0%	0.78	228	0.00	0
C	1.190	100%	1.13	314	3.74	4,881
D	0.000	0%	2.12	4.70	0.00	0
TOTALS	1.190	100%	3.74	4,881	4,881	4,881
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A	0.000	0%	0.53	156	0.00	0
B	0.190	16%	0.78	228	0.43	538
C	0.000	0%	1.13	314	0.71	0
D	1.000	84%	2.12	4.70	7.696	9,148
TOTALS	1.190	100%	5.13	8,234	9,886	11,682



revisions

Job title

SOWER'S CABINETS

PROJECT MANAGER

SCHARLES WILDER

sheet title

GRADING AND DRAINAGE PLAN

Job no

26014

date

10/10/07

by

KK6

de la torre architecte, p.a.

2400 lousiana blvd ne

building 3 suite 110

albuquerque nm 87110 / 505-883-7918

Job title

SOWER'S CABINETS

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sheet title

GRADING AND DRAINAGE PLAN

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KK6

Mike J. Walla

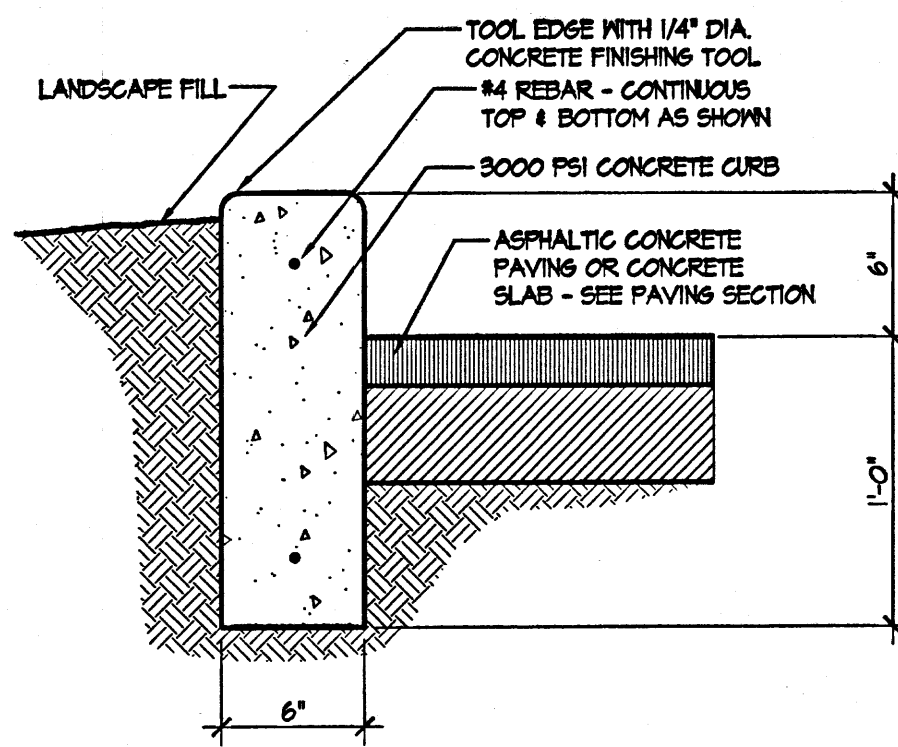
Structural Engineering

Civil Engineering

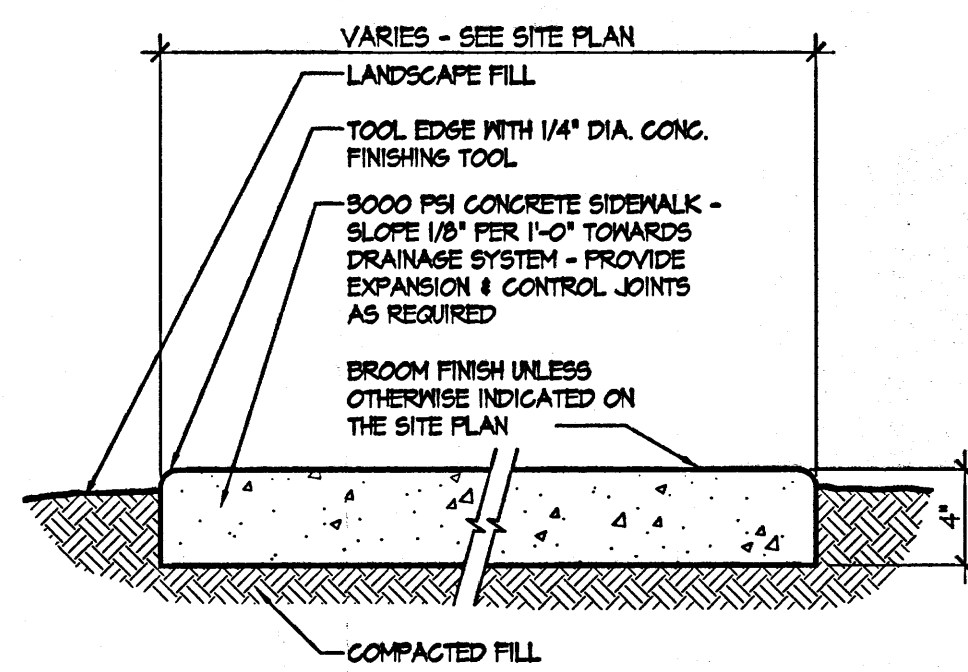
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Albuquerque, New Mexico 87110

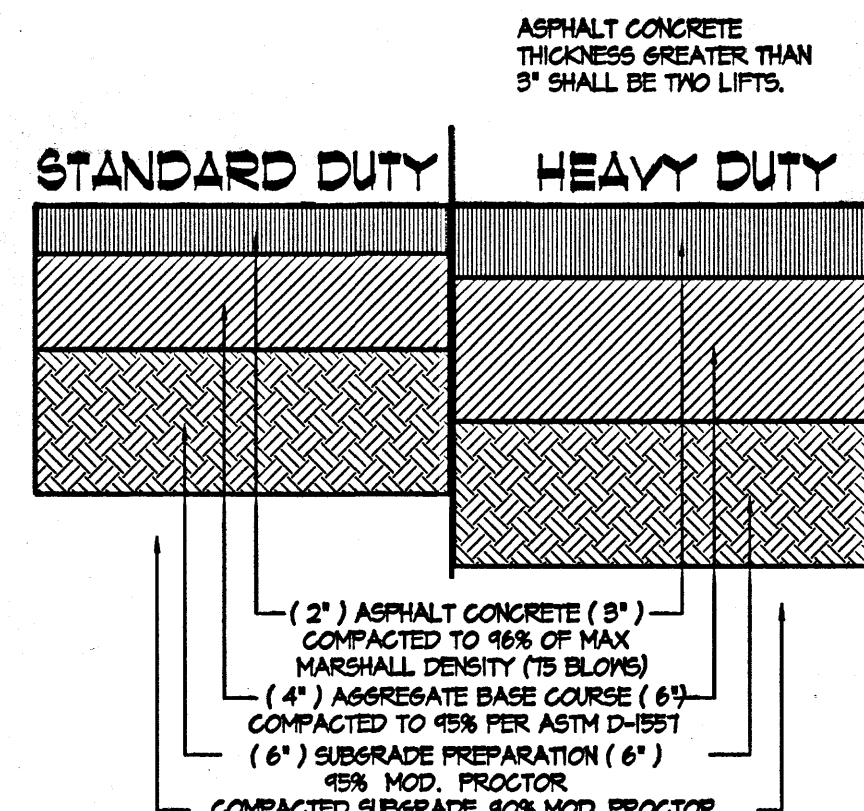
505-308-5000 • Facsimile 505-4025



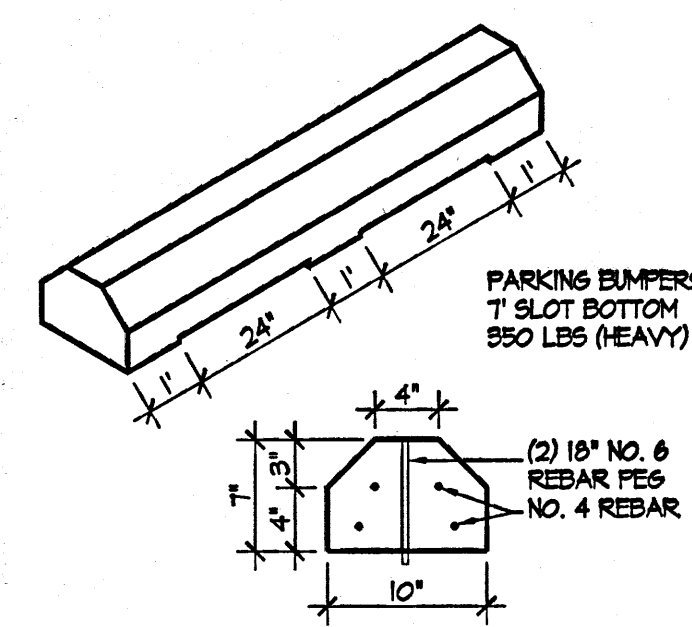
1 STAND-UP CURB - TYPICAL
SCALE: 1 1/2"=1'-0"



