

DRAINAGE (CONCEPTUAL) PLAN

I. INTRODUCTION AND EXECUTIVE SUMMARY

THIS PROJECT, IDENTIFIED AS SUBDIVISION OF TRACT T-4, VISTA DEL NORTE, IS LOCATED IN THE NORTH VALLEY JUST SOUTH OF PASEO DEL NORTE BLVD. AND EL PUEBLO ROAD, AND WEST OF AND ADJACENT TO THE AMAFCA NORTH DIVERSION CHANNEL. TRACT T-4 IS CURRENTLY A VACANT TRACT CONSISTING OF 22.654 ACRES, AND IS PROPOSED TO BE SUBDIVIDED INTO 13 LOTS, RANGING IN SIZE FROM 0.5245 ACRES TO 4.3973 ACRES. THE TRACT IS ZONED M-2.

THIS TRACT WAS IDENTIFIED ON A MASTER DRAINAGE PLAN TO ALLOW DISCHARGE, OF THE RUNOFF TO A REGIONAL DETENTION POND LOCATED ON TR U-1, WEST OF TR T-4.

THIS PLAN ANALYZES DRAINAGE FROM ONLY TR T-4, RUNOFF WILL DISCHARGE TO POND LOCATED ON TR U-1 (LAS LOMITAS BUSINESS PARK SUBDIVISION). THE STORM SEWER IS SIZED TO ACCOMMODATE RUNOFF FROM TR T-4.

THIS SUBMITTAL IS MADE IN SUPPORT OF SUBDIVISION PLAT, SITE PLAN FOR SUBDIVISION, GRADING PERMIT AND APPROVALS FOR CONSTRUCTION PURPOSES.

II. PROJECT DESCRIPTION

AS SHOWN BY THE VICINITY MAP, THE SITE IS LOCATED ON THE SOUTH SIDE OF PASEO DEL NORTE BLVD. AND EL PUEBLO ROAD, WEST OF AND ADJACENT TO THE AMAFCA NORTH DIVERSION CHANNEL AS SHOWN ON ZONE ATLAS PAGE D-16. THE CURRENT LEGAL DESCRIPTION IS TRACT T-4, VISTA DEL NORTE, AS SHOWN BY PANEL 136 OF 825 OF THE NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAPS PUBLISHED BY FEMA FOR BERNALILLO COUNTY, NEW MEXICO, SEPTEMBER 20, 1996. THIS SITE DOES NOT LIE WITHIN A DESIGNATED FLOOD HAZARD ZONE. THE SITE DOES LIE ADJACENT TO THE NORTH DIVERSION CHANNEL, DESIGNATED AS BEING A FLOOD HAZARD ZONE A.

III. EXISTING CONDITIONS

AT PRESENT, THE SITE IS VACANT. THE SITE GENERALLY SLOPES FROM THE NORTHEAST CORNER TO THE WEST AND THE SOUTHWEST. THIS SITE IS NOT SUBJECT TO OFFSITE FLOWS AS THE LANDS TO THE WEST AND SOUTH ARE MUCH LOWER IN ELEVATION THAN THIS SITE. THE NORTH DIVERSION CHANNEL IS LOCATED TO THE EAST. EL PUEBLO ROAD AND THE RAILROAD TRACKS LOCATED NORTH OF THE SITE AT A LOWER ELEVATION THAN THE SITE, AND RUNOFF GENERATED FROM THE ROAD FLOWS TO THE NORTH AND WEST AND WILL NOT IMPACT THIS SITE.

THE LAND TO THE SOUTH HAD BEEN DEVELOPED INTO RESIDENTIAL LOTS. THE LAND TO THE WEST IS CURRENTLY VACANT, BUT IS IN THE PROCESS OF BEING DEVELOPED INTO INDUSTRIAL/COMMERCIAL LOTS.

IV. DEVELOPED CONDITIONS

THE TRACT WILL BE SUBDIVIDED INTO 13 LOTS RANGING IN SIZE FROM 0.5245 ACRES TO 4.3973 ACRES. THE TRACT WILL BE SERVED BY A PRIVATE PAVED ROADWAY EXTENDING FROM THE NORTHWEST CORNER OF THE TRACT THROUGH THE PROPERTY AND TERMINATE AT A CUL-DE-SAC AT THE NORTH EDGE OF LOTS 6&7. THE ROADWAY WILL BE GRADED TO DIRECT RUNOFF FROM THE RAILROAD TRACKS SOUTH TO THE LOW SPOT (ROADWAY STATION 7+39.91) AND FROM THE CUL-DE-SAC NORTH TO THE LOW SPOT. THE SITE WILL BE MASS GRADED TO DIRECT THE RUNOFF FROM THE LOTS TO THE ROADWAY. THE RUNOFF WILL BE INTERCEPTED BY A SERIES OF DROP INLETS AND STORM SEWER PIPING TO DIRECT THE RUNOFF TO THE WEST PROPERTY LINE AS SHOWN ON THE GRADING AND DRAINAGE PLAN.

V. CALCULATIONS

CALCULATIONS ANALYZING THE SITE IN THE DEVELOPED CONDITION FOR THE 100-YEAR, 6-HOUR RAINFALL EVENT HAVE BEEN PREPARED FOR THIS PROJECT. THE PROCEDURE FOR 40 ACRE OR SMALLER BASINS, AS SET FORTH IN THE REVISION OF SECTION 22.2, HYDROLOGY OF THE DEVELOPMENT PROCESS MANUAL, VOLUME 2, DESIGN CRITERIA, DATED JANUARY, 1993, HAS BEEN USED TO QUANTIFY THE PEAK RATE OF DISCHARGE AND VOLUME OF RUNOFF GENERATED.

THE SITE WAS SPLIT INTO 13 SUB-BASINS (IDENTIFIED AS SUB-BASIN I-1 THROUGH SUB-BASIN I-13). SUB-BASINS I-1 THRU I-7 ARE LOCATED ON THE EAST SIDE OF THE PROPOSED ROADWAY. SUB-BASINS I-8 THRU I-13 ARE LOCATED ON THE WEST SIDE OF THE PROPOSED ROADWAY. SUB-BASIN I-1 (0.31 AC) IS LOCATED ON THE NORTH PROPERTY LINE OF THE SITE AND INCLUDES A PORTION OF THE RAILROAD RIGHT-OF-WAY. AFTER THE PROPOSED IMPROVEMENTS ARE COMPLETE, THE RUNOFF GENERATED FROM SUB-BASIN I-1 WILL CONTINUE TO RUN OFF-SITE. THE RUNOFF FROM SUB-BASIN I-8 (0.16 AC), LOCATED ON THE SOUTH PROPERTY LINE OF THE SITE, WILL ALSO CONTINUE TO RUN OFF-SITE FOLLOWING THE COMPLETION OF THE IMPROVEMENTS.

100% OF THE RUNOFF FROM SUB-BASIN I-2 THROUGH SUB-BASIN I-7 AND SUB-BASINS I-9 THROUGH I-13 WILL BE INTERCEPTED BY THE PROPOSED ROADWAY AND WILL BE DIRECTED TO THE WEST PROPERTY LINE AND TO THE DETENTION POND DESCRIBED ABOVE.

SUMMARY OF DRAINAGE COMPUTATIONS, DEVELOPED (100YR/6HR)

PRECIPITATION ZONE 2 P₃₆₀ = 2.35 INCHES PEAK AT 1.5 HOURS

DRAINAGE AREA	AREA (acres)	LAND TREATMENT (ACRES)				Q ₁₀₀ (CFS)	V ₁₀₀ (AF)
		A	B	C	D		
Sub-basin I-1	0.31	0.03	0.28			1.39	0.05
Sub-basin I-2	2.42	0.24	2.18			10.80	0.40
Sub-basin I-3	2.17	0.22	1.95			9.69	0.36
Sub-basin I-4	2.33	0.23	2.10			10.43	0.39
Sub-basin I-5	1.26	0.13	1.13			5.56	0.21
Sub-basin I-6	1.82	0.16	1.66			7.15	0.26
Sub-basin I-7	5.61	0.56	5.04			25.12	0.93
Sub-basin I-8	0.16	0.02	0.14			0.73	0.03
Sub-basin I-9	2.78	0.28	2.52			12.57	0.47
Sub-basin I-10	0.81	0.08	0.72			3.73	0.14
Sub-basin I-11	0.64	0.06	0.58			2.94	0.11
Sub-basin I-12	1.18	0.12	1.06			5.30	0.20
Sub-basin I-13	1.36	0.14	1.22			6.09	0.23
TOTAL	22.65					101.50	
LESS SB I-1 and SB I-8						2.12	(2.0%)
TOTAL SB I-1 THRU I-7 AND I-9 THRU I-13						99.38	(98.0%)

CATCH BASIN CALCULATIONS

CATCH BASIN CALCULATIONS
USE: STORM INLET DOUBLE "C", CURB OPENING = 6.5'GRATING CAPACITIES FROM PLATE 22.3 D-6, DPM
CURB INLET CAPACITIES FROM CHART TITLED CAPACITY OF CURB OPENING INLETS (ORIGIN UNKNOWN)D₁'s @ STA 9+12.46 Q₁ =SUB-BASIN I-6 = 7.15 CFS
SUB-BASIN I-7 = 25.12 CFS
SUB-BASIN I-9 = 12.57 CFS
SUB-BASIN I-10 = 3.73 CFS
COMBINE = 48.57 CFS

