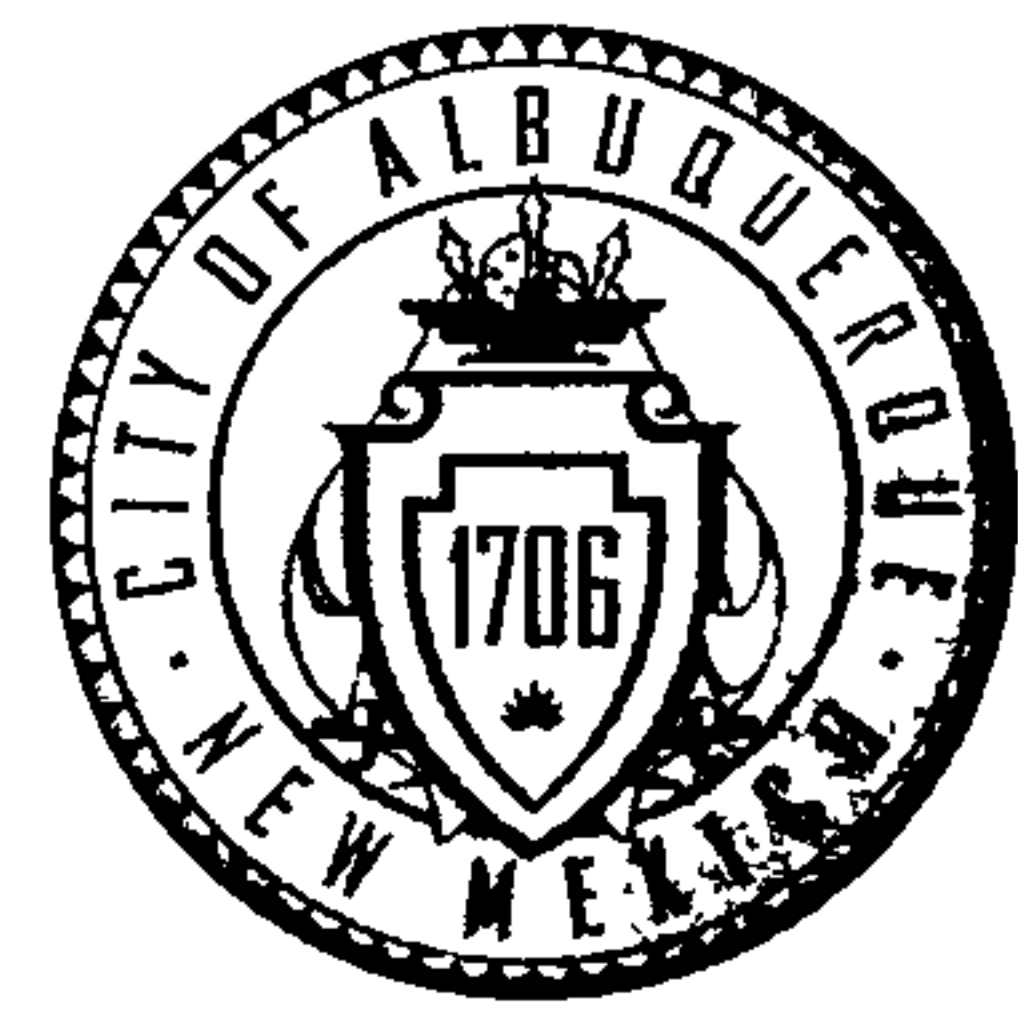


CITY OF ALBUQUERQUE



September 14, 2016

Richard J. Berry, Mayor

David Soule, P.E.
Rio Grande Engineering
P.O. Box 93924
Albuquerque, NM 87199

**RE: A-Class RV
Canopy Addition
Grading and Drainage Plan
Engineer's Stamp Date 8-8-16 (File: D16D002A3)**

Dear Mr. Soule:

Based upon the information provided in your submittal received 8-8-16, the above-referenced plan is approved for Building Permit.

PO Box 1293

Please attach a copy of this approved plan in the construction sets when submitting for a building permit. Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

Albuquerque

If you have any questions, you can contact me at 924-3986.

New Mexico 87103

Sincerely,

www.cabq.gov

Abiel Carrillo, P.E.
Principal Engineer, Planning Dept.
Development Review Services

Orig: Drainage file



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: AClass RV- ADDITION OF CANOPY Building Permit #: _____ City Drainage #: D16/d002a3
DRB#: _____ EPC#: _____ Work Order#: _____
Legal Description: LOT 3 BLUE SKY BUSINESS PARK
City Address: 7950 JACS LANE NEE

Engineering Firm: RIO GRANDE ENGINEERING Contact: DAVID SOULE
Address: PO BOX 93924, ALBUQUERQUE, NM 87199
Phone#: 505.321.9099 Fax#: 505.872.0999 E-mail: DAVID@RIOGRANDEENGINEERING.COM

Owner: ACRV PASEO LLC Contact: _____
Address: 5124 SECOND STREET NW
Phone#: _____ Fax#: _____ E-mail: _____

Architect: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

Other Contact: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

Check all that Apply:

DEPARTMENT:

☒ HYDROLOGY/ DRAINAGE
☐ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

☐ ENGINEER/ ARCHITECT CERTIFICATION

☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR

☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)

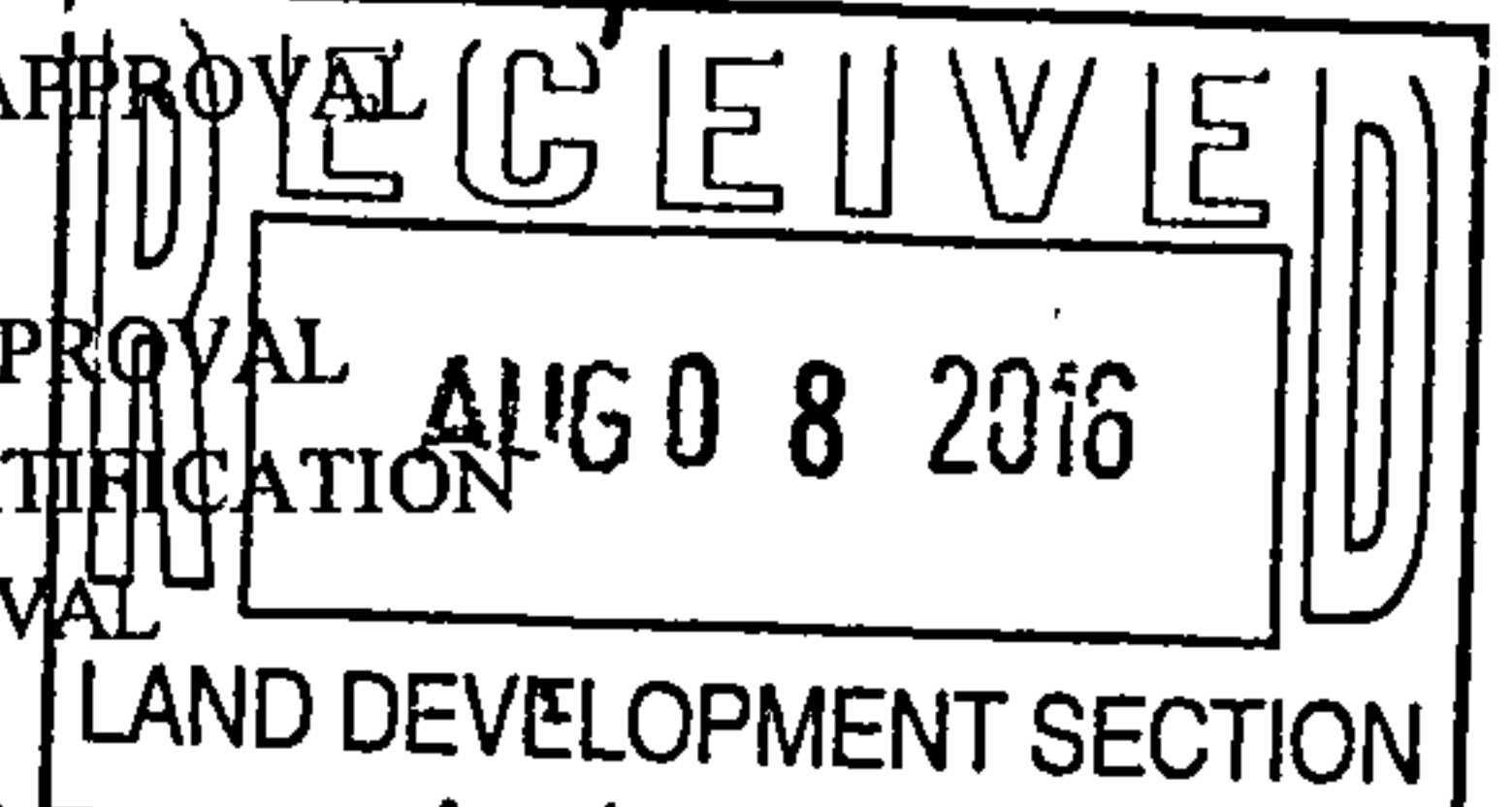
☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY

☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR

☐ PRE-DESIGN MEETING
☐ OTHER (SPECIFY) _____



IS THIS A RESUBMITTAL?: ☐ Yes ☒ No

DATE SUBMITTED: 8/8/16 By: DAVID SOULE

COA STAFF: _____ ELECTRONIC SUBMITTAL RECEIVED: _____

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*

DRAINAGE REPORT

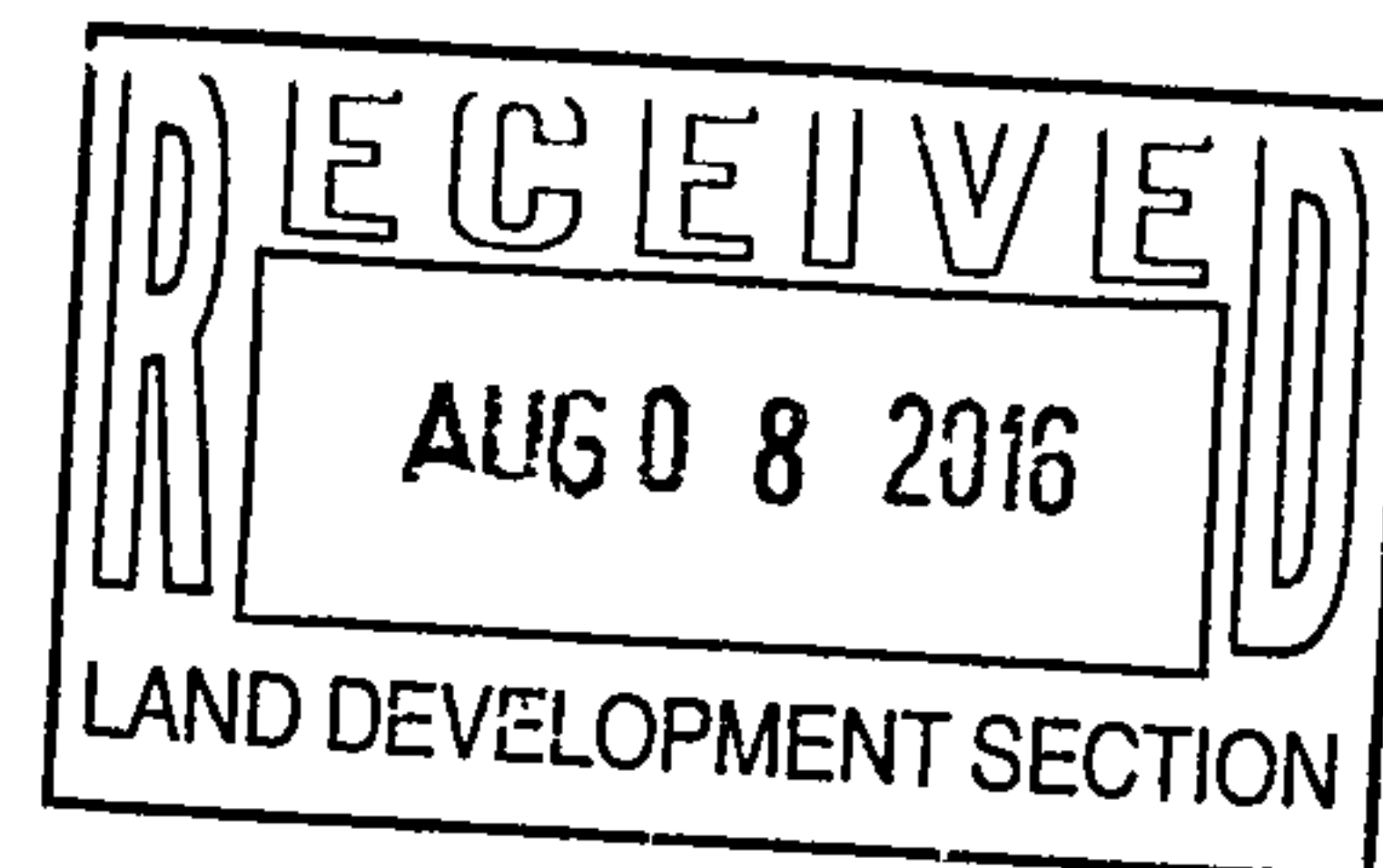
For

**A Class RV Storage Canopy addition
@Journal Center
7950 Jacs Lane NE
Albuquerque, New Mexico**

Prepared by

Rio Grande Engineering
PO Box 93924
Albuquerque, New Mexico 87199

August 2016



David Soule P.E. No. 14522

TABLE OF CONTENTS

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Existing Conditions.....3