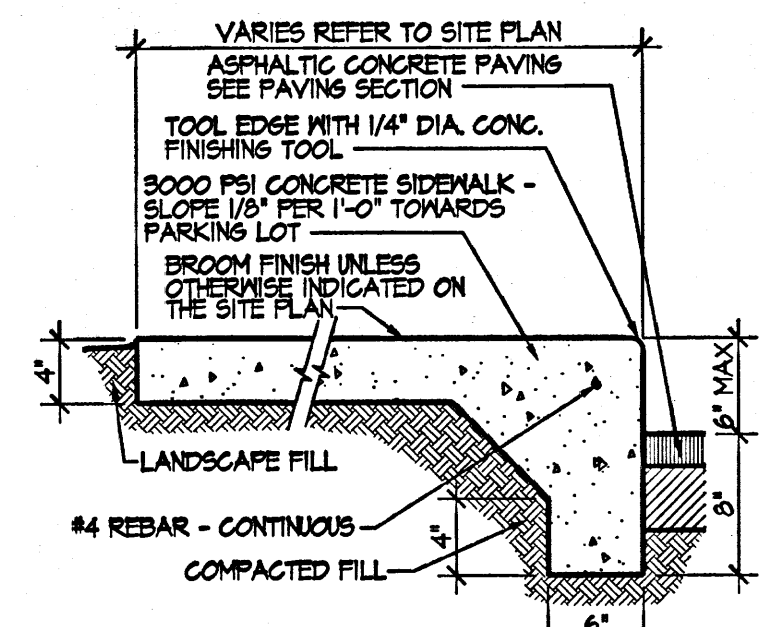
2 SIDEWALK
SCALE: 1 1/2"=1'-0"



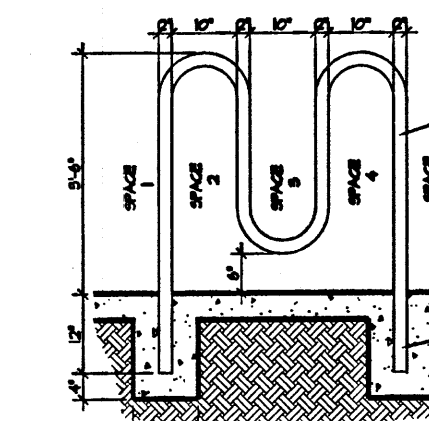
3 ASPHALT PAVING SECTION - 'A'
SCALE: 1 1/2"=1'-0"



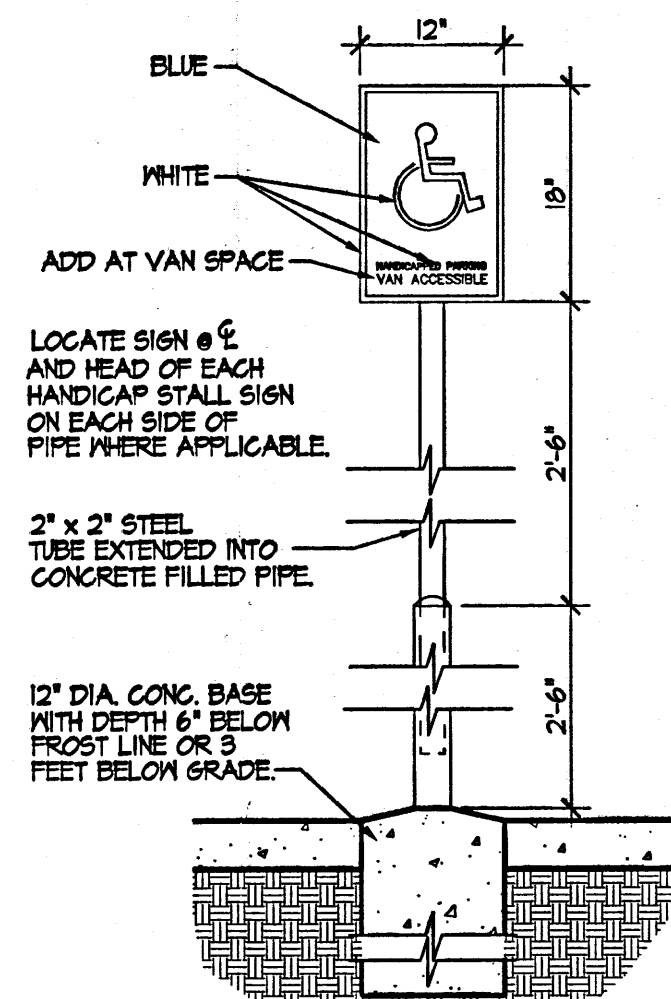
4 PARKING BUMPER
NOT TO SCALE



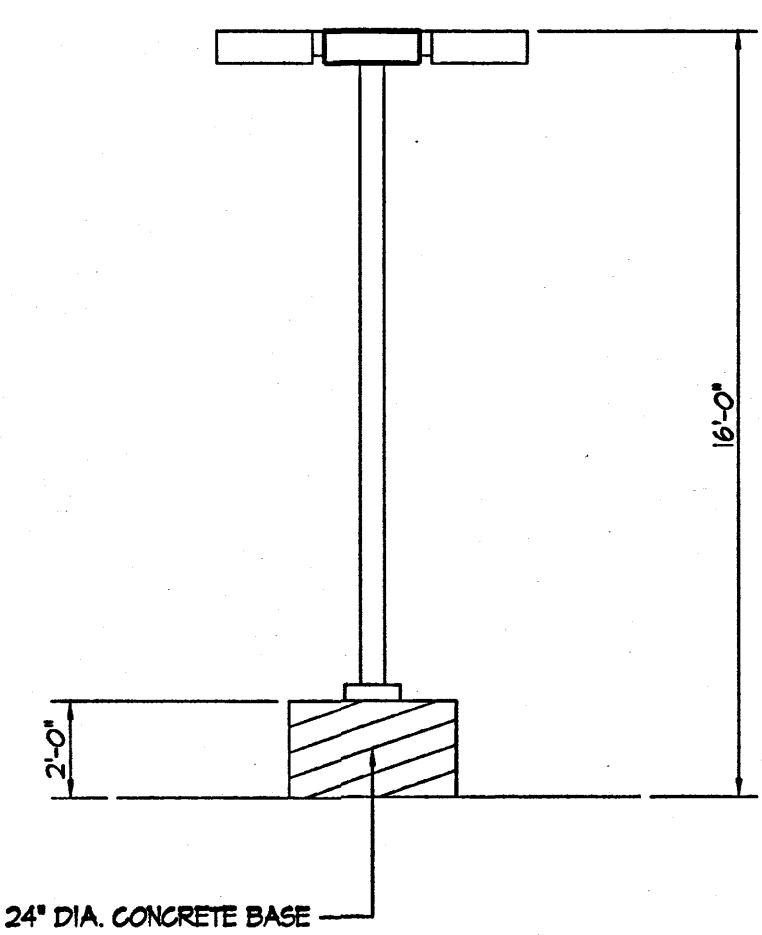
5 TURN-DOWN SIDEWALK - TYP.
SCALE: 1 1/2"=1'-0"



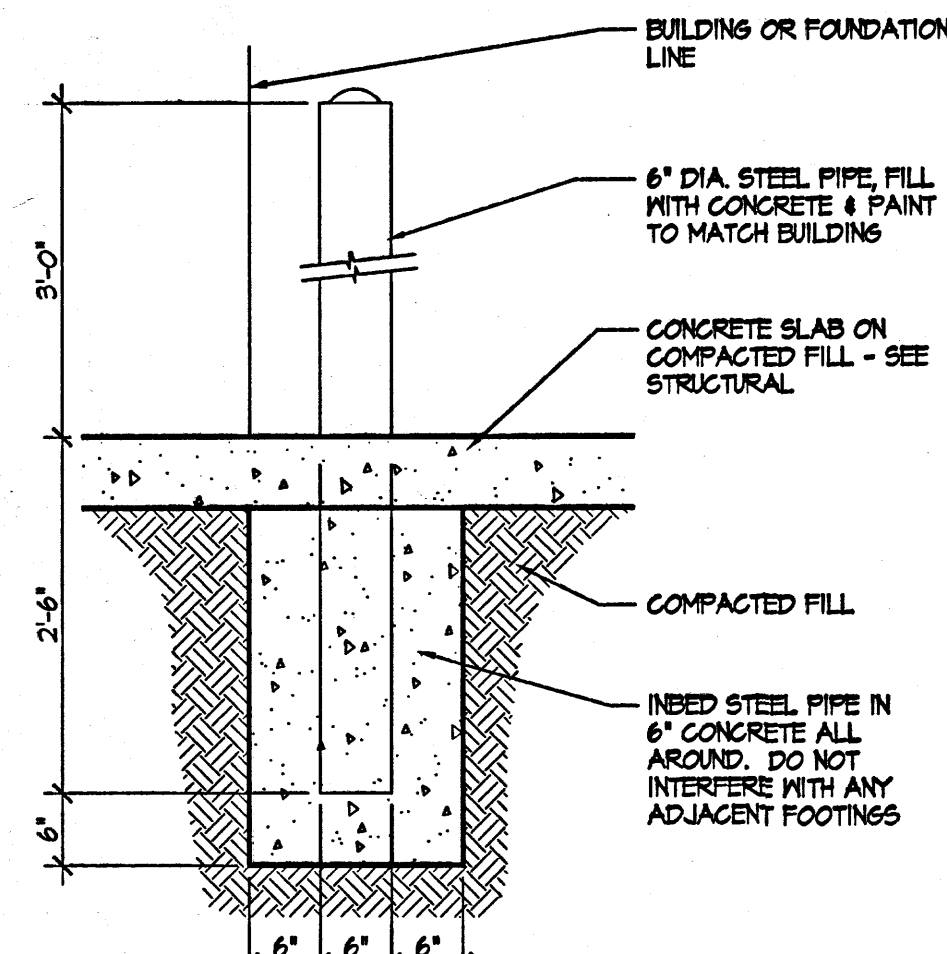
6 BICYCLE RACK
SCALE: 3/4"=1'-0"