= 48.57 CFS => D = 0.58' + 0.15' (DEPRESSED GRATE) = 0.73'

= CURB OPENING CAPACITY + (GRATE CAPACITY - 15%) =>

= [0.43 CFS/FT (6.5') + (12.25 CFS - 1.84 CFS)] X 2 => 26.41 CFS

Q₁ OVERFLOW = 48.57 CFS - 26.41 CFS = 22.16 CFSD₁'s @ STA 7+91.38 Q₂ =SUB-BASIN I-5 = 5.56 CFS
SUB-BASIN I-11 = 2.94 CFS
Q₁ OVERFLOW = 22.16 CFS
COMBINE = 30.66 CFS

= 30.66 CFS => D = 0.50' + 0.15' (DEPRESSED GRATE) = 0.65'

= [0.36 CFS/FT (6.5') + (10.0 - 1.50)] X 2 => 21.68 CFS

Q₂ OVERFLOW = 30.66 CFS - 21.68 CFS = 8.98 CFSD₁'s @ STA 5+00.00 Q₃ =SUB-BASIN I-2 = 10.8 CFS
SUB-BASIN I-3 = 9.69 CFS
SUB-BASIN I-13 = 6.09 CFS
COMBINE = 26.58 CFS

= 26.58 CFS => D = 0.46' + 0.15' (DEPRESSED GRATE) = 0.61'

= [0.33 CFS/FT (6.5') + (9.0 CFS - 1.35 CFS)] X 2 => 19.59 CFS

Q₃ OVERFLOW = 26.58 CFS - 19.59 CFS = 6.99 CFSD₁'s @ STA 7+39.91 Q₄ =SUB-BASIN I-4 = 10.43 CFS
SUB-BASIN I-12 = 5.30 CFS
Q₂ OVERFLOW = 8.98 CFS
Q₃ OVERFLOW = 6.99 CFS
COMBINE = 31.70 CFS

= 31.70 CFS => D = 0.49' + 0.15' (DEPRESSED GRATE) (USE 0.79' AVAILABLE)**

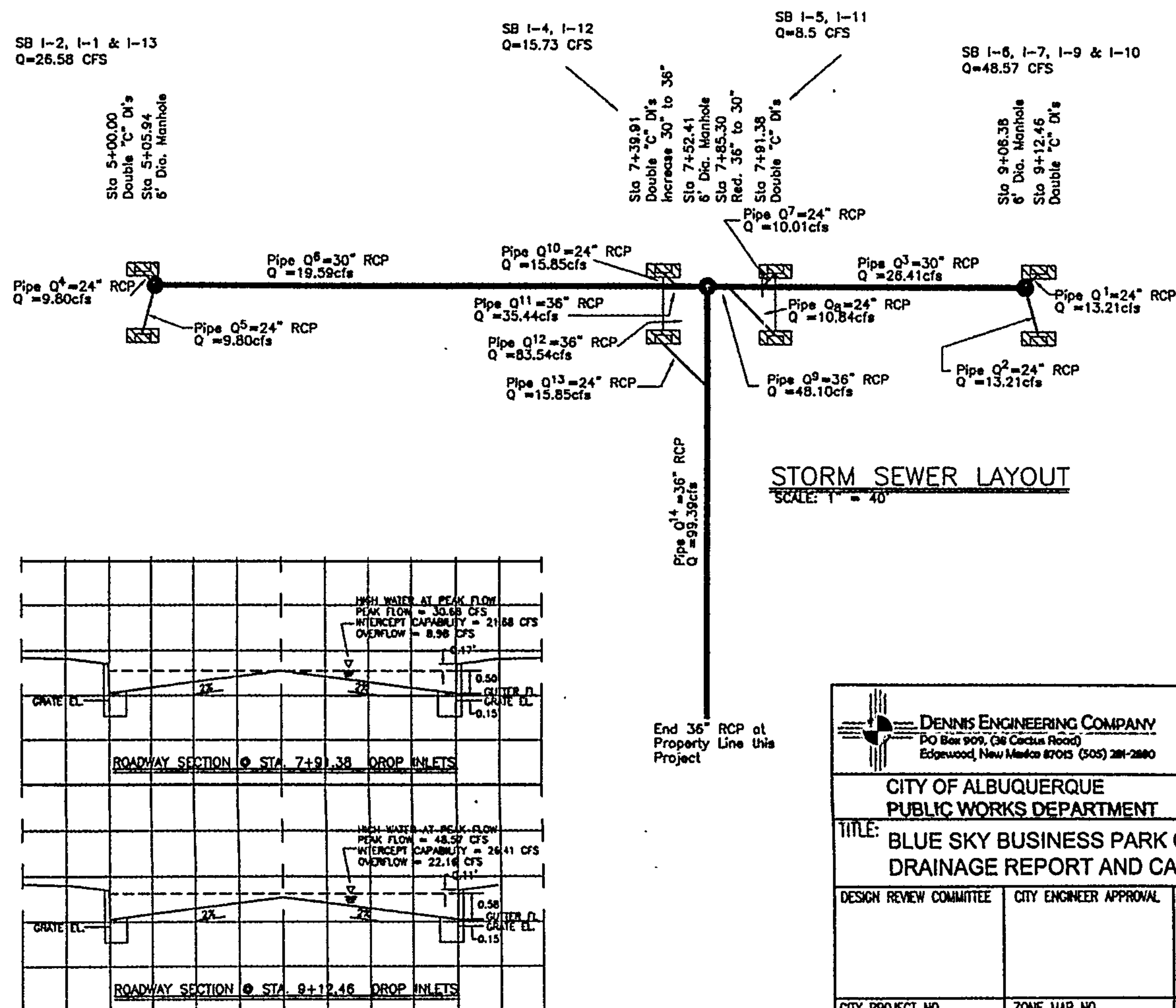
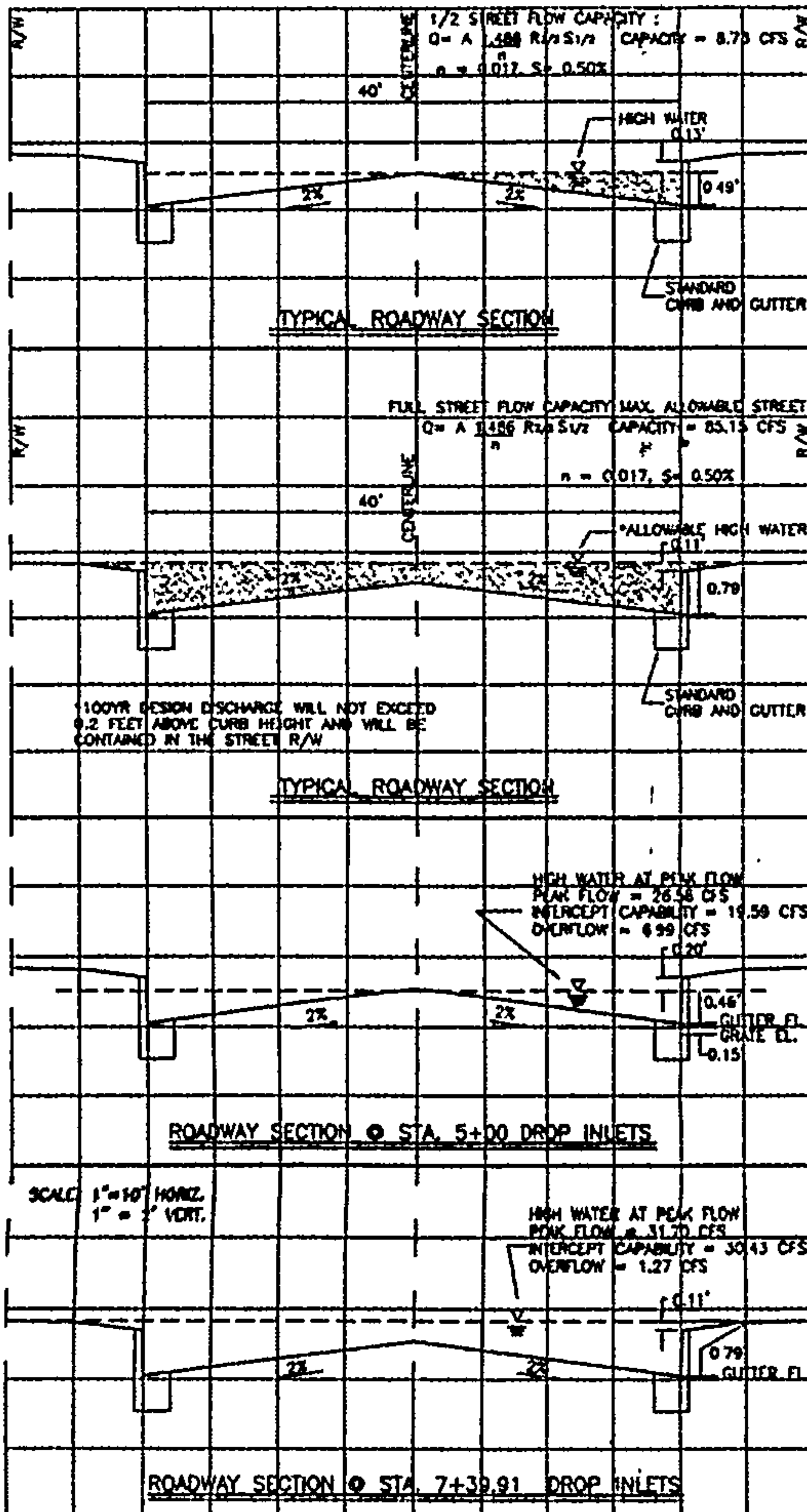
= [0.51 CFS/FT (6.5') + (14.0 CFS - 2.10 CFS)] X 2 => 30.43 CFS