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Proposed Conditions5

Summary5

Appendix

Site Hydrology A

Map Pocket

Site Grading and Drainage Plan

PURPOSE

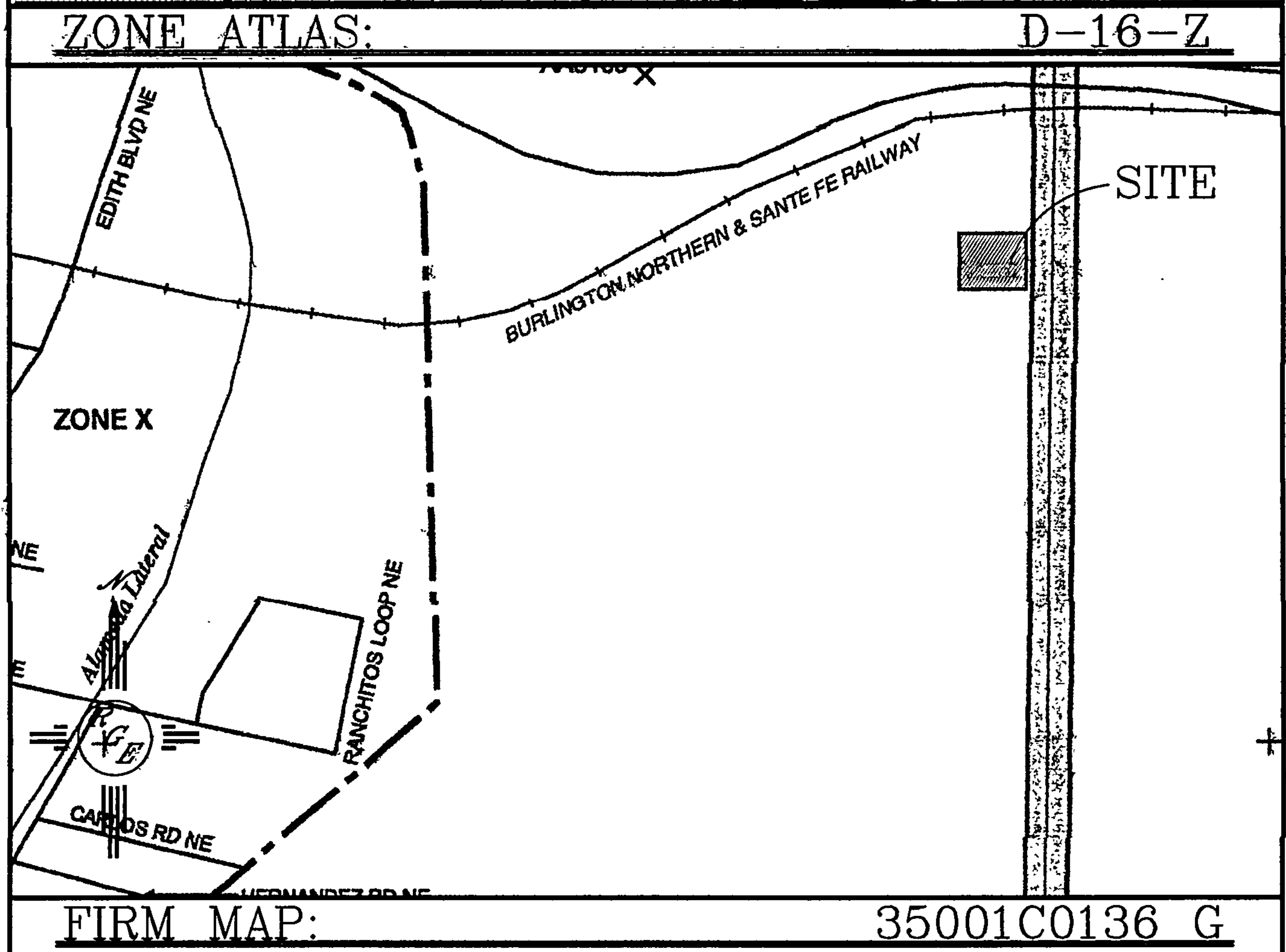
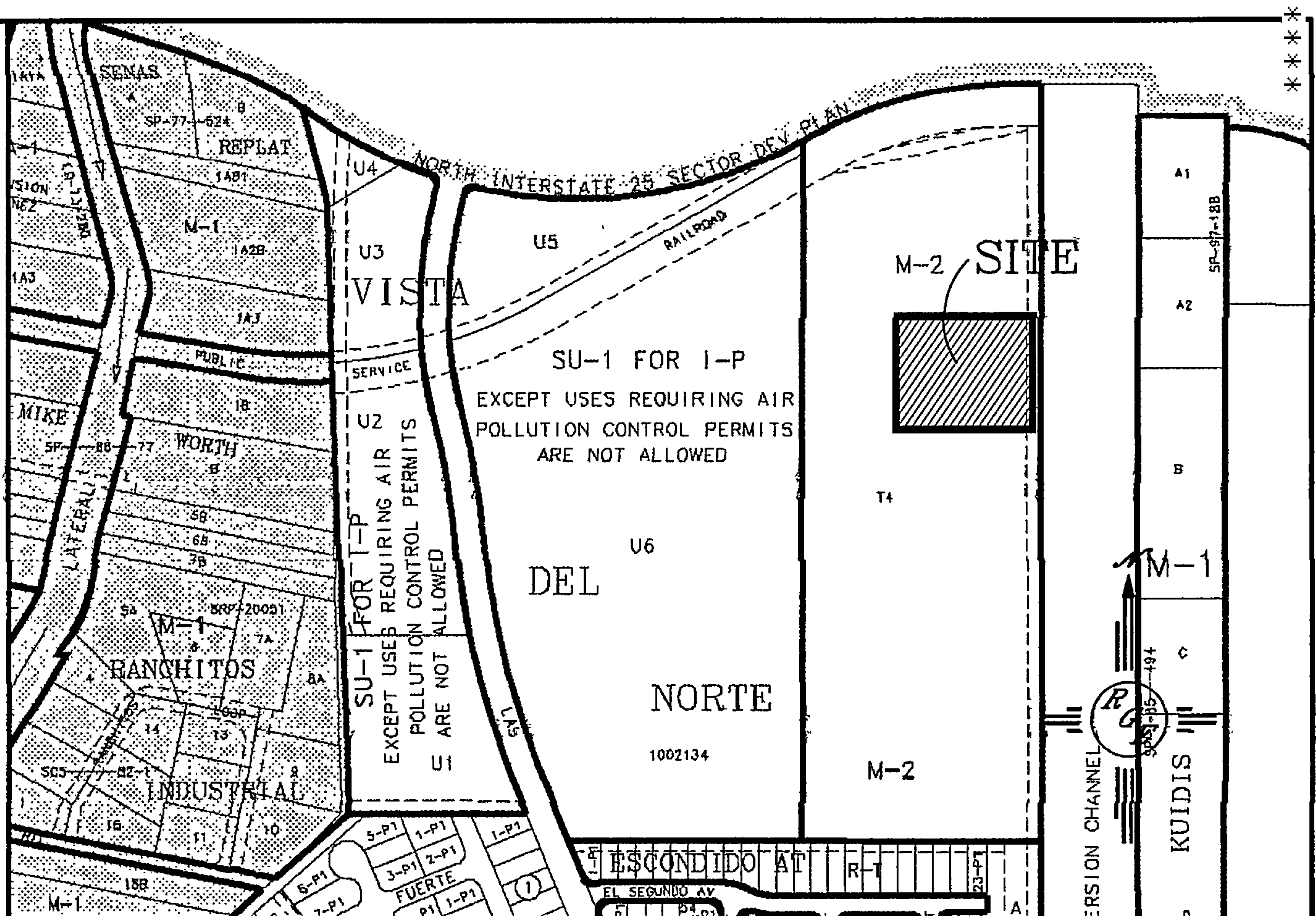
The purpose of this report is to provide the Drainage Management Plan for the construction of an RV storage facility located at 7950 Jacs Lane NE. This plan was prepared in accordance with the City of Albuquerque design regulations, utilizing the City of Albuquerque's Development Process Manual drainage guidelines. This report will demonstrate that the grading does not adversely affect the surrounding properties, nor the upstream or downstream facilities.