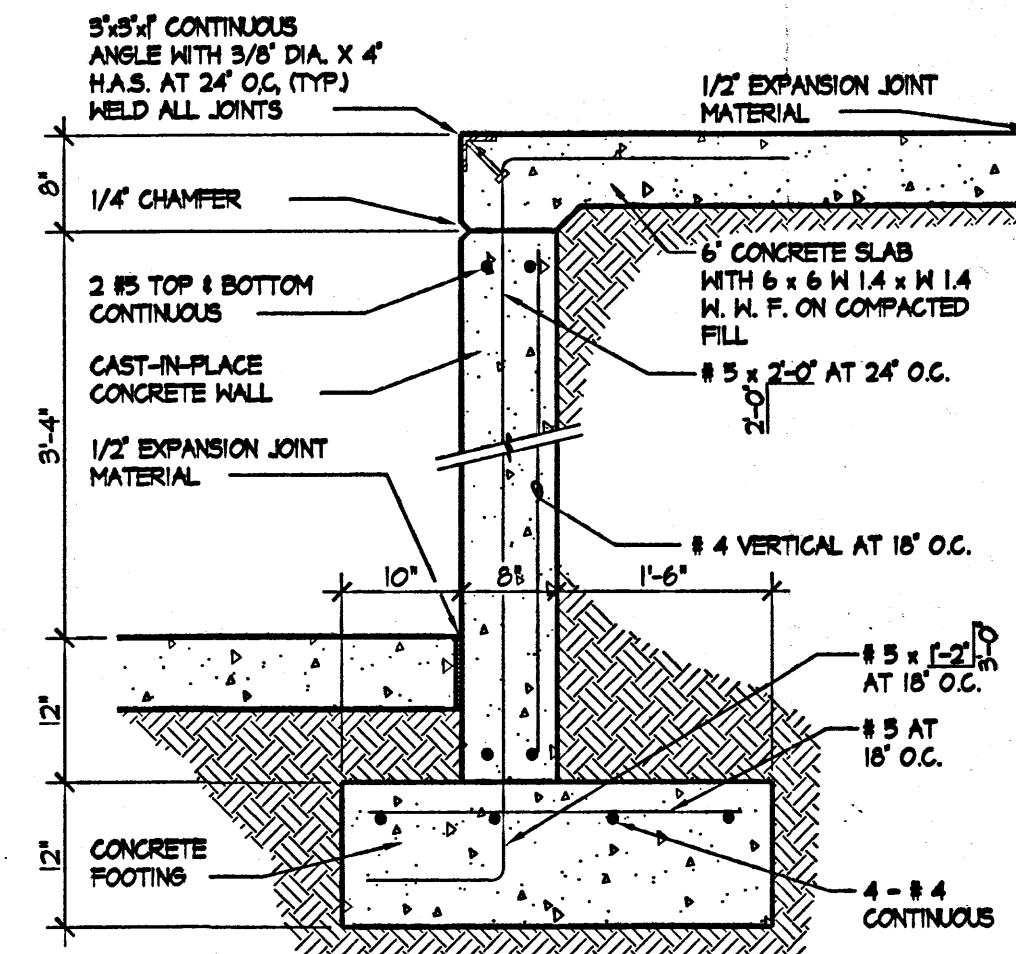
7 HANDICAP PARKING SIGN
SCALE: 3/4"=1'-0"



8 TYPICAL LIGHT POLE
SCALE: 3/4"=1'-0"



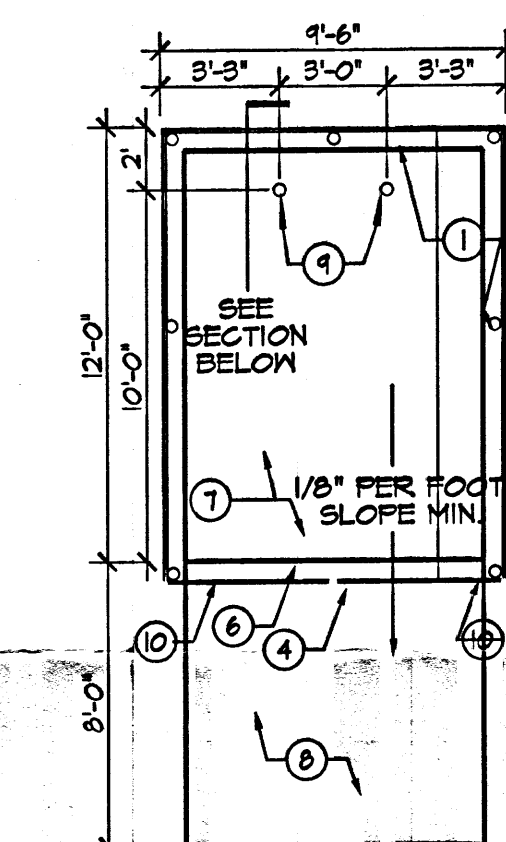
9 BOLLARD
SCALE: 3/4"=1'-0"



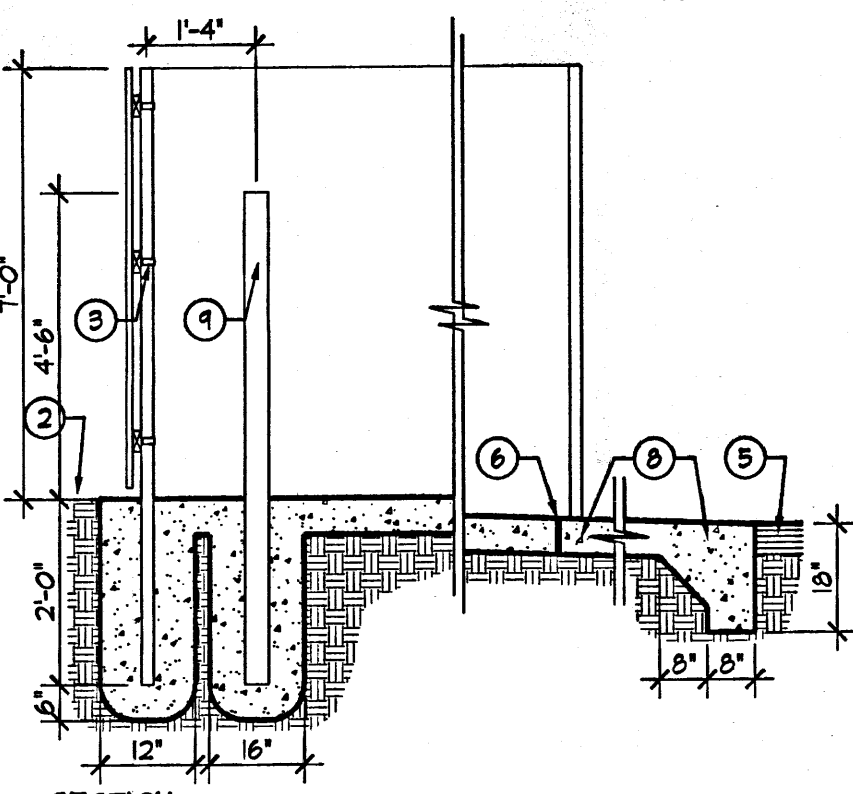
10 LOADING DOCK
SCALE: 3/4"=1'-0"

REFUSE NOTES

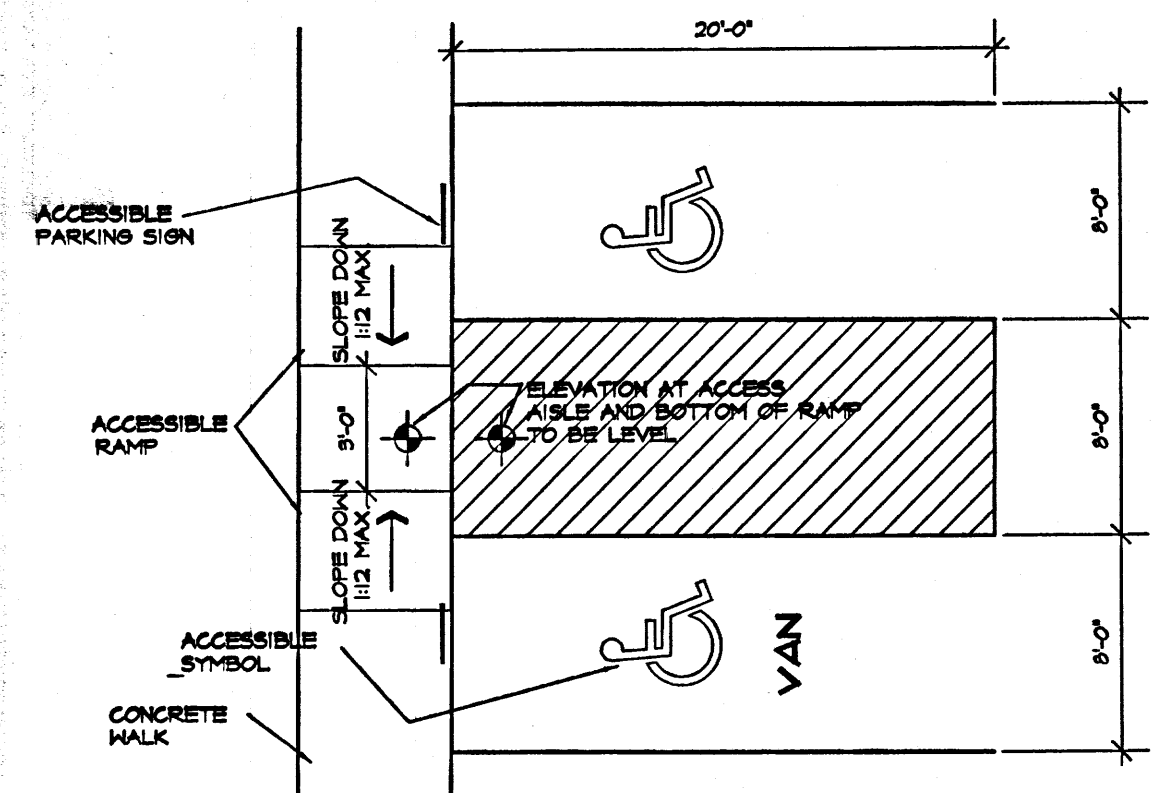
- WOOD FENCE PANELS ON 2" STEEL POSTS - 7'-0" TALL AND 5" DIA. POSTS 12" FROM EDGE
- FINISH GRADE
- METAL SUPPORT STRAPS
- PROVIDE SLIDE ANCHORS @ GATE LEAFS
- ASPHALT PAVING
- 1/2" EXPANSION JOINT MATERIAL
- 6" CONCRETE SLAB, 4000 PSI, 3/4" AGGREGATE WITH 6X6 - 10X10 W/M W/ TURNDOWN EDGE
- 4" CONCRETE FILLED PIPE IN 16" DIA. X 2'-6" DEEP CONC. FOOTING, PAINT TO MATCH ENCLOSURE COLOR
- 6" CEDAR PICKET GATES WITH NOTE "A" POSTS 11" TALL, WELD HEAVY DUTY HINGES TO PIPES.