OVERFLOW = 30.43 CFS - 31.70 CFS = +1.27 CFS*

*DI SYSTEM IS CONSIDERED TO HAVE ADEQUATE CAPACITY. THE CALCULATIONS INDICATE AN OVERFLOW OF 1.27 CFS WHICH WILL OCCUR FOR A SHORT DURATION DURING THE PEAK OF THE STORM. THE HEAD OVER THE INLETS MAY RISE ABOVE THE 0.79' INDICATED FOR A VERY SHORT PERIOD, ALTHOUGH THE SYSTEM IS DESIGNED SO THAT THE OVERFLOW WILL NOT RUN OFF OF THE PROPERTY.

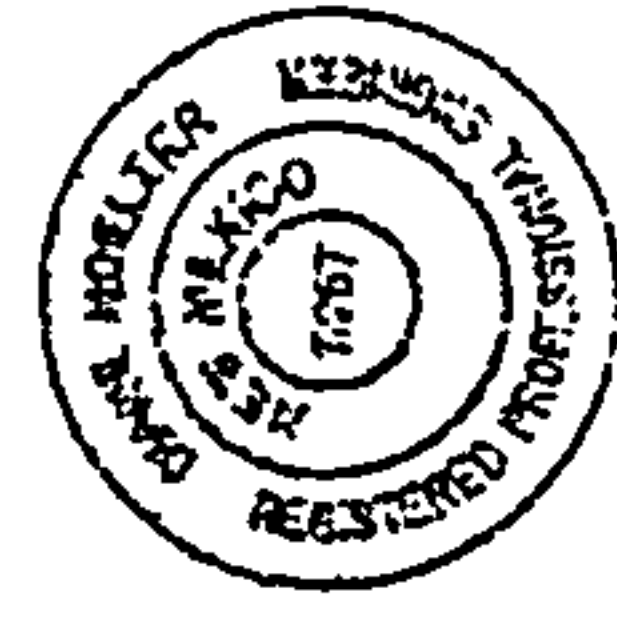
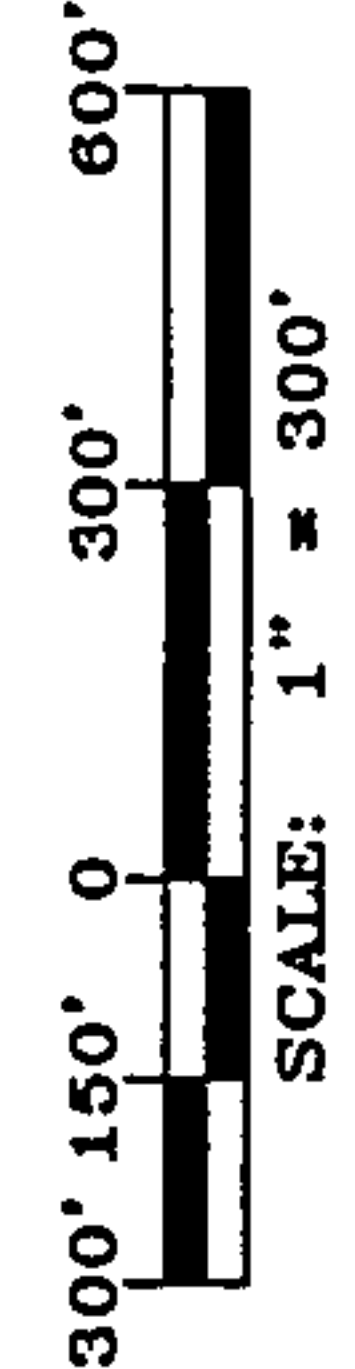
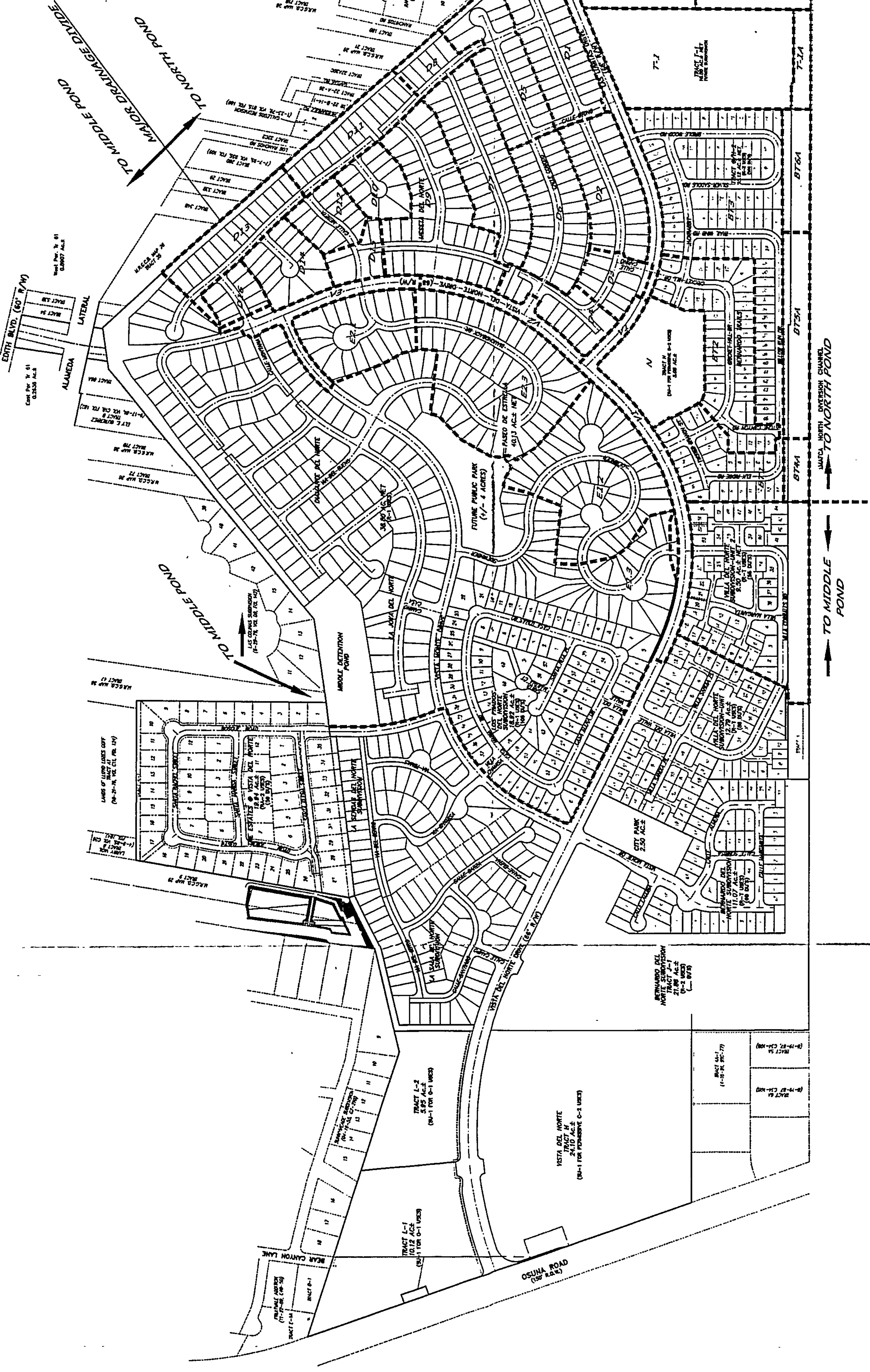
** AVAILABLE HEAD R/W TO R/W