INTRODUCTION

The subject of this report, as shown on the Exhibit A, is a 1.72-acre parcel of land located on the east side of Jacs Lane south of Paseo Del Norte. The legal description of this site is Lot 3, Blue Sky Subdivision. As shown on FIRM map35013C0136G, the entire site is located within Flood Zone X. The site was a graded lot within the blue sky subdivision. The entire downstream infrastructure has been constructed. The site is part of the blue Sky master drainage study and allowed free discharge to the existing inlets located adjacent to the site. The development of this site shall conform to the Blue Sky Master Drainage Plan. The scope of this project is to construct canopies over the existing RV parking spaces. This site will require accounting for the first flush volume

EXISTING CONDITIONS

The site is currently developed as a graded lot. The site currently discharges directly to Jacs Lane. The southern portion of the site discharges via surface flow through the driveway, The northern basin flow is captured by an existing type D inlet located at the northwest corner of the site which is connected to existing inlets located adjacent to the site. The storm drain carries the entire subdivision flow to a City maintained retention/detention pond located west off the site on Los Lomas. The AMAFCA North Diversion Channel is located directly upstream of the site so no upland flows enter the site.



LEGAL DESCRIPTION:
 LT 3 PLAT OF BLUE SKY BUSINESS PARK

PROPOSED CONDITIONS

The proposed improvements consist of approximately 40,000 square feet of additional covered storage for RV's. The floors and the drive isles will be gravel. There will be no grading of the site with the exception of the first flush requirement. As shown on the drainage calculations shown in appendix A, this site must retain 1356 cubic feet of storm water. This pond will be located along the western edge of the site. The increased runoff will increase the flow leaving the driveway to 4.15 cfs and 4.80 cfs to the existing inlet. Due to the ground under the canopies remaining gravel, the flow leaving the site will be less than predicted based upon the impervious area determined by the canopies.

SUMMARY AND RECOMMENDATIONS

This project consists of the construction of 40,000 square feet of covered parking area. There will be no change in the drainage patterns. The site is within the master drainage plan area of the Blue Sky development. This site is allowed to free discharge to Jacs and the storm drain within. Since the effected area site encompasses less than 1 acre, a NPDES permit should not be required prior to any construction activity.

APPENDIX A **SITE HYDROLOGY**

Weighted E Method

Basin	Area (sf)	Area (acres)	Treatment A		Treatment B		Treatment C		Treatment D		100-Year, 6-hr.			10-day
			%	(acres)	%	(acres)	%	(acres)	%	(acres)	Weighted E (ac-ft)	Volume (ac-ft)	Flow cfs	Volume (ac-ft)
north basin	54583.00	1.253	0%	0	5%	0.063	48%	0.601466	47%	0.589	1.578	0.165	4.80	0.243
south basin	47241.00	1.085	0%	0	5%	0.054	48%	0.520562	47%	0.510	1.578	0.143	4.15	0.211
combined	101824.00	2.34		0.00		0.12		1.12		1.10		0.31	8.95	0.45

Equations:

Weighted E = $E_a \cdot A_a + E_b \cdot A_b + E_c \cdot A_c + E_d \cdot A_d$ / (Total Area)

Volume = Weighted D * Total Area

Flow = $Q_a \cdot A_a + Q_b \cdot A_b + Q_c \cdot A_c + Q_d \cdot A_d$

Where for 100-year, 6-hour storm

$E_a \approx 0.53$

$E_b \approx 0.78$

$E_c \approx 1.13$

$E_d \approx 2.12$

$Q_a = 1.56$

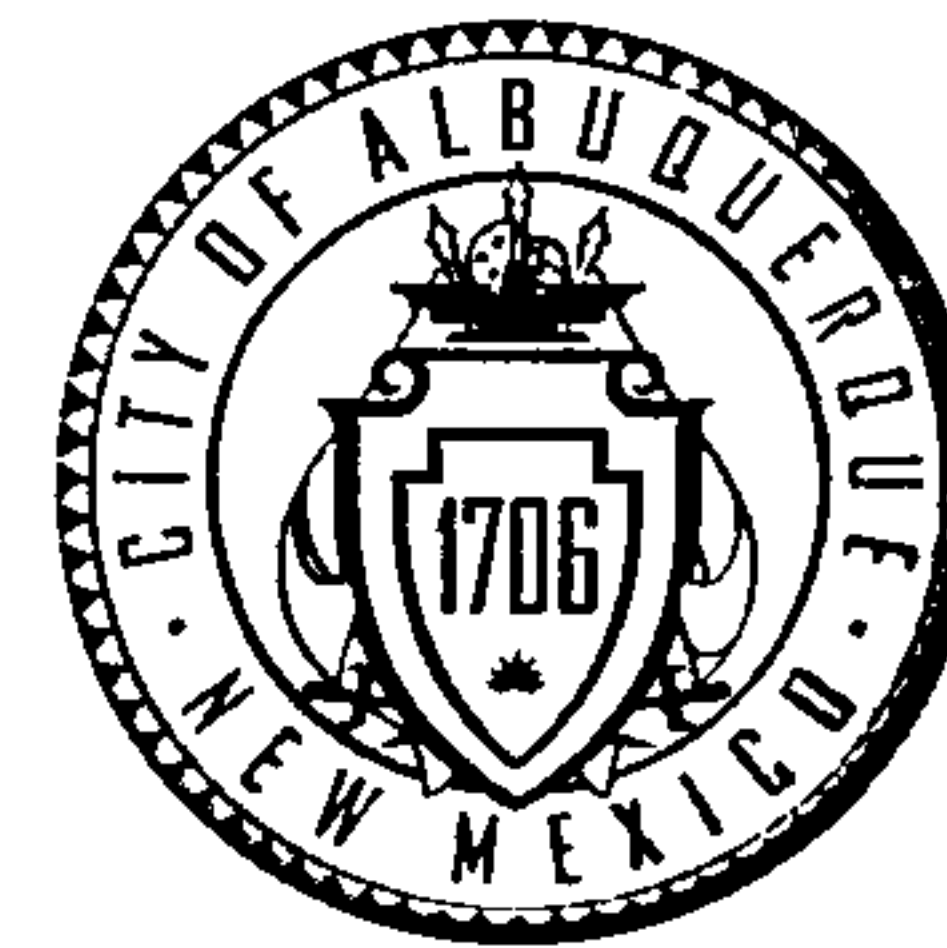
$Q_b = 2.28$

$Q_c = 3.14$

$Q_d = 4.7$

first flush 1355.956

CITY OF ALBUQUERQUE



January 26, 2012

David Soule, P.E.
Rio Grande Engineering
P.O. Box 93924
Albuquerque, NM 87199

**Re: A Class RV Storage
Grading and Drainage Plan
Engineer's Stamp date 10-20-11 (D-16/D002A3)**

Dear Mr. Soule,

Based upon the approval email received from AMAFCA, the above referenced plan is approved for Grading Permit, Paving Permit, Building Permit, and SO-19 Permit.

PO Box 1293

Albuquerque

A separate SO-19 permit is required for construction within City ROW. A copy of this approval letter must be on hand when applying for the excavation/barricading permit. The work in the City ROW must be inspected and accepted. Contractor must contact Martin Pacheco at 235-8016 and Construction Coordination at 924-3416 to schedule an inspection.