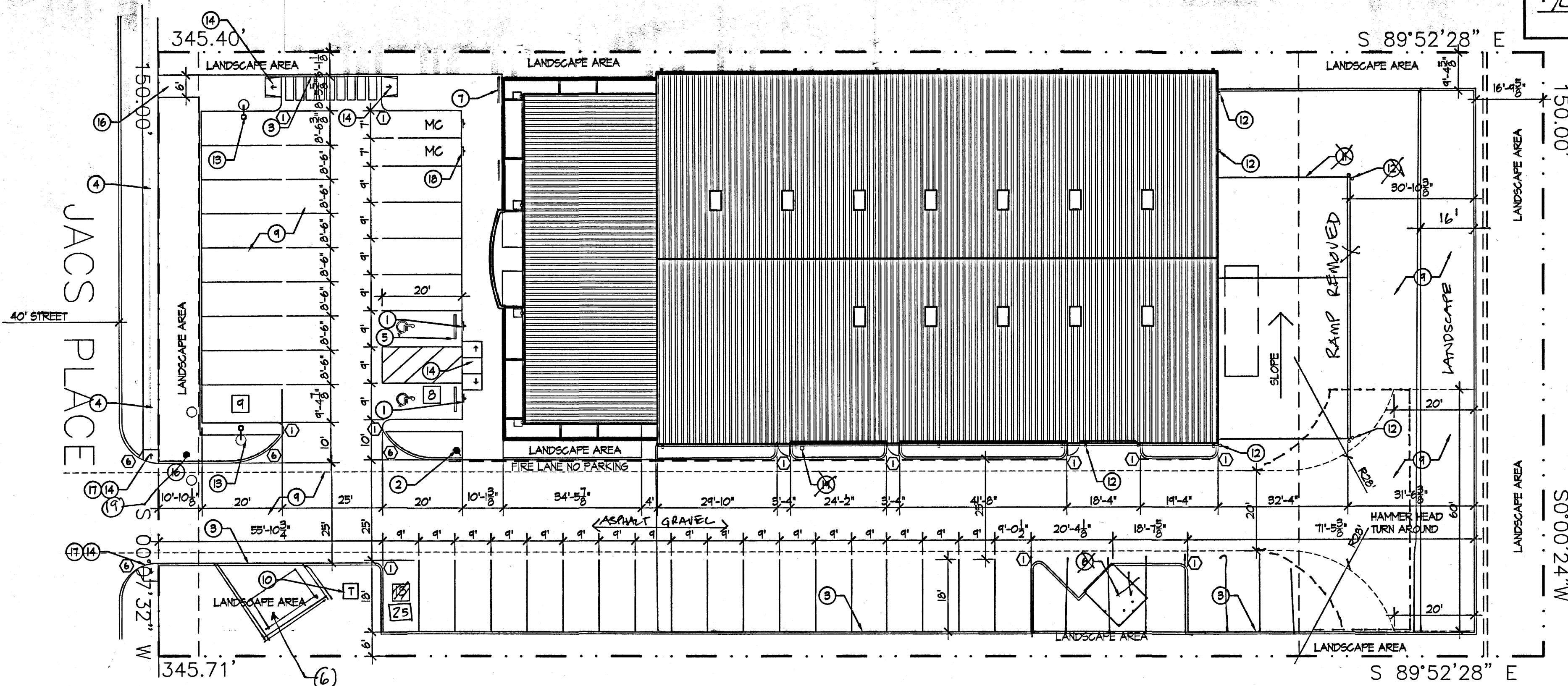
PLAN



11 REFUSE ENCLOSURE
SCALE: 3/8"=1'-0"



12 DISABLED PARKING DETAIL
SCALE: 3/8"=1'-0"



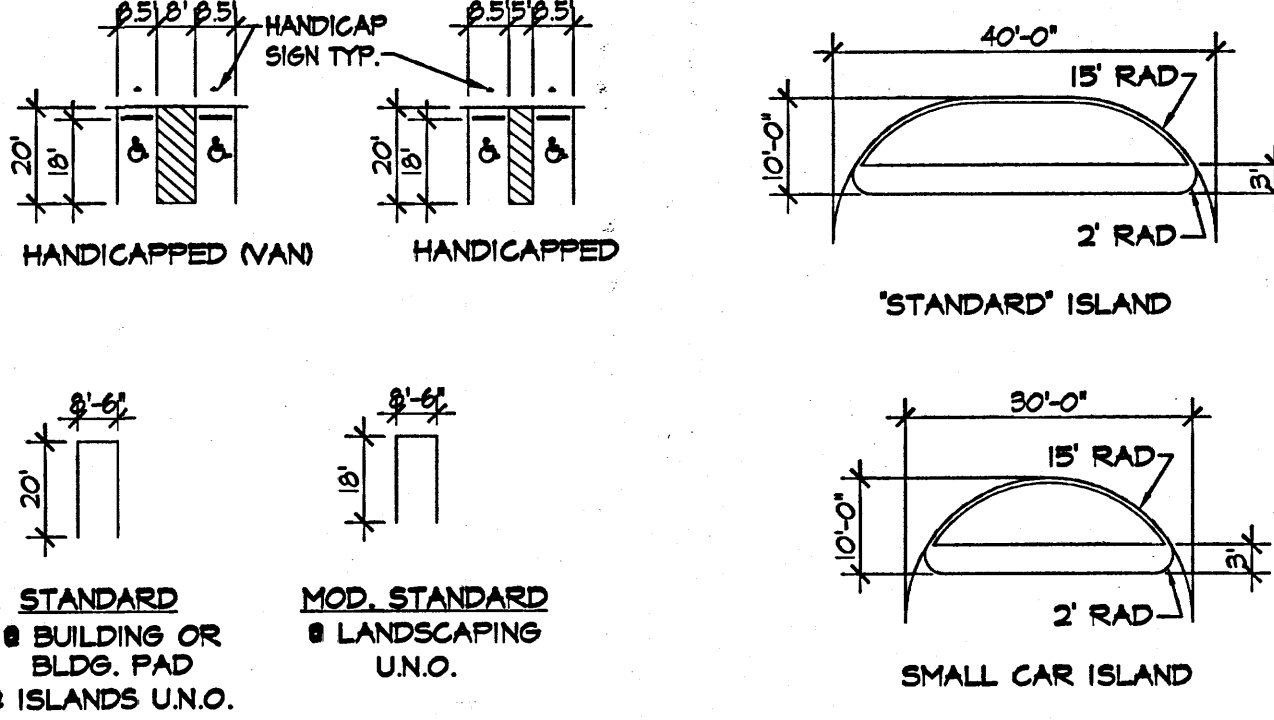
SITE PLAN
SCALE: 1"=20'-0"

LANDSCAPING PROVIDED:
REQUIRED LANDSCAPING:
LOT SIZE 51,832 SF
BUILDING SIZE 16,022 SF
51,832 - 16,022 SF = 35,810 X .15 = 5,371.5 SF
TOTAL REQUIRED LANDSCAPING = 5,372 SF
TOTAL PROVIDED LANDSCAPING = 10,991 SF
TOTAL PROVIDED LANDSCAPING = 30,997 SF

PARKING PROVIDED:
REQUIRED SPACES:
5,791 SF (OFFICE/SHOWROOM) 1 PER 200 = 19 SPACES
11,593 SF (MANUFACTURING) 1 PER 1000 = 12 SPACES
1 ACCESSIBLE AND 1 VAN AND 2 MOTORCYCLES INCLUDED
TOTAL REQUIRED 31
TOTAL PROVIDED SPACES 42

TRAFFIC CIRCULATION LAYOUT
APPROVED
Signed: [Signature] Date: 9/21/07

PARKING TYPES & ISLAND DETAILS



Public Infrastructure shown on these plans for information only and not part of approval. Separate DRC/Permit approval and Work Order required.

revisions
9-7-07
9-20-07
HYDROLOGY SECTION
SEP 2 2007

Job title
CRAIG SOWER'S CTM. CAB.
7900 JACS LANE NE
ALBUQUERQUE, NEW MEXICO 87109
PROJECT MANAGER
CHARLES TAFT HILDER
job no
26014
date
5-21-07
sheet title
SITE PLAN
by
STM

de la torre architecte, p.a. aia
2400 louisiana blvd ne
building 3 suite 110
albuquerque nm 87110 / 505.883.7918

sheet -
C1
of -

ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.