PIPE CALCULATIONS

Mannings Equation
Pipe Q¹
m = 2.16
Q¹ (ft³/s) = 13.21
n = 0.013
S = 0.005
D₁ (ft) = 1.86
D₁ (in) = 22.3424Pipe Q²
m = 2.16
Q² (ft³/s) = 13.21
n = 0.013
S = 0.005
D₂ (ft) = 1.86
D₂ (in) = 22.34 24Pipe Q³
m = 2.16
Q³ (ft³/s) = 26.41
n = 0.013
S = 0.005
D₃ (ft) = 2.41
D₃ (in) = 28.9730Pipe Q⁴
m = 2.16
Q⁴ (ft³/s) = 9.80
n = 0.013
S = 0.005
D₄ (ft) = 1.66
D₄ (in) = 19.97 24Pipe Q⁵
m = 2.16
Q⁵ (ft³/s) = 9.8
n = 0.013
S = 0.005
D₅ (ft) = 1.66
D₅ (in) = 19.9724Pipe Q⁶
m = 2.16
Q⁶ (ft³/s) = 19.59
n = 0.013
S = 0.005
D₆ (ft) = 2.16
D₆ (in) = 25.90 30Pipe Q⁷
m = 2.16
Q⁷ (ft³/s) = 10.84
n = 0.013
S = 0.005
D₇ (ft) = 1.73
D₇ (in) = 20.7424Pipe Q⁸
m = 2.16
Q⁸ (ft³/s) = 10.84
n = 0.013
S = 0.005
D₈ (ft) = 1.73
D₈ (in) = 20.74 24Pipe Q⁹
m = 2.16
Q⁹ (ft³/s) = 48.1
n = 0.013
S = 0.005
D₉ (ft) = 3.02
D₉ (in) = 36.2736Pipe Q¹⁰
m = 2.16
Q¹⁰ (ft³/s) = 15.85
n = 0.013
S = 0.005
D₁₀ (ft) = 1.99
D₁₀ (in) = 23.92 24Pipe Q¹¹
m = 2.16
Q¹¹ (ft³/s) = 35.44
n = 0.013
S = 0.005
D₁₁ (ft) = 2.70
D₁₁ (in) = 32.35 36Pipe Q¹²
m = 2.16
Q¹² (ft³/s) = 83.54
n = 0.013
S = 0.005
D₁₂ (ft) = 2.54
D₁₂ (in) = 30.50 36Pipe Q¹³
m = 2.16
Q¹³ (ft³/s) = 15.85
n = 0.013
S = 0.005
D₁₃ (ft) = 1.99
D₁₃ (in) = 23.92 24Pipe Q¹⁴
m = 2.16
Q¹⁴ (ft³/s) = 99.38
n = 0.013
S = 0.005
D₁₄ (ft) = 2.71
D₁₄ (in) = 32.56 36Q = 1.488/n^{1.48}R^{48.43}S^{1/2}
Solved for D = [(m^{0.01}Q^{0.01}n)/S^{1/2}]^{1/3}DENNIS ENGINEERING COMPANY
P.O. Box 909, (at Cactus Road)
Edgewood, New Mexico 87015 (505) 261-2880CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENTTITLE: BLUE SKY BUSINESS PARK GRADING AND
DRAINAGE REPORT AND CALCULATIONSDESIGN REVIEW COMMITTEE CITY ENGINEER APPROVAL
DATE: 12/22/05
DATE: 12/22/05
DATE: 12/22/05

CITY PROJECT NO. ZONE MAP NO. SHEET 2 OF 6

D-16



VISTA DEL NORTE

OVERVIEW OF MAJOR DRAINAGE BASINS - NORTH POND

dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS

P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505)828-2200, FAX (505)797-9539

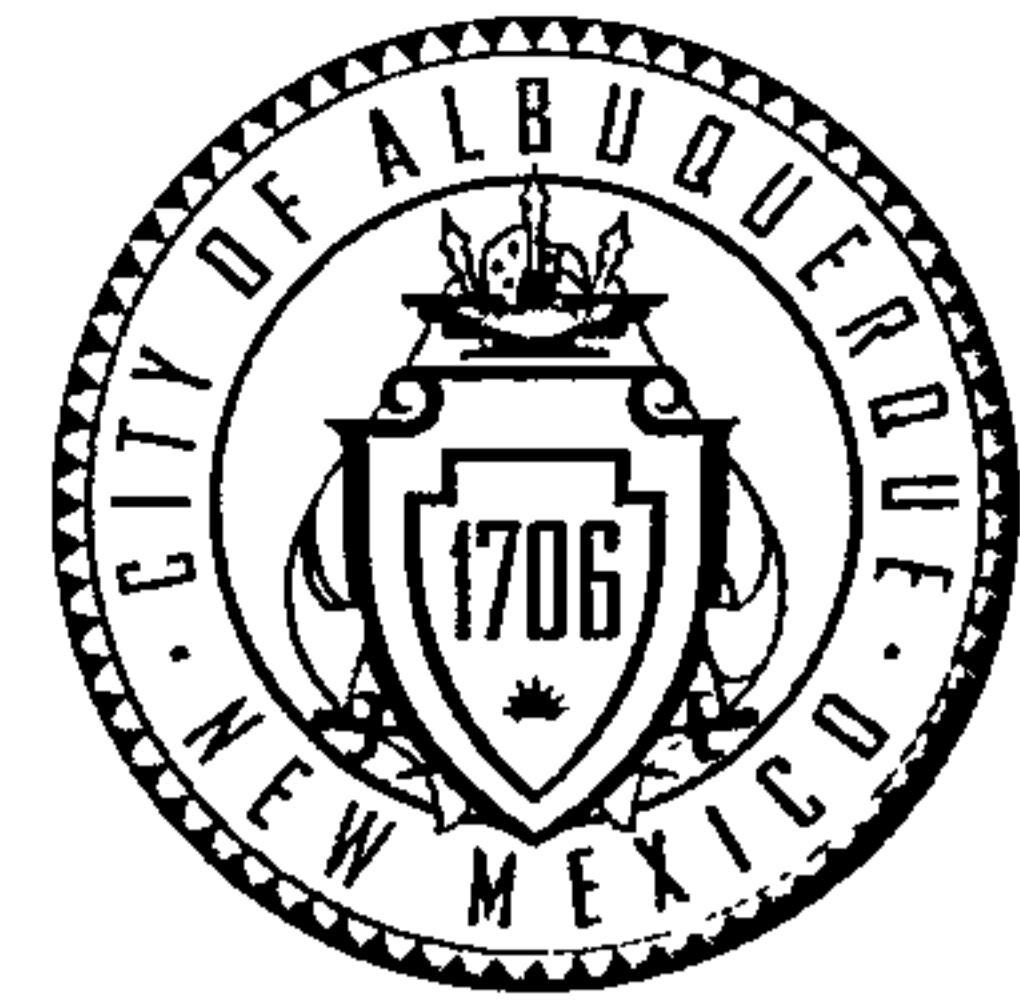
Designed: DMG Drawn: SPS Checked: DMG
Scale: 1" = 300' Date: 01/30/02 Job: Sheet 5 of 13

A113809010N EXHIBIT-C/06-27-02/04H
XREF: 10050601 EXHIBIT BASE.dwg

16/17

Fig. 611 from 611

CITY OF ALBUQUERQUE



November 4, 2013

Jackie McDowell, P.E.
McDowell Engineering Inc.
7820 Beverly Hills Ave., NE
Albuquerque, NM 87122

**Re: Lot 11, Blue Sky Business Park, Grading and Drainage Plan
Engineer's Stamp dated 10-03-13 (D16/D002A2)**

Dear Ms. McDowell,

Based upon the information provided in your submittal received 10-03-13, the above referenced report can not be approved for building permit based on the following comments:

- Provide back of sidewalk elevations. Runoff appears to be draining over the sidewalks. Please drain the runoff to Jacs Lane via the entrance or sidewalk culverts. Depress all landscaping areas where possible.
- Show spot elevations at the entrance to assure adequate water block is provided. Will the entrance have a conflict with the existing storm drain inlet?
- Add spot elevations around the Handicap parking area and the connection to the sidewalks along Jacs Lane to assure ADA compliance.
- Is the wall shown along the westerly property existing or proposed? Are there proposed or existing retaining walls? Please provide top and bottom of the retaining wall elevations. Clearly show all the existing and proposed improvements on the plan.
- Provide spot elevations along the property line to assure existing grades are being matched.
- Add wall opening/size for drainage for the wall north side of the building.
- The entire site has been previously graded. Therefore, Treatment A under existing conditions should be zero. Please refer to City Drainage number D16/D002A for developed conditions.