NM 87103

Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology. Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist and a Green Tag for the SO-19 permit will be required

www.cabq.gov

If you have any questions, you can contact me at 924-3695.

Sincerely,

Shahab Biazar, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: File

CITY OF ALBUQUERQUE



October 5, 2012

David Soule, P.E.
Rio Grande Engineering
P.O. Box 67305
Albuquerque, NM 87193

david@riograndeengineering.com

**Re: A Class RV @ Journal Center, 7950 Jacs Lane,
Request for Permanent C.O. –Accepted
Engineer's Stamp dated: 10-20-11, (D16/D002A3)
Certification dated: 10-02-12**

Dear Mr. Soule,

Based upon the information provided in the Certification received 10-03-12, the above referenced Certification is acceptable for a release of a Permanent Certificate of Occupancy by Hydrology.

Hydrology is asking for an electronic copy, in .pdf format, of this certification for our records. This certification can be e-mailed to me at: tsims@cabq.gov.

If you have any questions, you can contact me at 924-3982.

Sincerely,

Timothy E. Sims,
Plan Checker—Hydrology Section
Development and Building Services

C: CO Clerk—Katrina Sigala
File

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DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 01/28/2003rd)

PROJECT TITLE: A CLASS RV @ JOURNAL CENTER
DRB #: _____ EPC #: _____

ZONE MAP/DRG. FILE #: D-16/D002A3
WORK ORDER #: _____

LEGAL DESCRIPTION: LOT 3- BLUE SKY SUBDIVISION
CITY ADDRESS: 7950 JACS LANE

ENGINEERING FIRM: Rio Grande Engineering
ADDRESS: PO BOX 67305
CITY, STATE: Alb

CONTACT: David Soule, PE
PHONE: (505)321-9099
ZIP CODE: 87199

OWNER: Murphy Properties, LLC
ADDRESS: _____
CITY, STATE: _____

CONTACT: DAVID MURPHY
PHONE: _____
ZIP CODE: _____

ARCHITECT: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

SURVEYOR: GEOSURV CO
ADDRESS: _____
CITY, STATE: _____

CONTACT: David Vigil
PHONE: _____
ZIP CODE: _____

CONTRACTOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

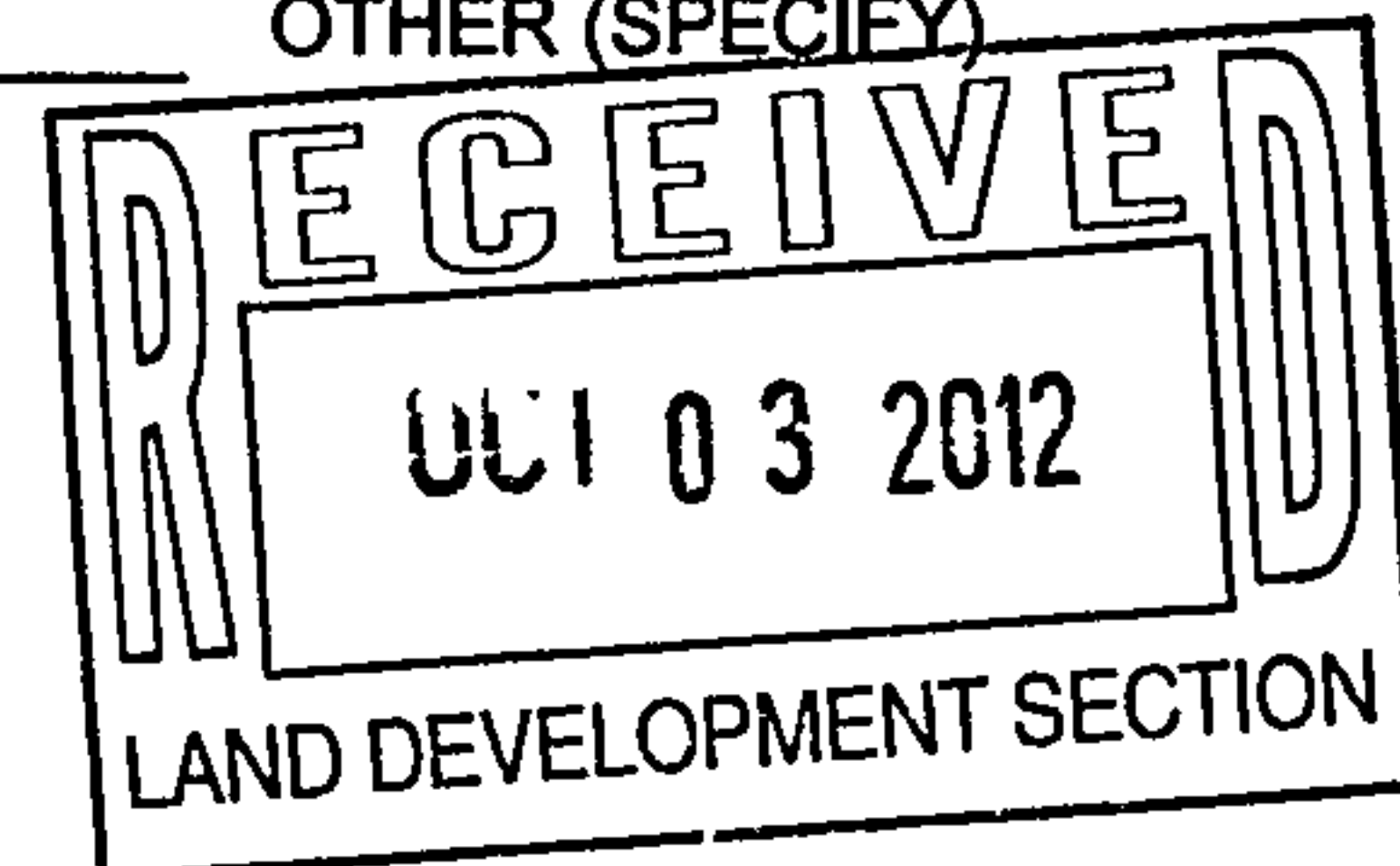
____ DRAINAGE REPORT
____ DRAINAGE PLAN 1st SUBMITTAL, *REQUIRES TCL or equal*
____ DRAINAGE PLAN RESUBMITTAL
____ CONCEPTUAL GRADING & DRAINAGE PLAN
____ GRADING PLAN
____ EROSION CONTROL PLAN
____ x ENGINEER'S CERTIFICATION (HYDROLOGY)
____ CLOMR/LOMR
____ TRAFFIC CIRCULATION LAYOUT (TCL)
____ ENGINEERS CERTIFICATION (TCL)
____ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
____ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

____ SIA / FINANACIAL GUARANTEE RELEASE
____ PRELIMINARY PLAT APPROVAL
____ S. DEV. PLAN FOR SUB'D. APPROVAL
____ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
____ SECTOR PLAN APPROVAL
____ FINAL PLAT APPROVAL
____ FOUNDATION PERMIT APPROVAL
____ BUILDING PERMIT APPROVAL
____ x CERTIFICATE OF OCCUPANCY (PERM.)
____ CERTIFICATE OF OCCUPANCY (TEMP.)
____ GRADING PERMIT APPROVAL
____ PAVING PERMIT APPROVAL
____ WORK ORDER APPROVAL
____ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

____ YES
____ x NO
____ COPY PROVIDED



DATE SUBMITTED: _____ BY: David Soule

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drange submittal.