KEYED NOTES

- HANDICAP SIGN - 2 REQUIRED.
- NEW FIRE HYDRANT LOCATION TYPICAL OF 1 LOCATIONS.
- NEW STANDUP CURB TYPICAL - SEE DETAIL 1/C1
- NEW SIDEWALK TYPICAL - SEE DETAIL 2/C1
- NEW PARKING BUMPER - 2 REQUIRED - SEE DETAIL 4/C1
- NEW REFUSE CONTAINER BY OWNER
- NEW RIBBON STYLE BIKE RACK 5 SPACES
- FIRE LANE FOR FIRE DEPARTMENT ACCESS ONLY, TO BE PAINTED RED AND LABELED "FIRE LANE - NO PARKING" IN 4" HIGH BLOCK LETTERS EVERY 20'-0" ON FACE OF CURB.
- HEAVY DUTY ASPHALT PAVING TYPICAL, SEE PAVING SECTION.
- INDICATES PROPOSED LOCATION OF PFM TRANSFORMER.
- LOADING DOCK - SEE 10/C1
- 4" PIPE BOLLARD TYPICAL
- NEW 30" MAX. HEIGHT LIGHT POLES TYPICAL OF (3) LOCATIONS. LIGHT LEVELS SHALL MEET ALL ZONING AND NIGHT SKY REGULATIONS
- HANDICAP RAMPS TO SLOPE UP 1/12 IN DIRECTION SHOWN. CONSTRUCT RAMP PER COA DETAIL 2426 @ PUBLIC SIDEWALK.
- NEW REFUSE ENCLOSURE
- 6'-0" WIDE PEDESTRIAN CONNECTION TO CITY SIDEWALK.
- YELLOW PAINTED TRUNCATED DOMES AT CROSSWALKS AND RAMPS WITHIN CITY RIGHT OF WAY
- MOTORCYCLE PARKING SIGN
- POST INDICATOR VALVE

GENERAL NOTES

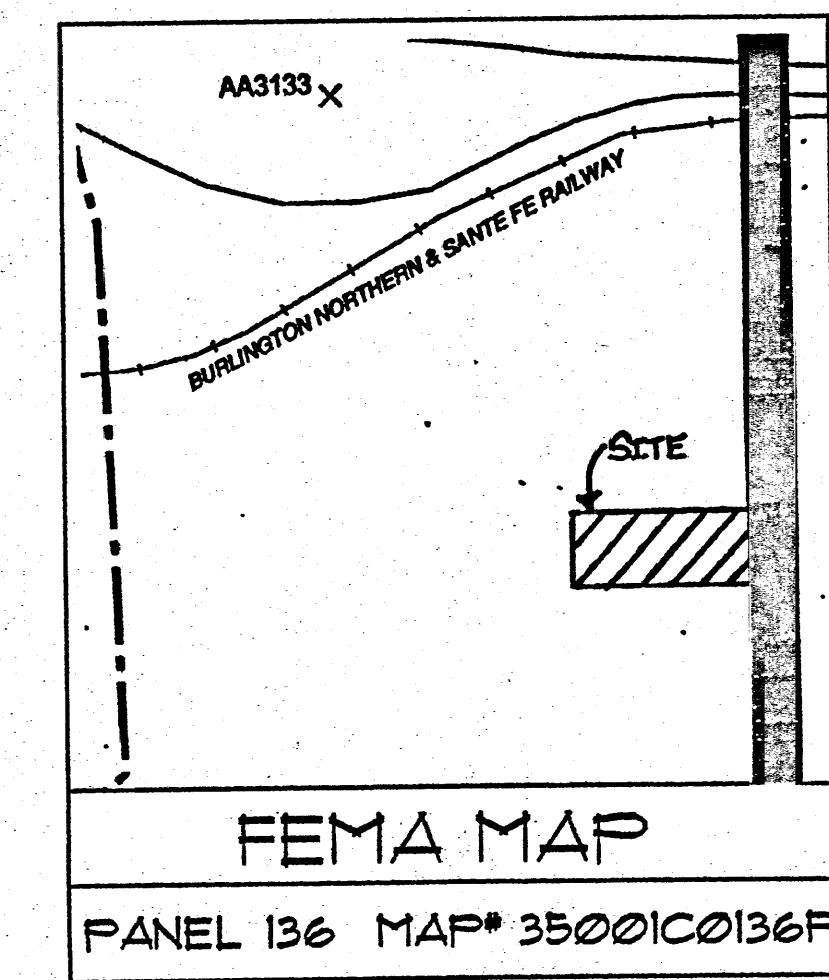
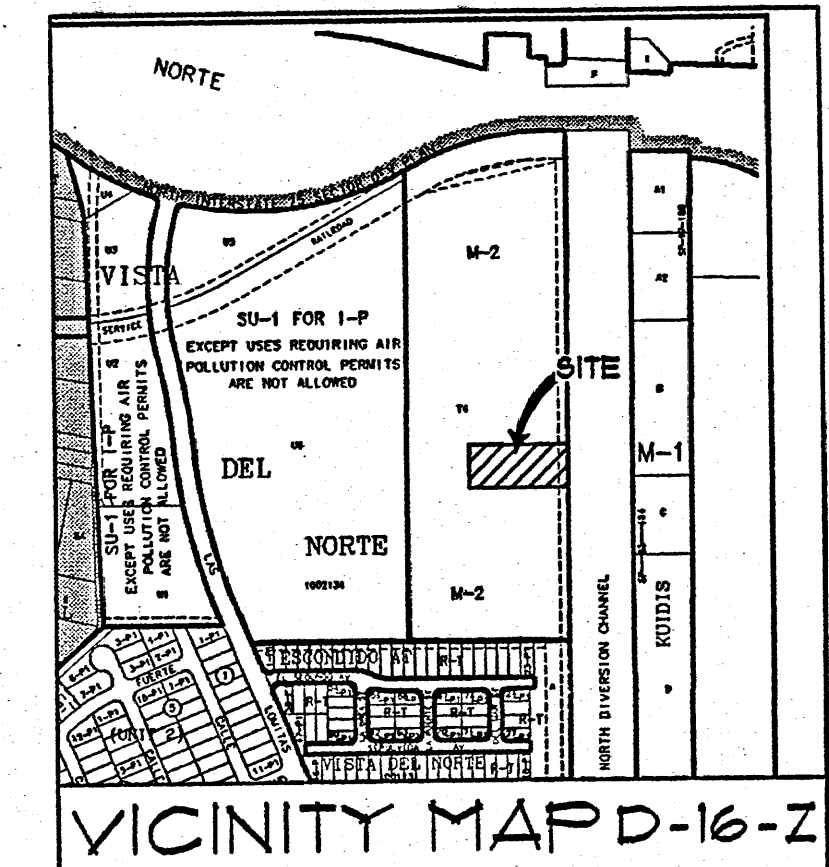
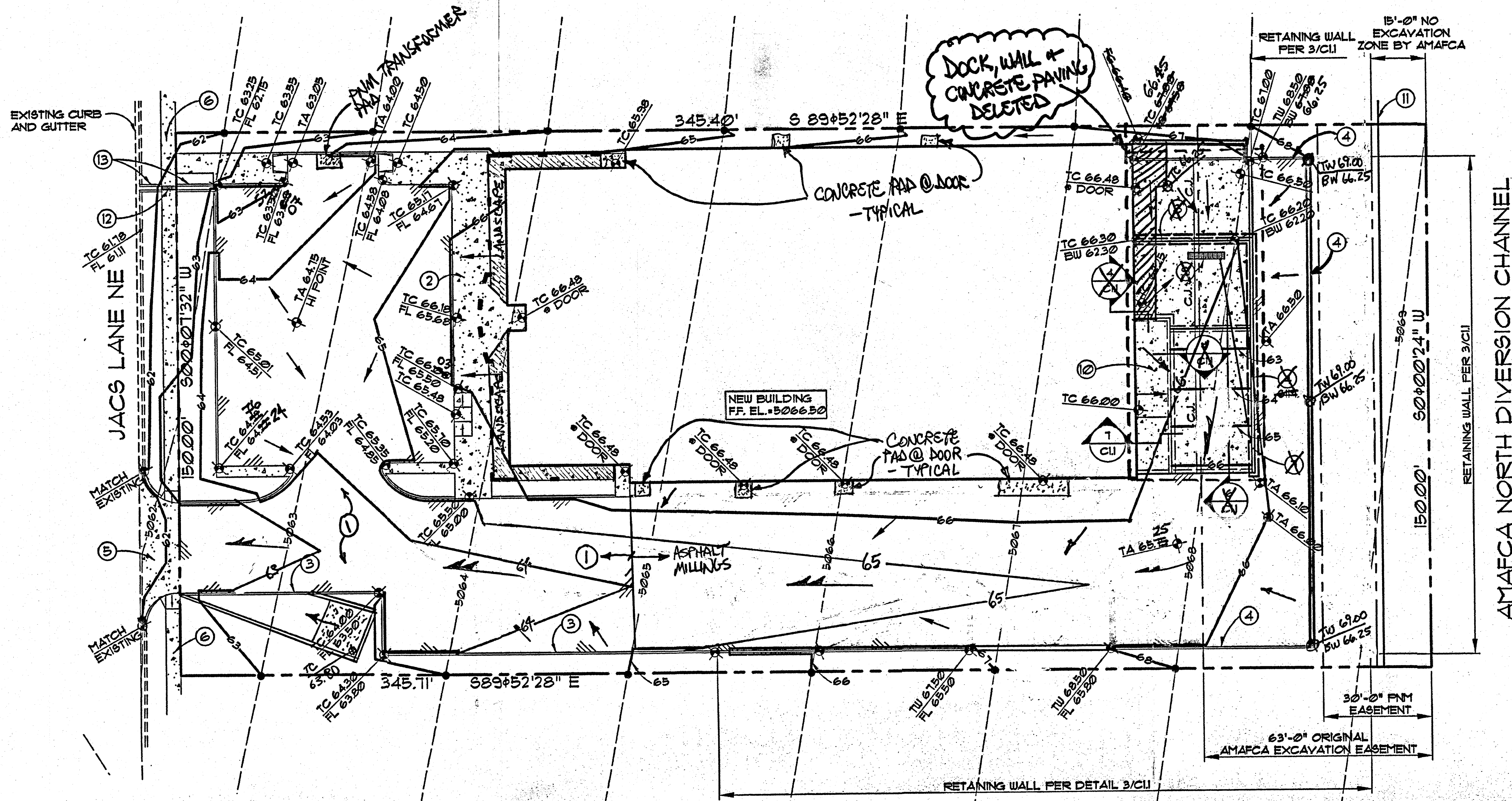
- EXTEND ELECTRIC PRIMARY CONDUIT TO NEW TRANSFORMER LOCATION SHOWN ON PLAN. COORDINATE WITH PFM FOR EXACT REQUIREMENTS AND LOCATION.
- REMOVE/RELOCATE/COORDINATE ANY AFFECTED UTILITIES, POWER POLES, LIGHT POLES, ETC. AS REQUIRED TO ACCOMMODATE PROPOSED CONSTRUCTION.