PO Box 1293

Albuquerque

New Mexico 87103

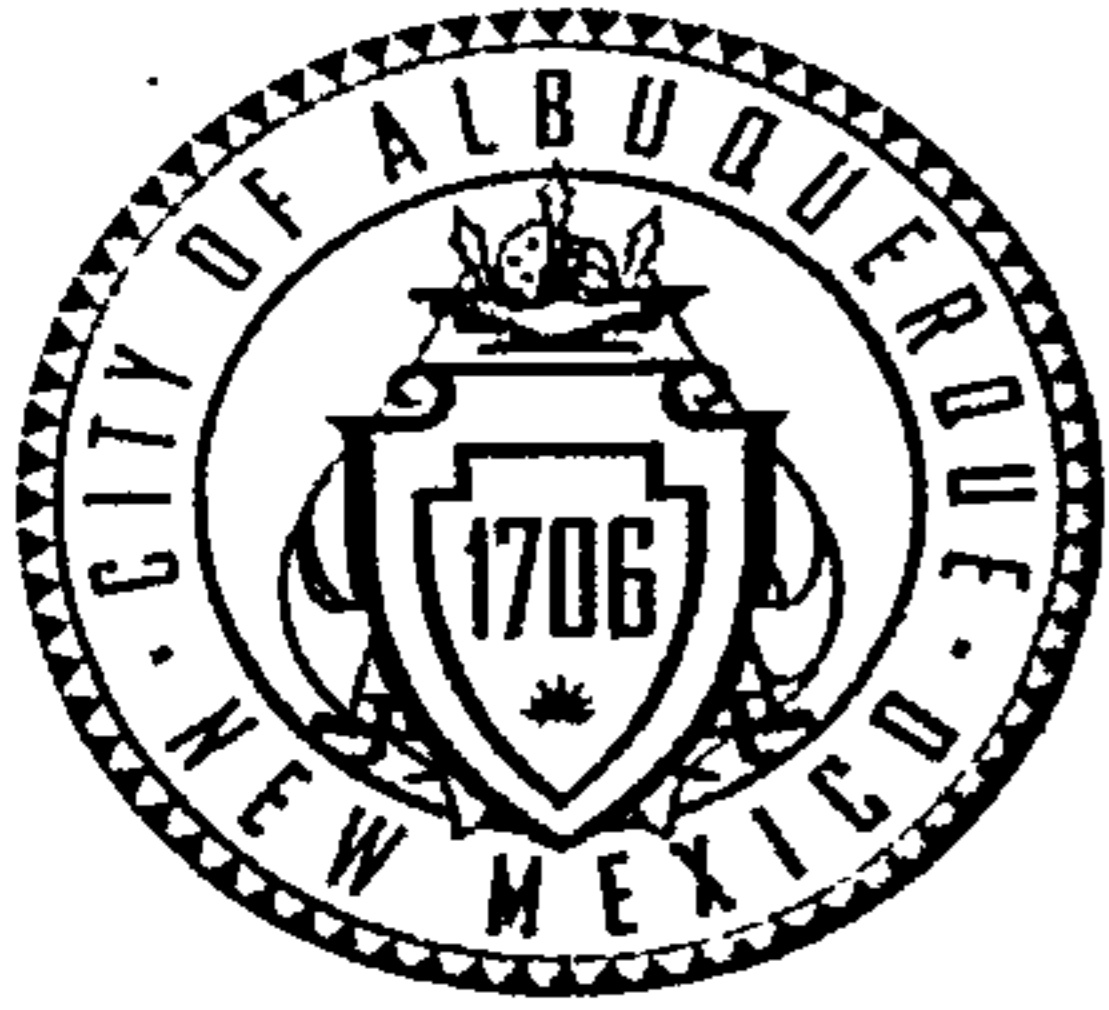
www.cabq.gov

If you have any questions, you can contact me at 924-3695.

Sincerely,

Shahab Biazar, P.E.
Senior Engineer, Planning Dept.
Development Review Services

C: e-mail



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

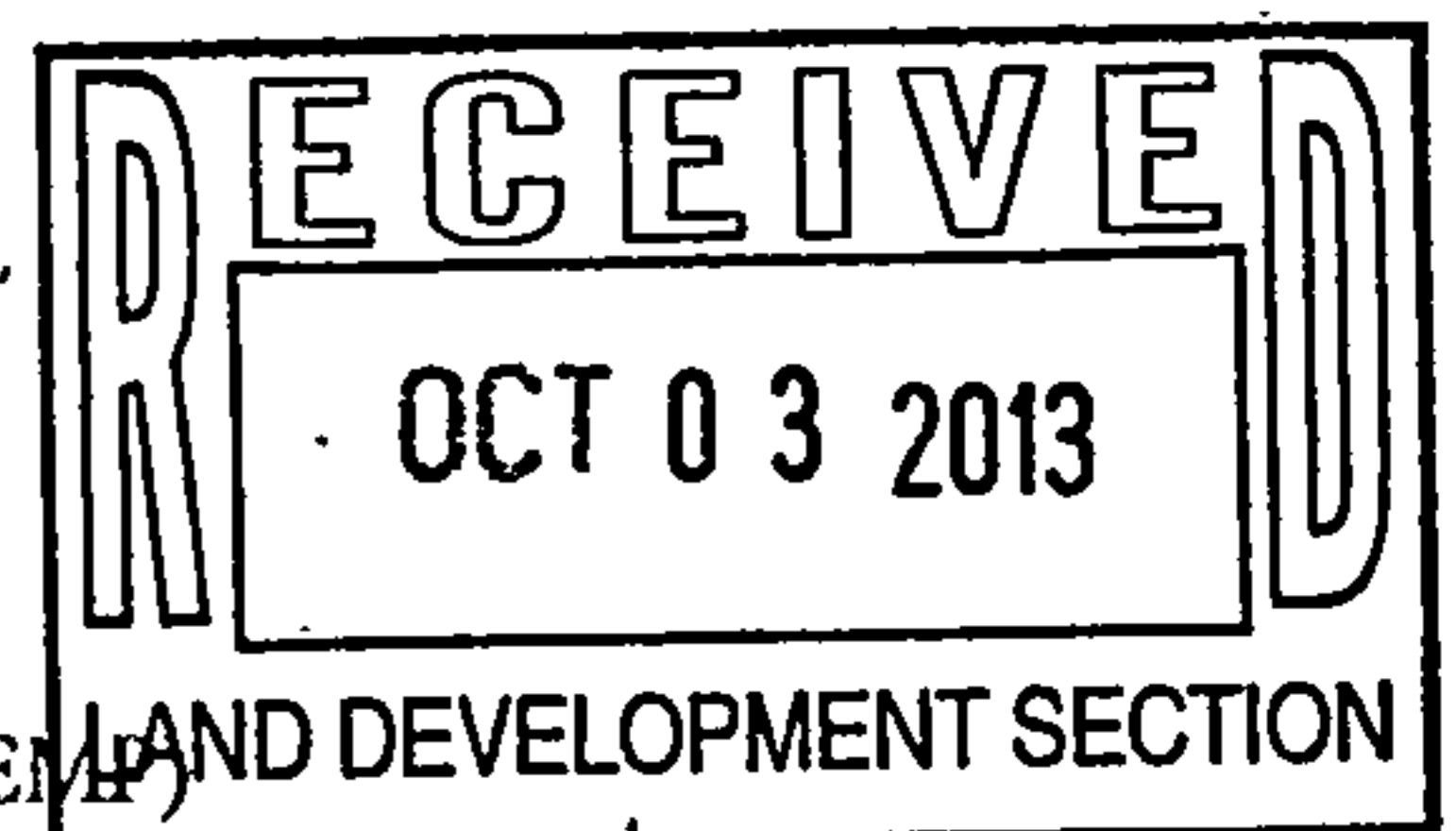
Project Title: SANTA FE TOW LOT #11 Building Permit #: _____ City Drainage #: D16 D002A2
DRB#: _____ EPC#: _____ Work Order#: _____
Legal Description: LOT 11, BLUE SKY BUSINESS PARK
City Address: JACS LANE NE
Engineering Firm: MCDOWELL ENGINEERING, INC. Contact: JACKIE MCDOWELL
Address: 7820 BEVERLY HILLS AVE. NE
Phone#: 505-828-2430 Fax#: 505-821-4857 E-mail: jackmcdowell@comcast.net
Owner: ARMANDO BELTRAN Contact: ARMANDO BELTRAN
Address: 8000 JACS LANE NE
Phone#: 505-991-0312 Fax#: _____ E-mail: santafetow@gmail.com
Architect: RON MONTOYA DESIGNS, INC. Contact: RON MONTOYA
Address: 8724 ALAMEDA NE
Phone#: 505-823-6474 Fax#: 505-823-6487 E-mail: _____
Surveyor: MIKE SHOOK Contact: MIKE SHOOK
Address: 612 CERRO DE ORTEGA DR. SE
Phone#: 505-896-1716 Fax#: _____ E-mail: _____
Contractor: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☒ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ ENGINEER'S CERT (ESC)
☐ SO-19
☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ GRADING CERTIFICATION



\$50.00

- ☐ SO-19 APPROVAL
☐ ESC PERMIT APPROVAL
☐ ESC CERT. ACCEPTANCE
☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED: _____

Yes ☒ No ☐ Copy Provided _____

DATE SUBMITTED: 10-3-13

By: JACKIE MCDOWELL

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

CITY OF ALBUQUERQUE



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January 26, 2011

Alexander Finale, R.A.
Ron Montoya Design Group
8724 Alameda Park Drive NE Suite A
Albuquerque, NM 87113

**Re: Santa Fe Tow – Armando Beltran, 8000 Jacs Road,
Traffic Circulation Layout
Architect's Stamp undated (D16-D002A2)**

Dear Mr. Finale,

Based upon the information provided in your submittal received 01-18-11, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

1. Angled parking stalls are only acceptable for one-directional parking areas.
✓ This site is clearly designed for two-directional traffic; therefore, angled parking is not acceptable.
2. The property line must be clearly shown on the plan.
3. Provide a legend defining all linetypes.
4. Clearly show and define all easements located on the lot.
5. The traffic circulation layout must be stamped, signed, and dated by an
✓ engineer or architect licensed in the state of New Mexico.
6. All ramps located on Jacs Lane must have truncated domes.
7. Label the street on the plan.
8. Please show a vicinity map.
9. List the number of parking spaces required by the zoning code as well as the proposed number of parking spaces.
10. List radii for all curves shown; for passenger vehicles, the minimum end island radius is 15 feet.
11. Define width of all sidewalk. All internal sidewalk must be a minimum of 6 feet wide.
12. Please place the proposed sidewalk at the property line, not the back of curb.
13. The proposed CMU wall may interfere with the sight distance of the entrance. Please provide a sight distance exhibit (see the *Development Process Manual*, Chapter 23, Section 6, Part B.12).
14. Please include two copies of the traffic circulation layout at the next submittal.