The particular nature, location and scope of the proposed development defines the degree of drainage detail.

One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plans:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

Rael, Rudy E.

From: Cherne, Curtis
Sent: Wednesday, September 14, 2011 11:28 AM
To: Rael, Rudy E.
Subject: FW: a CLASS RV- lot 3 blue sky subdivision
Attachments: TEMP003.pdf

FYI

From: Mazur, Lynn [mailto:lmazur@amafca.org]
Sent: Wednesday, September 14, 2011 10:22 AM
To: David Soule
Cc: Mark 'Pepe' Bouchard; Cherne, Curtis
Subject: RE: a CLASS RV- lot 3 blue sky subdivision

David, You need to show the AMAFCA and PNM/New Mexico Gas Co. easement in the plan and Section A-A. My recollection is that there is a 16" HP gas line in that easement. Also, Note 3 specifies allowing AMAFCA access through the wall, but the wall is still shown across the easement. I would like to see a line break or gate symbol on the plan. The wall will require an Encroachment Permit with AMAFCA in which I will state that we must be provided with a key.

**Albuquerque Metropolitan Arroyo
Flood Control Authority**

Lynn M. Mazur, P.E., C.F.M.
Development Review Engineer
Phone: (505) 884-2215
Mobile: (505) 362-1273
www.amafca.org

The unauthorized disclosure or interception of e-mail is a federal crime. See 18 U.S.C. § 2517(4). This e-mail is intended only for the use of those to whom it is addressed and may contain information which is privileged, confidential and exempt from disclosures under the law. If you have received this e-mail in error, do not distribute or copy it. Return it immediately with attachments, if any, and notify me by telephone at (505) 884-2215.

From: David Soule [mailto:david@riograndeengineering.com]
Sent: Friday, September 09, 2011 8:59 AM
To: Mazur, Lynn
Subject: a CLASS RV- lot 3 blue sky subdivision

Lynn, we have revised based upon your comments. i will be making hard copy submittal to COA.

From: Academy on 66 [mailto:plot66@acadrepro.com]
Sent: Thursday, September 08, 2011 4:21 PM
To: David Soule
Subject: Scans

9/14/2011

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*

RIO GRANDE ENGINEERING OF NEW MEXICO, LLC

September 9, 2011

Mr. Paul Olson, PE,CFM
Senior Engineer
Planning Department
City of Albuquerque

**RE: Grading and Drainage Plan
D16/d002a3)**

Dear Paul:

The purpose of this letter is to accompany the enclosed grading plan for the referenced project. This plan has been modified to address AMAFCA written comments. This plan has been sent directly to Lynn Mazur via PDF

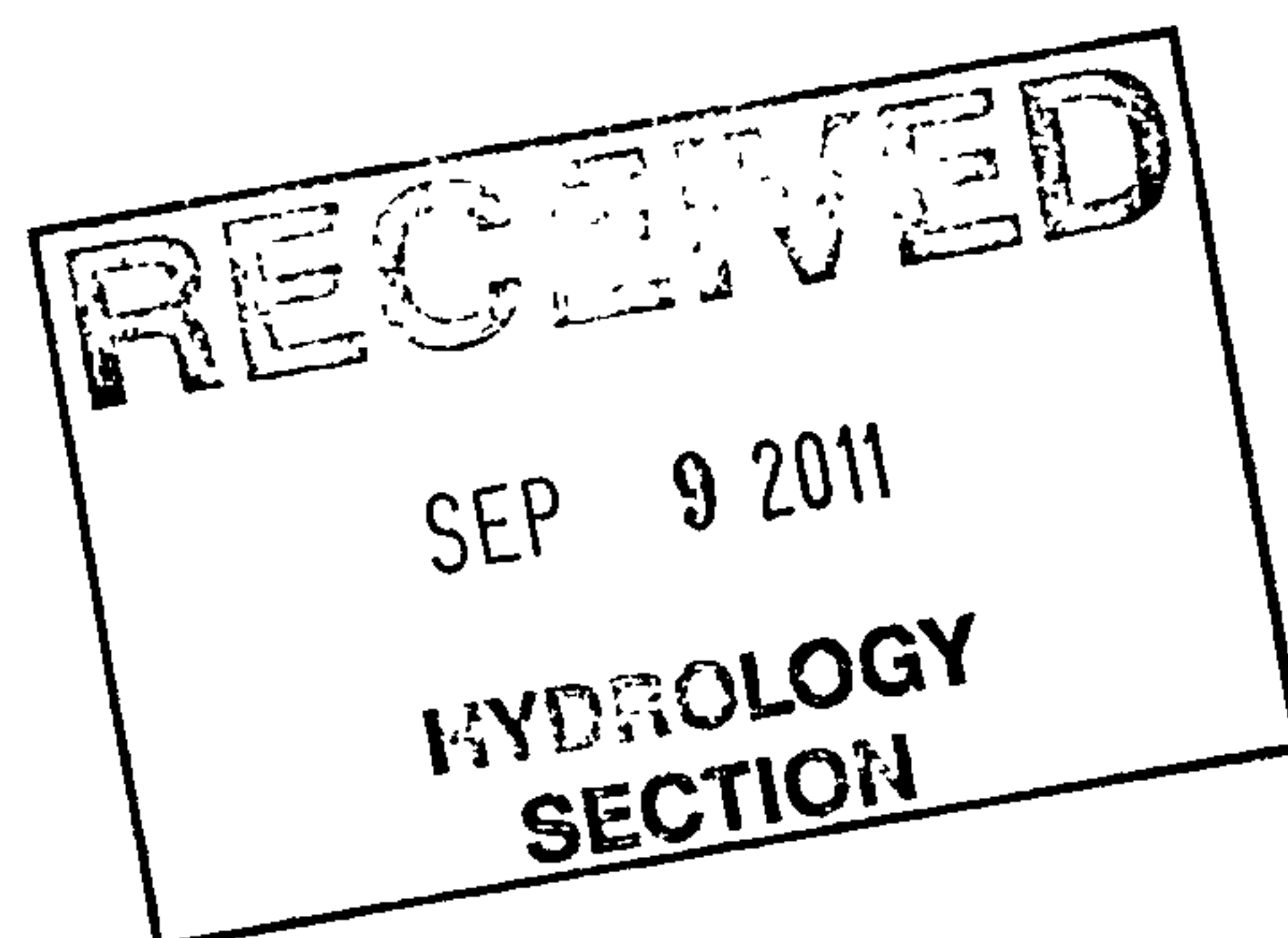
Should you have any questions regarding this resubmittal, please do not hesitate to call me.