RADIUS LEGEND

- | | |
|--------------|--------------|
| ① 2' RADIUS | ⑥ 15' RADIUS |
| ② 3' RADIUS | ⑦ 20' RADIUS |
| ③ 4' RADIUS | ⑧ 25' RADIUS |
| ④ 5' RADIUS | ⑨ 30' RADIUS |
| ⑤ 10' RADIUS | ⑩ 50' RADIUS |

GENERAL NOTES - CITY REQUIRED

- THE RESPONSIBLE PARTY MUST RECTIFY ALL UNAPPROVED CONSTRUCTION RESULTING FROM ERRORS ON THE APPROVED SITE PLAN.
- THIS SITE PLAN HAS BEEN APPROVED AND ACCEPTED BY ALL PARTIES. ANY FIELD CHANGES NOT EXCEPTED BY THE TRAFFIC ENGINEER AFTER APPROVAL WILL RESULT IN (1) UNLAWFUL DELAY OF INITIAL INSPECTION FOR TEMPORARY CERTIFICATE OF OCCUPANCY IN ORDER TO CORRECT UNAPPROVED WORK, AND (2) INCREASE IN CONSTRUCTION COST TO RESPONSIBLE PARTIES.
- ALL ASPHALT AND CONCRETE CONSTRUCTION MUST BE 100% COMPLETE BEFORE INITIAL INSPECTION FOR TEMPORARY C.O. WILL BE SCHEDULED.
- ALL SIDEWALK AND C&B IN DISREPAIR WILL BE REMOVED AND REPLACED.
- CONSTRUCT DRIVEWAY PER CITY OF ALBUQUERQUE STANDARD DETAIL DMS. NO. 2425
- CONTRACTOR MUST BE MADE AWARE THAT ANY AGREEMENT WITH THE OWNER STATING PORTIONS OF THIS BUILDING PERMIT WORK TO BE COMPLETED BY THE OWNER, OR A REPRESENTATIVE, WILL MEAN CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED UNTIL ALL WORK IS FINISHED.
- CERTIFICATION BY THE DESIGNER OF RECORD, REQUIRED BY THE TRANSPORTATION SECTION, NEEDS TO STATE THAT THIS SITE WAS CONSTRUCTED IN ACCORDANCE WITH THE TRAFFIC CIRCULATION LAYOUT (TCL) BEFORE C.O. IS RELEASED.
- CONSTRUCT VALLEY GUTTER PRIVATE ACCESS DRIVE PER CITY OF ALBUQUERQUE STANDARD DETAIL DMS. NO. 2420.



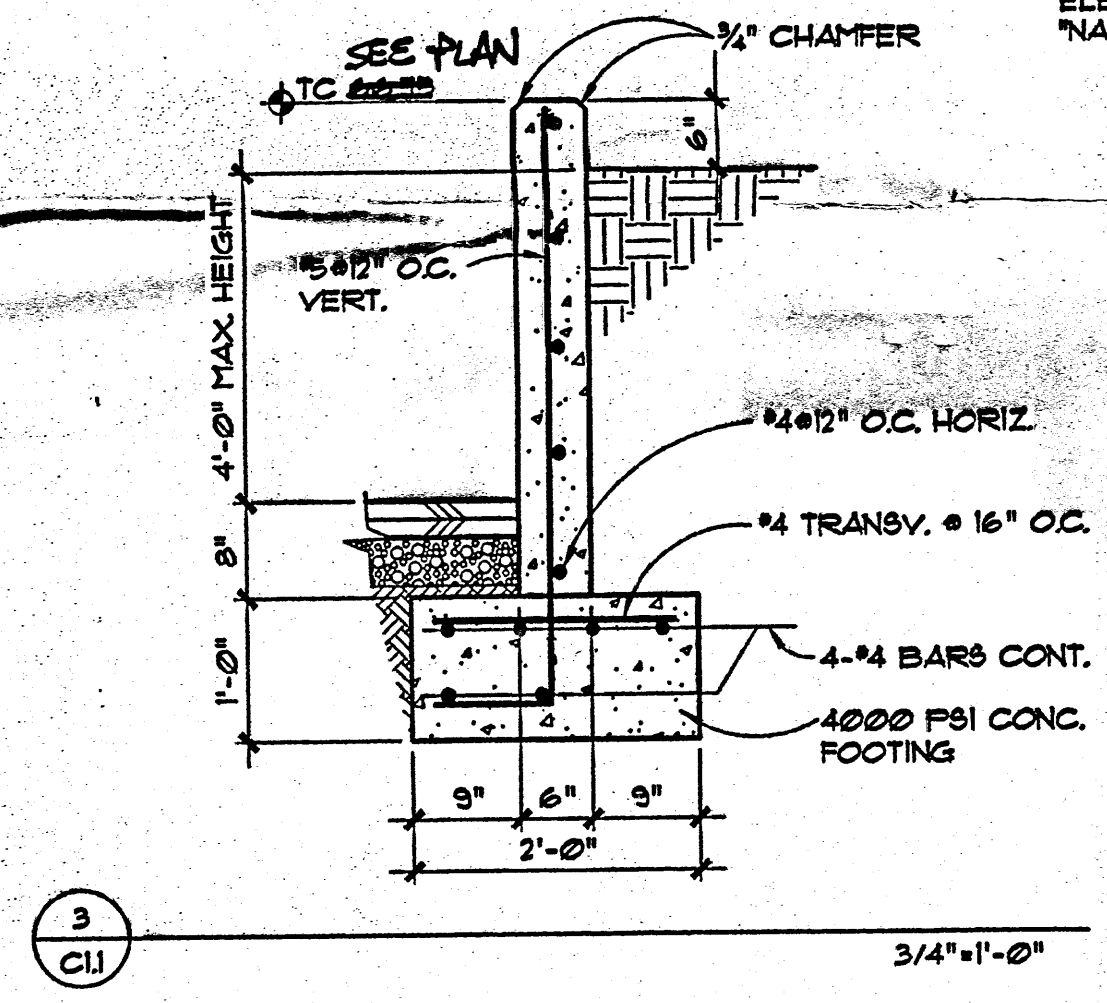
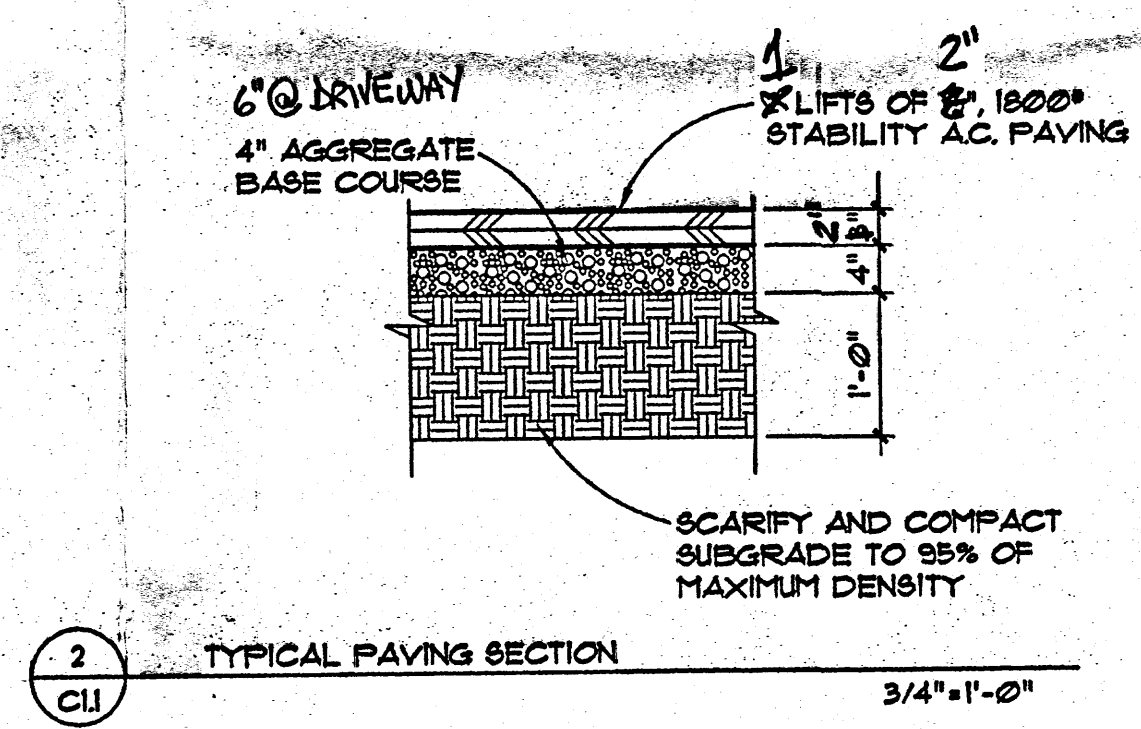
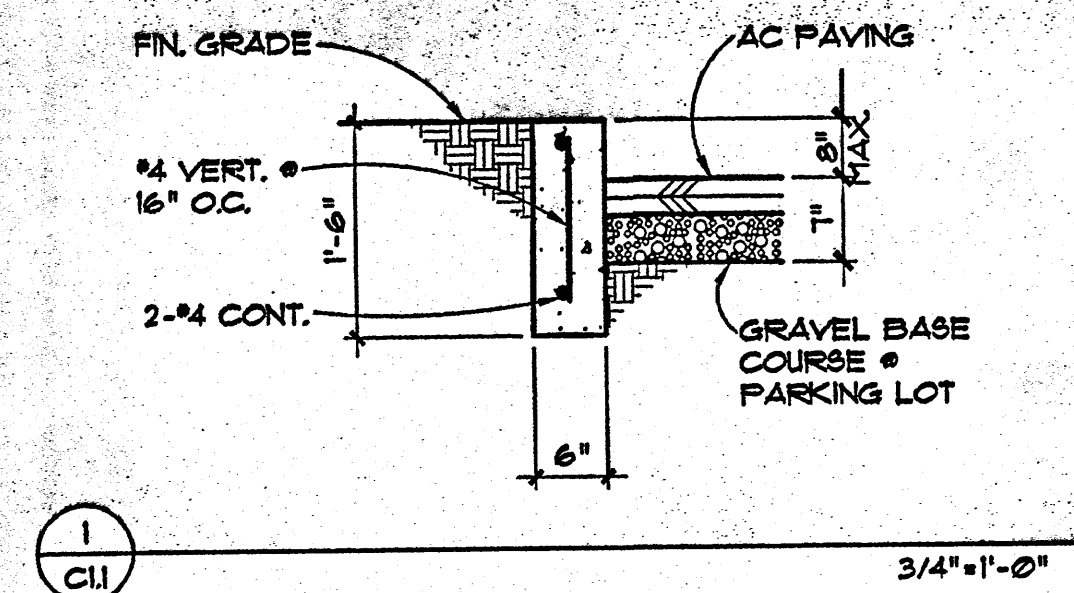
- ### KEYED NOTES
- 3" AC PAVING OVER 4" AGGREGATE BASE COURSE PER DETAIL 2/CII.
 - 4", 4000 PSI, AIR-ENTRAINED CONCRETE SIDEWALK.
 - 4000 PSI CONCRETE CURB PER DETAIL 1/CII.
 - RETAINING WALL - SEE DETAIL 3/CII.
 - CONCRETE DRIVE PAD PER C.O.A. STANDARD DRAWING DETAIL 2425.
 - CONCRETE SIDEWALK PER C.O.A. STANDARD DRAWING DETAIL 2430.
 - 4" PVC FORCE MAIN THRU WALL - INVERT ELEVATION OUT=6620.
 - DOCK WALL PER DETAIL 4001. NOT USED.
 - DROP INLET WITH POT PER DETAIL 3/CII. T.S. ELEV.=6620. NOT USED.
 - 6" CONCRETE SLAB REINFORCED W/ #4 @ 16" O.C. EACH WAY OVER SUBGRADE COMPACTED TO 95% OF MAXIMUM DENSITY.
 - LOCATION OF FNM 16" VHP LINE-VERIFIED BY POT HOLING.
 - 12" WIDE SIDEWALK CULVERT PER C.O.A. STD. DRWG. 2236.
 - CONCRETE CHANNEL PER DETAIL 8/CII.
- ### DESIGN NARRATIVE
- THE SUBJECT PROPERTY IS A NEWLY DEVELOPED SITE LOCATED JUST SOUTH OF PASEO DEL NORTE AND WEST OF THE NORTH DIVERSION CHANNEL. THE SITE SLOPES TOWARD THE NEW STREET WHICH IS DESIGNED TO COLLECT STORM RUNOFF IN CURBS AND GUTTERS, AND DROP INLETS AND THEN A 36" DIA. STORM DRAIN LINE THAT FLOWS WEST TO DOWN STREAM FACILITIES. THE IMPROVED SITE IS DESIGNED TO DIRECT DEVELOPED FLOWS IN THE SAME FASHION. THE ORIGINAL 63'-0" EASEMENT FOR RESTRICTION OF EXCAVATION FOR AMAFCA AT THE EAST END OF THE SITE HAS BEEN REDUCED TO 15'-0" BY AGREEMENT BY LYNN MAZUR OF AMAFCA.
- ### LEGAL DESCRIPTION
- LOT 4, TRACT 4, VISTA DEL NORTE SUBDIVISION, BERNALILLO COUNTY, NEW MEXICO.
- ### BENCHMARK
- ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE STATION NO. "NAA-9", HAVING AN ELEVATION OF 5069.21