CITY OF ALBUQUERQUE



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15. Show the limits of asphalt; will the area beyond the gate be paved? If not, a header curb should be installed to protect the asphalt.

16. A detail is provided for the handicapped ramp; this type of ramp is not appropriate for the sidewalk adjacent to the handicapped parking stalls. A new detail must be provided.

17. Please build the ramp in Jacs Lane to City of Albuquerque Standard Specification 2441.

18. Clearly define the 6-foot wide, ADA accessible pathway from Jacs Lane to the building.

19. Clearly define the 6-foot wide, ADA accessible pathway from the handicapped parking stalls to the building.

If you have any questions, you can contact me at 924-3991.

Sincerely,

Kristal D. Metro, P.E.
Traffic Engineer, Planning Dept.
Development and Building Services

PO Box 1293

Albuquerque

C: File
Armando Beltran, 804 Nikanda NE, Albuquerque, NM 87113

NM 87103

www.cabq.gov

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 12/2005)

PROJECT TITLE: SANTA FE TOWING ZONE MAP: D16/0002A2
 DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: LOT 2, BLUE SKY BUSINESS PARK
 CITY ADDRESS: 8000 JACS LANE NE

ENGINEERING FIRM: THAMES ENGINEERING CONTACT: TIM HIGHTOWER
 ADDRESS: 10212 ARROYO BELLO NW PHONE: 505-944-8216
 CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87114

OWNER: ARMANDO BELTRAN CONTACT: _____
 ADDRESS: 804 NIKANDA NE PHONE: 505-991-0312
 CITY, STATE: ALBUQ. NM ZIP CODE: 87107

ARCHITECT: RON MONTANA DESIGNS CONTACT: ALEXANDER FINSLE
 ADDRESS: 8724 ALAMEDA NE SUITE A PHONE: 505-823-6414
 CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87113

SURVEYOR: AM SURVEYING CONTACT: MIKE SUGOK
 ADDRESS: _____ PHONE: 505-249-4231
 CITY, STATE: ALBUQ. NM ZIP CODE: _____

CONTRACTOR: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☒ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ OTHER (SPECIFY) _____

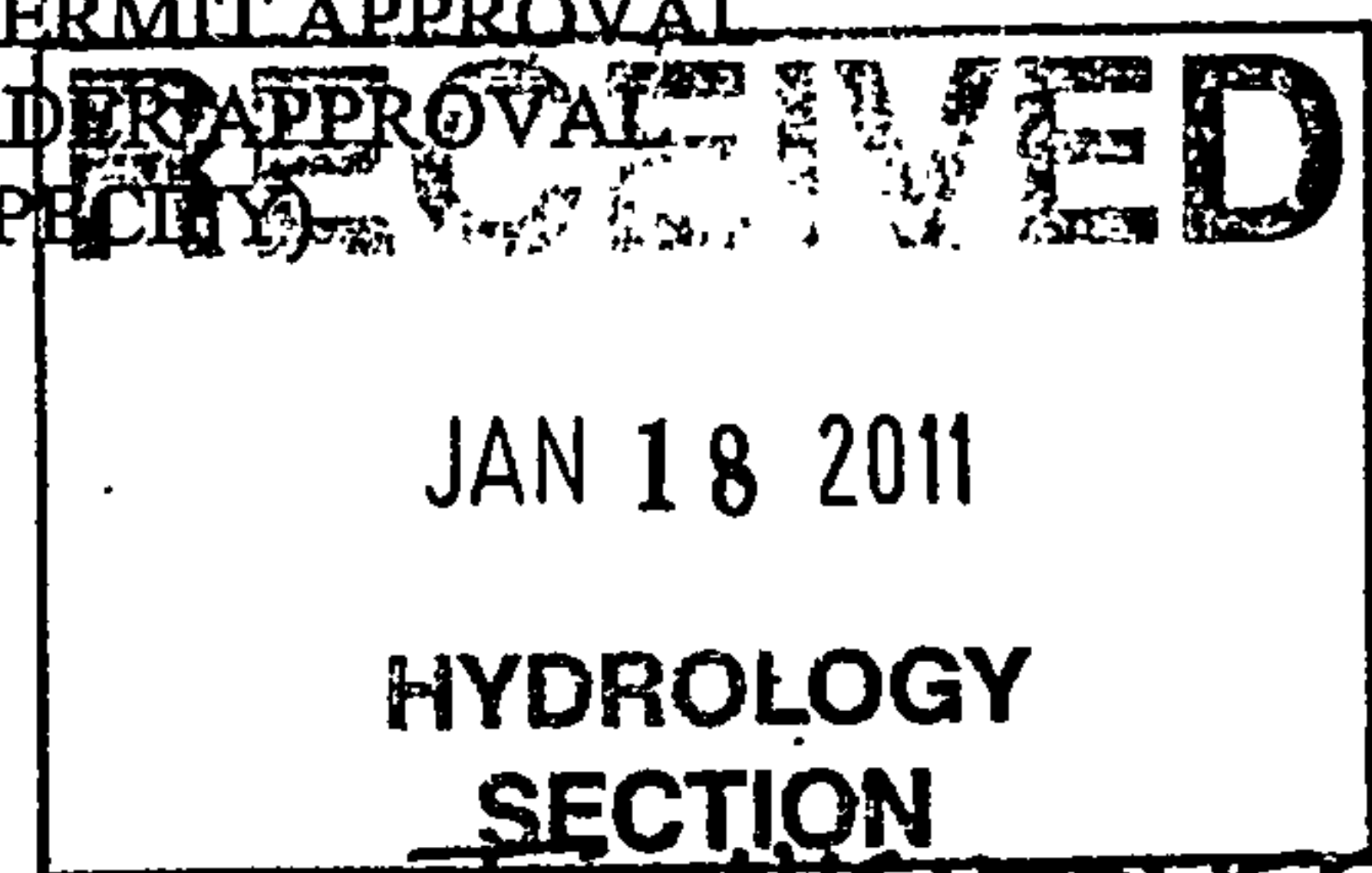
CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED

DATE SUBMITTED: 1/14/11



BY: TIM HIGHTOWER

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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3. Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

6

Cherne, Curtis

From: Mazur, Lynn [lmazur@amafca.org]
Sent: Friday, January 21, 2011 11:50 AM
To: timh@streamlineswimstore.com
Cc: Cherne, Curtis
Subject: Santa Fe Towing

Re: Santa Fe Towing, Lot 2, Blue Sky Business Park, ZAP D-16

I reviewed what AMAFCA required for development of Sower's Cabinets on Lot 4 and visited the site. I was hoping the "existing wall" in the back had not been constructed yet on the property line, but it is has. We required Lot 4 to keep 15' clear inside the property in the AMAFCA excavation easement. I was hoping to follow that requirement for the rest of the industrial park development. I noticed an opening on both ends between the north-south wall and the east-west walls. I imagine PNM will want continuous access on their easement, also. Do you know if gates will be installed at the openings?

We will require an encroachment permit for the grading, surfacing and wall in the excavation easement. If the walls do not have a gate to allow continuous north-south access through our easement, then we will require an access easement through the property. AMAFCA staff will prepare the documents for the owner(s)' signature (s). Please provide that information. I have the corporation as Paseo Partnership, LLC. I will need the name of the person authorized to sign. There will be a fee of \$50, plus NMGR, for each document.

Curtis,

AMAFCA approves the grading and drainage plan and does not object to release of building permit if we can tie receipt of the encroachment permit and access easement (if required) to the C.O.

Albuquerque Metropolitan Arroyo

Flood Control Authority

Lynn M. Mazur, P.E., C.F.M.