Sincerely,



David Soule, PE

Enclosures



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*

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 01/28/2003rd)

PROJECT TITLE: A CLASS RV @ JOURNAL CENTER
DRB #: _____ EPC #: _____

ZONE MAP/DRG. FILE #: D-16/D002A3
WORK ORDER #: _____

LEGAL DESCRIPTION: LOT 3- BLUE SKY SUBDIVISION
CITY ADDRESS: 7950 JACS LANE

ENGINEERING FIRM: Rio Grande Engineering
ADDRESS: PO BOX 67305
CITY, STATE: Alb

CONTACT: David Soule, PE
PHONE: (505)321-9099
ZIP CODE: 87199

OWNER: Murphy Properties, LLC
ADDRESS: _____
CITY, STATE: _____

CONTACT: DAVID MURPHY
PHONE: _____
ZIP CODE: _____

ARCHITECT: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

SURVEYOR: GEOSURV CO
ADDRESS: _____
CITY, STATE: _____

CONTACT: David Vigil
PHONE: _____
ZIP CODE: _____

CONTRACTOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

____ DRAINAGE REPORT
____ DRAINAGE PLAN 1st SUBMITTAL, *REQUIRES TCL or equal*
☒ DRAINAGE PLAN RESUBMITTAL
____ CONCEPTUAL GRADING & DRAINAGE PLAN
____ GRADING PLAN
____ EROSION CONTROL PLAN
____ ENGINEER'S CERTIFICATION (HYDROLOGY)
____ CLOMR/LOMR
____ TRAFFIC CIRCULATION LAYOUT (TCL)
____ ENGINEERS CERTIFICATION (TCL)
____ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
____ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

____ SIA / FINANACIAL GUARANTEE RELEASE
____ PRELIMINARY PLAT APPROVAL
____ S. DEV. PLAN FOR SUB'D. APPROVAL
____ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
____ SECTOR PLAN APPROVAL
____ FINAL PLAT APPROVAL
____ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
____ CERTIFICATE OF OCCUPANCY (PERM.)
____ CERTIFICATE OF OCCUPANCY (TEMP.)
☒ GRADING PERMIT APPROVAL
☒ PAVING PERMIT APPROVAL
____ WORK ORDER APPROVAL
____ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:

____ YES
☒ NO
____ COPY PROVIDED

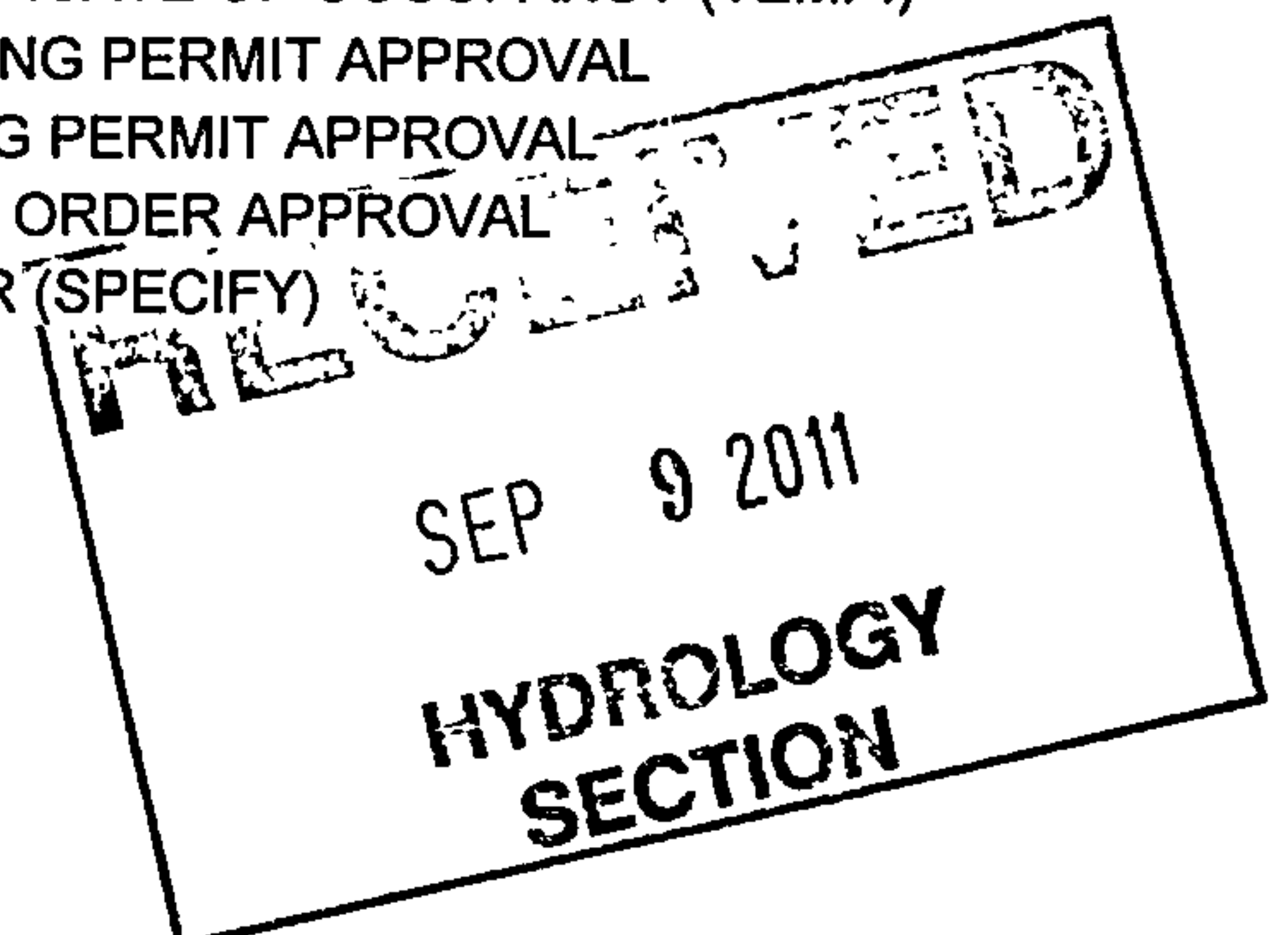
DATE SUBMITTED:  BY: David Soule

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal.

The particular nature, location and scope of the proposed development defines the degree of drainage detail.

One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plans:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.



DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 12/2005)

D-16/2002A3

PROJECT TITLE: A Class RV Storm ZONE MAP: D-16
 DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: Lot 3 - Blue Sky Subdivision
 CITY ADDRESS: 7950 JACS Lane

ENGINEERING FIRM: R. O. Grant Engineering CONTACT: _____
 ADDRESS: Po Box 67305 PHONE: _____
 CITY, STATE: Alb NM 87193 ZIP CODE: _____

OWNER: David Murphy CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

ARCHITECT: Ken Harty CONTACT: _____
 ADDRESS: 1606 Central SE PHONE: _____
 CITY, STATE: Alb NM ZIP CODE: _____

SURVEYOR: Geo-Surv Co CONTACT: John
 ADDRESS: _____ PHONE: 917-8921
 CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:

- ☒ DRAINAGE REPORT
- ☒ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☒ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP)
- ☒ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☒ NO
- ☐ COPY PROVIDED

DATE SUBMITTED: OMM BY: 5/6/11

RECEIVED

MAY 6 2011

\$5000

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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3. Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 01/28/2003rd)

**
**
**
**

PROJECT TITLE: A CLASS RV @ JOURNAL CENTER
 DRB #: _____ EPC #: _____

ZONE MAP/DRG. FILE #: D-16/D002A3
 WORK ORDER #: _____

LEGAL DESCRIPTION: LOT 3- BLUE SKY SUBDIVISION
 CITY ADDRESS: 7950 JACS LANE

ENGINEERING FIRM: Rio Grande Engineering
 ADDRESS: PO BOX 67305
 CITY, STATE: Alb