GRADING AND DRAINAGE PLAN

1"=20'

HYDROLOGY CALCULATIONS

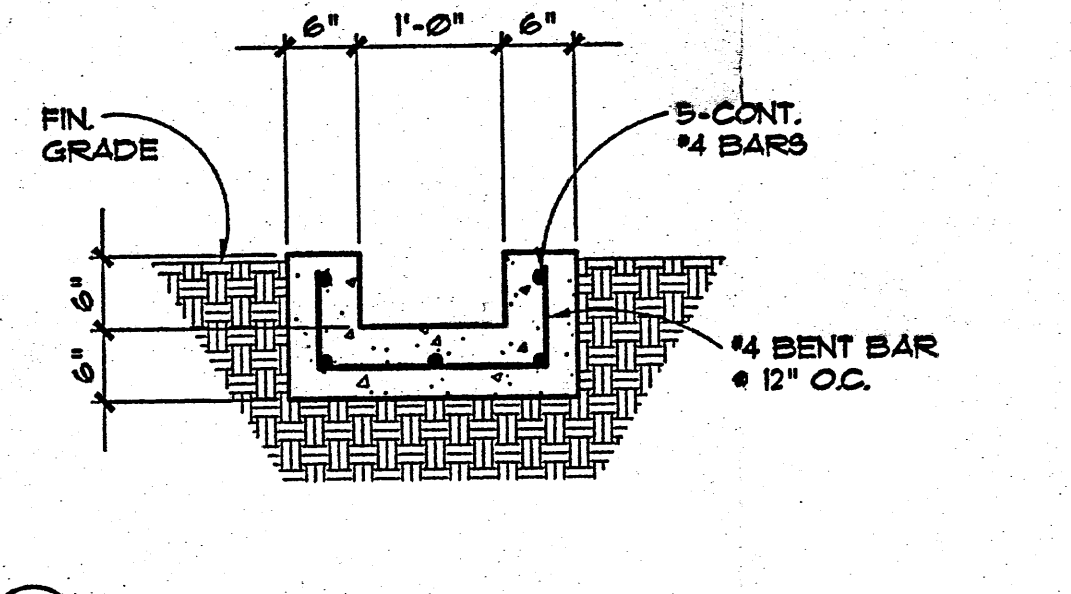
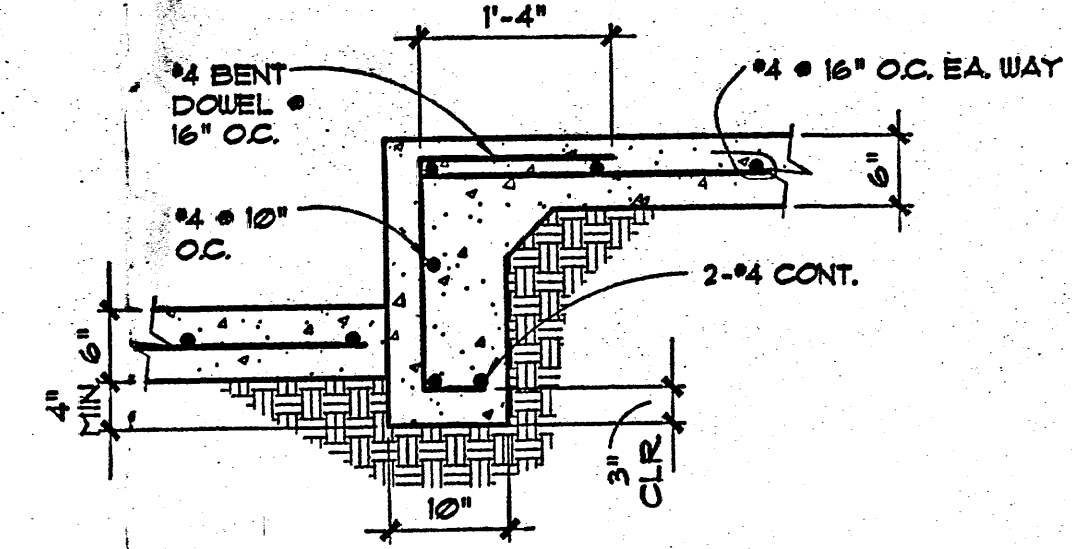
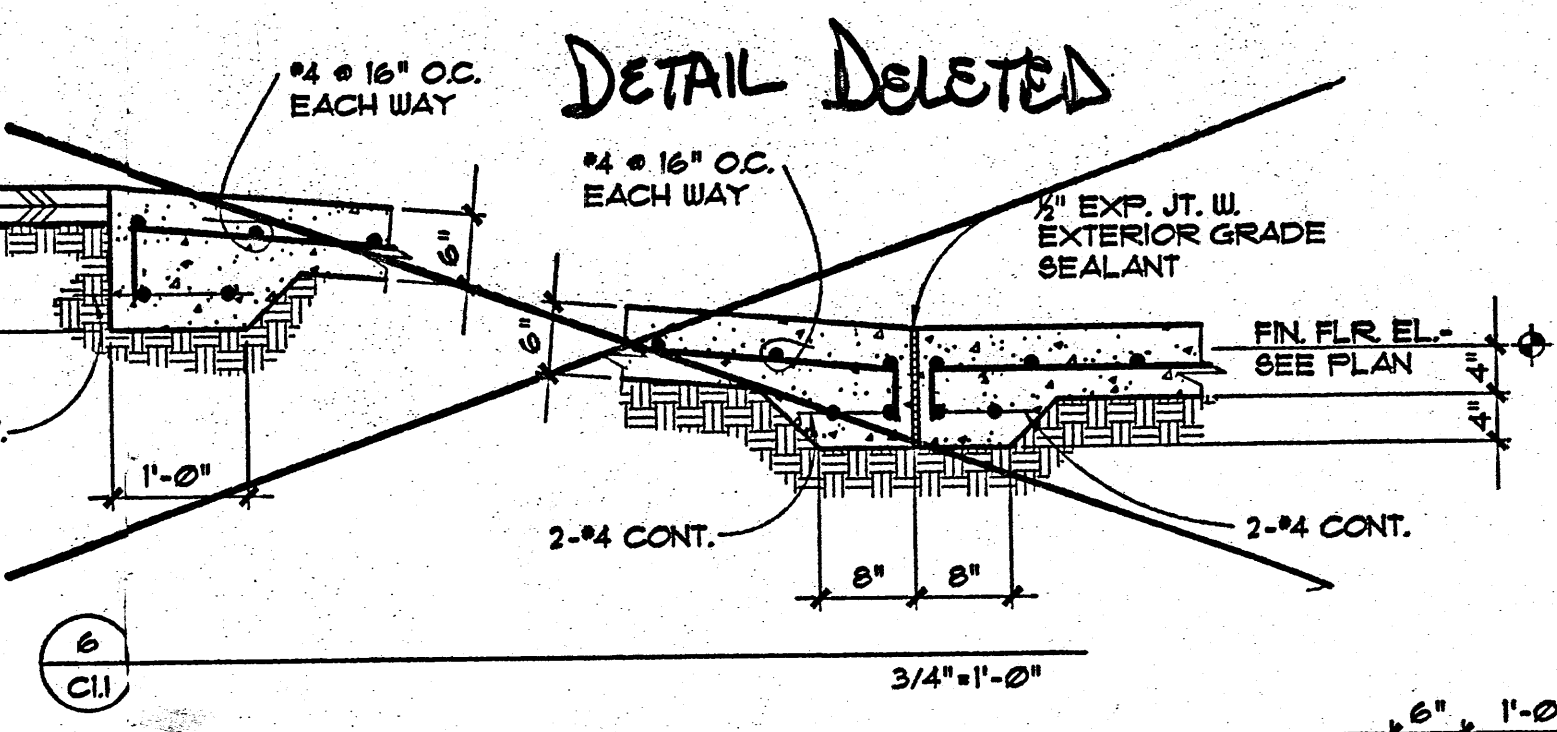
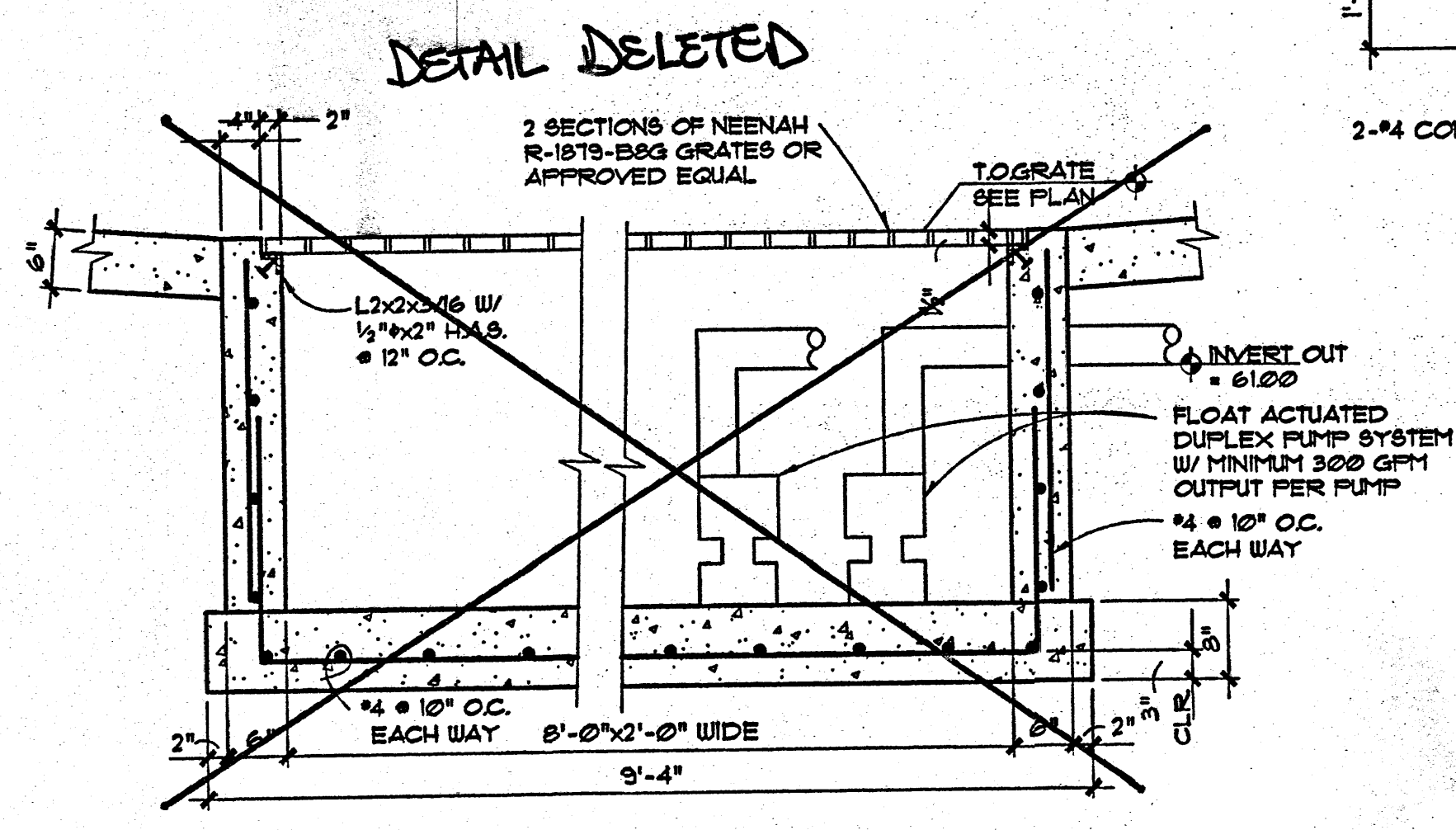
PRECIPITATION ZONE 2 DESIGN STORM: (IN)		1hr	6hr	24hr	4day	10day
		2.01	2.35	2.15	3.30	3.95
ORIGINAL CONDITIONS-ENTIRE SITE						
LAND TRMT	AREA (ACRE)	F6	Q (CFS/AC)	Q (CFS)	V6 (CF)	V24 (CF)
A	0.000	0%	0.53	156	0.00	0
B	0.000	0%	0.18	228	0.00	0
C	1.150	100%	1.13	3.14	4.881	4.881
D	0.000	0%	2.12	4.10	0.00	0
TOTALS	1.150	100%	3.14	4.881	4.881	4.881
PROPOSED CONDITIONS-ENTIRE SITE						
LAND TRMT	AREA (ACRE)	F6	Q (CFS/AC)	Q (CFS)	V6 (CF)	V24 (CF)
A	0.000	0%	0.53	156	0.00	0
B	0.150	16%	0.18	228	0.43	538
C	0.000	0%	1.13	3.14	0.71	0
D	1.000	84%	2.12	4.10	4.10	11,144
TOTALS	1.150	100%	5.13	8,234	9,686	11,682



- ### LEGEND
- PROPERTY LINE
 - NEW BUILDING LINE
 - 5105 --- EXISTING CONTOUR
 - NEW CONTOUR
 - 66.25 NEW SPOT ELEVATION
 - 10.67 EXISTING SPOT ELEVATION
 - NEW FLOW DIRECTION ARROW
 - TA TOP OF ASPHALT
 - TC TOP OF CONCRETE
 - INV INVERT
 - FG FINISHED GRADE
 - FL FLOW LINE
 - TW TOP OF WALL
 - BW BASE OF WALL
 - TG TOP OF GRATE
 - NEW CONCRETE PAVING
 - NEW AC PAVING
 - SWALE
 - ROOF DRAIN LOCATION

I, MIKE WALLA NMPE 10330, OF THE FIRM WALLA ENGINEERING LTD. HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 10-10-07. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY D.A. BAKER, CONTRACTOR. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 1-19-09 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATION OF OCCUPANCY. THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THE PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

MIKE WALLA NMPE 10330
DATE 1/19/09



Walla Engineering
Structural Engineering
Civil Engineering
8100 Indian School Road NE, Suite 210
Albuquerque, NM 87110
881-3009 • Facsimile 881-4025

RECEIVED
JAN 20 2009
HYDROLOGY SECTION

revisions

Job title	SOWER'S CABINETS	7190
LOT 4, TRACT 4, VISTA DEL NORTE		
ALBUQUERQUE, NEW MEXICO		
PROJECT MANAGER	CHARLES WILDER	job no 26014
sheet title	GRADING AND DRAINAGE PLAN	by KKG

de la torre architecte.p.a.lla
2400 bulevara blvd ne
building 3 suite 110
albuquerque n.m. 87110 • 505 • 883 • 7918