Development Review Engineer

Phone: (505) 884-2215

www.amafca.org

1/27/2011

CITY OF ALBUQUERQUE



March 9, 2011

Alexander Finale, R.A.
Ron Montoya Design Group
8724 Alameda Park Drive NE Suite A
Albuquerque, NM 87113

Re: Santa Fe Tow – Armando Beltran, 8000 Jacs Road, Traffic Circulation Layout
Architect's Stamp dated 03-07-11 (D16-D002A2)

Dear Mr. Finale,

The TCL submittal received 03-07-11 is approved for Building Permit. The plan is stamped and signed as approved. A copy of this plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation. **Public infrastructure or work done within City Right-of-Way shown on these plans is for information only and is not part of approval. A separate DRC and/or other appropriate permits are required to construct these items.**

If a temporary CO is needed, a copy of the original TCL that was stamped as approved by the City will be needed. This plan must include a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance," as well as the signed and dated stamp of a NM registered architect or engineer. Submit this TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

Kristal D. Metro, P.E.
Traffic Engineer, Planning Dept.
Development and Building Services

C: File

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 12/2005)

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PROJECT TITLE: Santa Fe Tow 8000 Jacs ZONE MAP: D-16/DC 29172
 DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: _____
 CITY ADDRESS: _____

ENGINEERING FIRM: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

OWNER: Armando Beltran CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

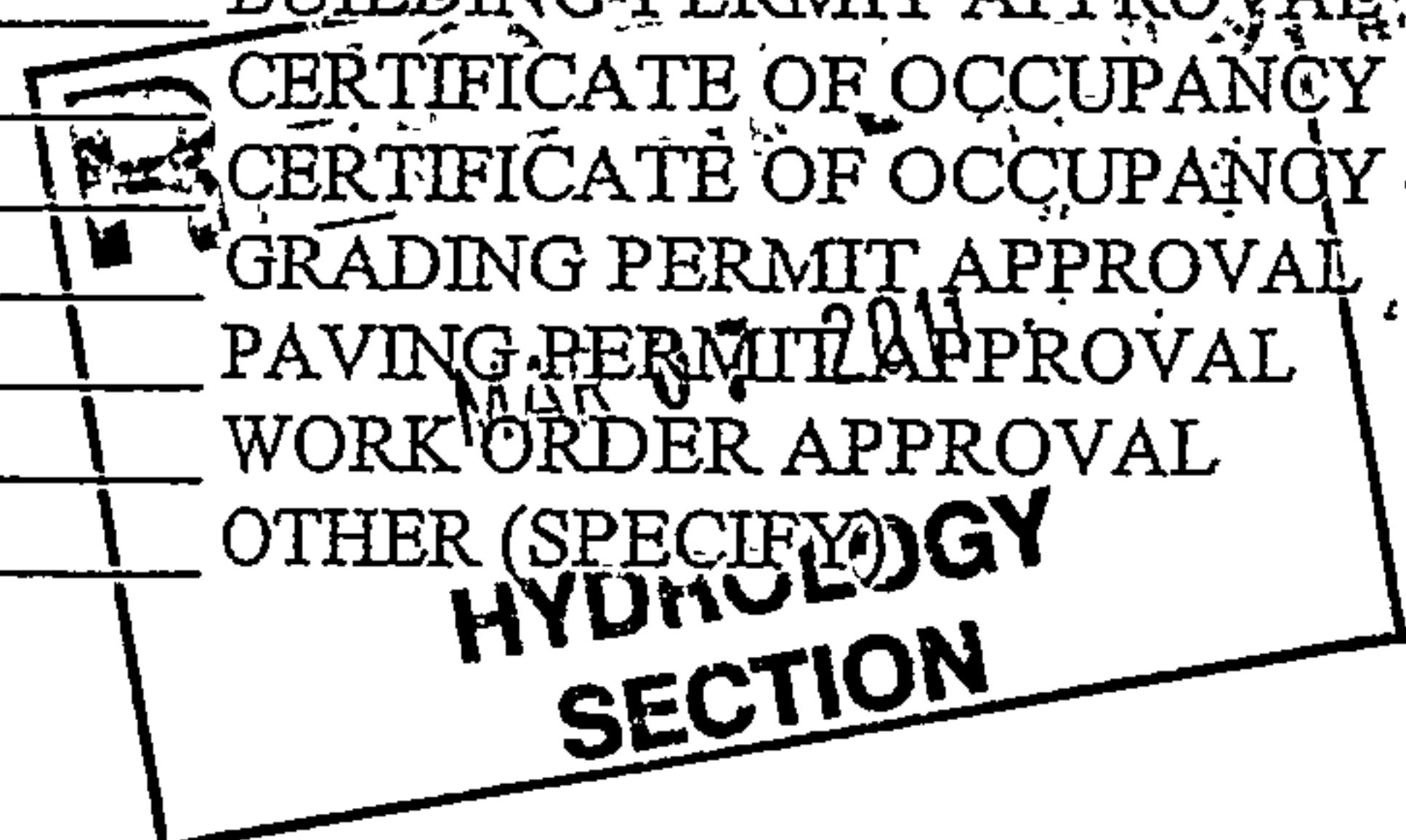
ARCHITECT: Ron Montoya Design CONTACT: 505-823-6474
 ADDRESS: 8724 ALAMEDA PHONE: Yolanda
 CITY, STATE: Albuquerque NM ZIP CODE: 87113

SURVEYOR: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:
☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☒ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:
☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY (PERM)
☒ CERTIFICATE OF OCCUPANCY (TEMP)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY) _____



WAS A PRE-DESIGN CONFERENCE ATTENDED:
☐ YES
☐ NO
☐ COPY PROVIDED

DATE SUBMITTED: 3/7/11 BY: Yolanda Montoya

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
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3. Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

CITY OF ALBUQUERQUE



January 27, 2011

Timothy K. Hightower, P.E.
Thames Engineering
10212 Arroyo Bend NW
Albuquerque, NM 87114

**Re: Santa Fe Towing, 8000 Jacs Lane NE, Grading and Drainage Plan
Engineer's Stamp Date 1-24-11 (D16/D002A2)**

Dear Mr. Hightower,

Based upon the information provided in your submittal received 1-25-11, the above referenced plan is approved for Building Permit and SO 19 Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

A separate permit (SO 19) is required for construction within City ROW. A copy of this approval letter must be on hand when applying for the excavation/barricading permit. If there is a Work Order associated with this project, this work is to be included in the Work Order.

To obtain a Certificate of Occupancy, Engineer Certification of the Grading Plan per the DPM is required and the storm drain work in the City ROW must be inspected and accepted. Please contact Martin Pacheco, 235-8016, to schedule an inspection.

This project requires a National Pollutant Discharge Elimination System (NPDES) permit for storm water discharge and a Topsoil Disturbance Permit since it is disturbing $\frac{3}{4}$ of an acre or more.

If you have any questions, you can contact me at 924-3695.

Sincerely,

Curtis A. Cherne, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: file
Antoinette Baldonado, Excavation and Barricading
Martin Pacheco, Street/Storm Drain Maintenance
Kathy Verhage, DMD

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DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV 12/2005)

PROJECT TITLE: SANTA FE TOWING ZONE MAP: DIG/D00242
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: LOT 2, BLUE SKY BUSINESS PARK
CITY ADDRESS: 8000 JACS LANE NE

ENGINEERING FIRM: THAMES ENGINEERING CONTACT: TIM HIGHTOWER
ADDRESS: 10212 ARROYO BELLO NW PHONE: 505-944-8216
CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87114

OWNER: ARMANDO BELTRAN CONTACT: _____
ADDRESS: 804 NIKANDA NE PHONE: 505-991-0312
CITY, STATE: ALBUQ. NM ZIP CODE: 87107

ARCHITECT: LOW MONTANA DESIGNS CONTACT: ALEXANDER FINALE
ADDRESS: 8724 ALAMEDA NE SUITE A PHONE: 505-823-6944
CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87113

SURVEYOR: AM SURVEYING CONTACT: MIKE SUGOK
ADDRESS: _____ PHONE: 505-249-4231
CITY, STATE: ALBUQ. NM ZIP CODE: _____

CONTRACTOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT
☒ DRAINAGE PLAN 1st SUBMITTAL
☒ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:

☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TEMP)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:

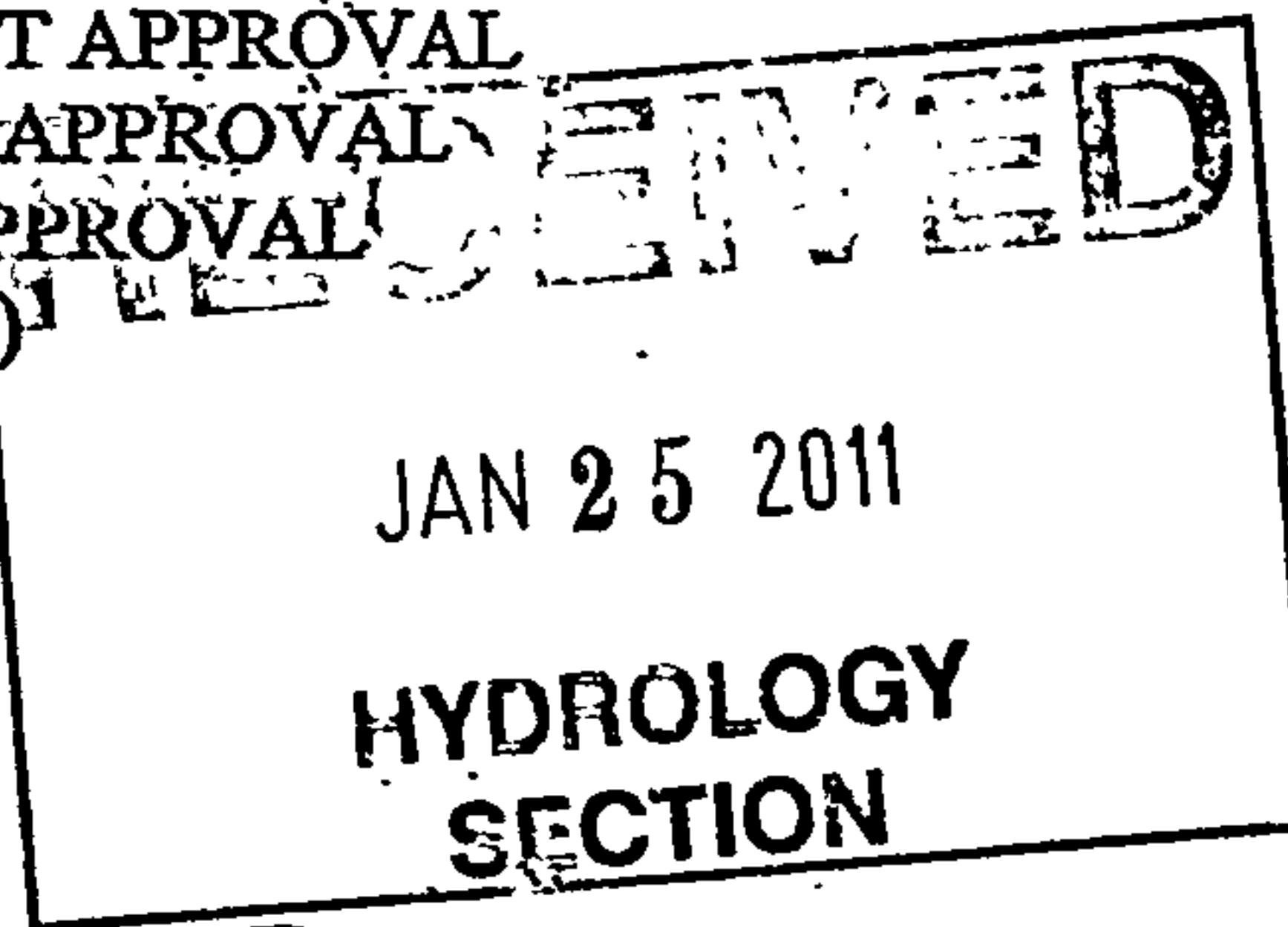
☐ YES
☐ NO
☐ COPY PROVIDED

DATE SUBMITTED: 1/14/11

BY: TIM HIGHTOWER

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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CITY OF ALBUQUERQUE



March 4, 2011

Alexander Finale, R.A.
Ron Montoya Design Group
8724 Alameda Park Drive NE Suite A
Albuquerque, NM 87113

**Re: Santa Fe Tow – Armando Beltran, 8000 Jacs Road,
Traffic Circulation Layout
Architect's Stamp dated 03-02-11 (D16-D002A2)**

Dear Mr. Finale,

Based upon the information provided in your submittal received 03-02-11, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. The parking calculations provided indicate that 18 parking spaces are required; why are only 16 parking spaces provided?
2. All text must be a minimum of 0.1" high.
3. Is the sidewalk flush with the pavement along the parking stalls? Please clarify.
4. A ramp is shown west of the handicapped parking; what is the purpose of this ramp?
5. A 6-foot wide, ADA accessible pedestrian pathway is required from the public sidewalk to the building. Please clarify how this will be accomplished. Note that the rise for any ramp run shall be 30 inches maximum, ramps shall have landings at the top and bottom of each ramp run, and handrails are required on ramp runs with a rise greater than 6 inches (Sections 405.6, 405.7, and 505.1, *Americans with Disabilities Act and Architectural Barriers Act Accessibility Guidelines*, United States Access Board, Jul 23, 2004).

If you have any questions, you can contact me at 924-3991.

Sincerely,

Kristal D. Metro, P.E.
Traffic Engineer, Planning Dept.
Development and Building Services

C: File
Armando Beltran, 804 Nikanda NE, Albuquerque, NM 87113

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DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV 12/2005)

PROJECT TITLE: SANTA FE TOWNSHIP ZONE MAP: D-16/10-0242
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: lot #2 Blue Sky Business Park
CITY ADDRESS: Albuquerque NM 87113

ENGINEERING FIRM: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

OWNER: Armando Beltran CONTACT: Armando
ADDRESS: 13405 Deer Trail Ct NE PHONE: 991-0312
CITY, STATE: Albuquerque NM ZIP CODE: 87111

ARCHITECT: Rou Montoya Design / Alex Final CONTACT: Yolanda / Alex
ADDRESS: 8724 Alameda Park Dr NE PHONE: 823-6474
CITY, STATE: Albuquerque NM ZIP CODE: 87113

SURVEYOR: Tim Hightower CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☒ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ OTHER (SPECIFY) _____

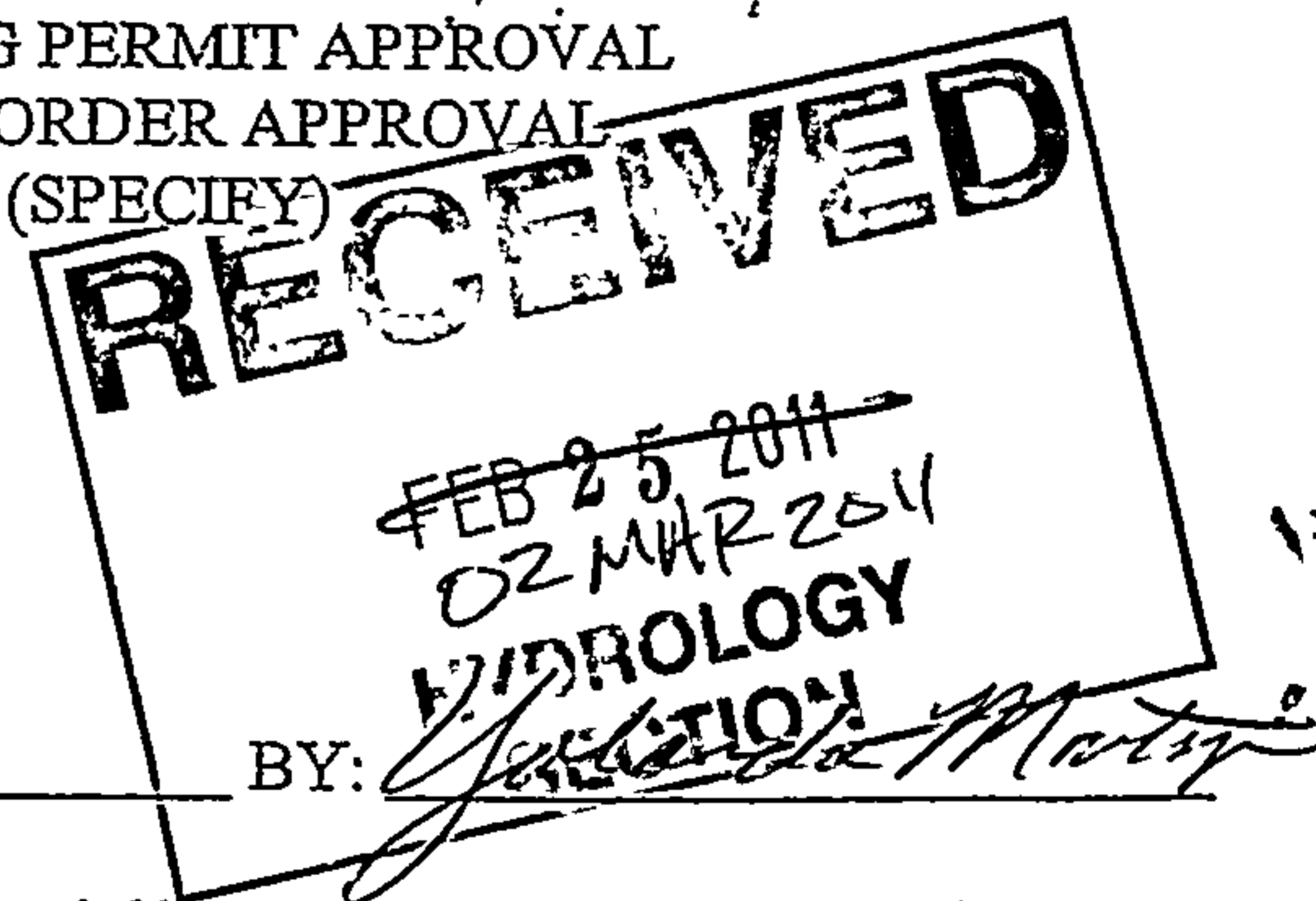
CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
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☐ CERTIFICATE OF OCCUPANCY (TEMP)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
☐ NO
☐ COPY PROVIDED

DATE SUBMITTED: 2/25/11



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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Parking Calcs

03-01-11

Arnando Beltran

owner of Santa Fe Town

verbal review - markups issued