CONTACT: David Soule, PE
 PHONE: (505)321-9099
 ZIP CODE: 87199

OWNER: Murphy Properties, LLC
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: DAVID MURPHY
 PHONE: _____
 ZIP CODE: _____

ARCHITECT: _____
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: _____
 PHONE: _____
 ZIP CODE: _____

SURVEYOR: GEOSURV CO
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: David Vigil
 PHONE: _____
 ZIP CODE: _____

CONTRACTOR: _____
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: _____
 PHONE: _____
 ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

- _____ DRAINAGE REPORT
- _____ DRAINAGE PLAN 1st SUBMITTAL, *REQUIRES TCL or equal*
- _____ DRAINAGE PLAN RESUBMITTAL
- _____ CONCEPTUAL GRADING & DRAINAGE PLAN
- _____ GRADING PLAN
- _____ EROSION CONTROL PLAN
- ☒ ENGINEER'S CERTIFICATION (HYDROLOGY)
- _____ CLOMR/LOMR
- _____ TRAFFIC CIRCULATION LAYOUT (TCL)
- _____ ENGINEERS CERTIFICATION (TCL)
- _____ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- _____ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

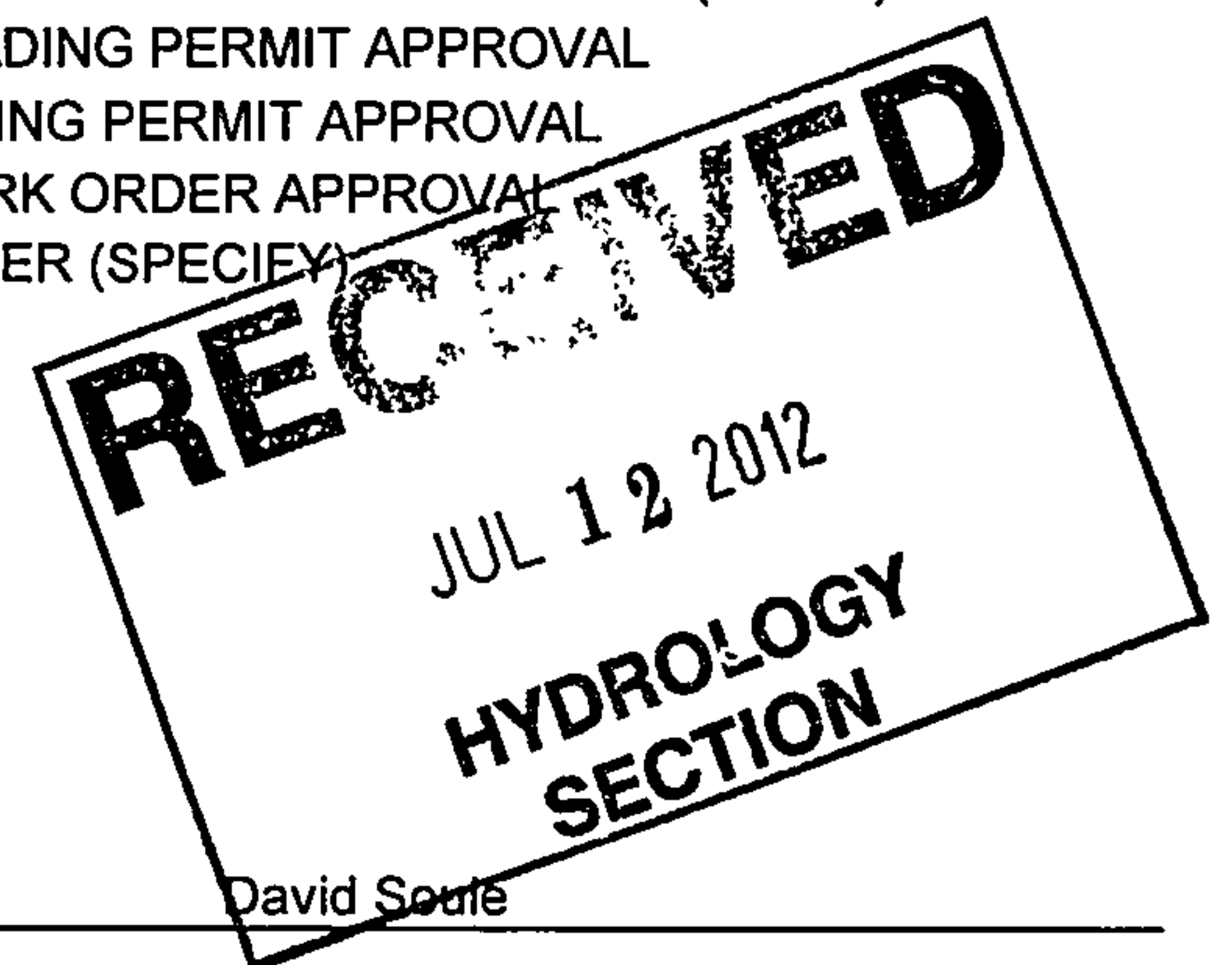
- _____ SIA / FINANACIAL GUARANTEE RELEASE
- _____ PRELIMINARY PLAT APPROVAL
- _____ S. DEV. PLAN FOR SUB'D. APPROVAL
- _____ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- _____ SECTOR PLAN APPROVAL
- _____ FINAL PLAT APPROVAL
- _____ FOUNDATION PERMIT APPROVAL
- _____ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM.)
- ☒ CERTIFICATE OF OCCUPANCY (TEMP.)
- _____ GRADING PERMIT APPROVAL
- _____ PAVING PERMIT APPROVAL
- _____ WORK ORDER APPROVAL
- _____ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- _____ YES
- ☒ NO
- _____ COPY PROVIDED

DATE SUBMITTED: 7/12/12 BY: David Soule

N-Verbal
 ROW-
 WAP SCAPPS
 7-31-12



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal.

The particular nature, location and scope of the proposed development defines the degree of drainage detail.

One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plans:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

CITY OF ALBUQUERQUE



November 21, 2011

David Soule, P.E.
Rio Grande Engineering
P.O. Box 93924
Albuquerque, NM 87199

Re: A Class RV Storage
Grading and Drainage Plan
Engineer's Stamp date 10-20-11 (D-16/D002A3)

Dear Mr. Soule,

Based upon the information provided in your submittal received 10/20/11, the above referenced plan can not be approved for Grading Permit, Paving Permit and Building Permit until the following comments are addressed.

- An approval letter or email from AMAFCA is required.

If you have any questions, you can contact me at 924-3695.

Sincerely,

Shahab Biazar, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 01/28/2003rd)

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PROJECT TITLE: A CLASS RV @ JOURNAL CENTER
 DRB #: _____ EPC #: _____

ZONE MAP/DRG. FILE #: D-16/D002A3
 WORK ORDER #: _____

LEGAL DESCRIPTION: LOT 3- BLUE SKY SUBDIVISION
 CITY ADDRESS: 7950 JACS LANE

ENGINEERING FIRM: Rio Grande Engineering
 ADDRESS: PO BOX 67305
 CITY, STATE: Alb

CONTACT: David Soule, PE
 PHONE: (505)321-9099
 ZIP CODE: 87199

OWNER: Murphy Properties, LLC
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: DAVID MURPHY
 PHONE: _____
 ZIP CODE: _____

ARCHITECT: _____
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: _____
 PHONE: _____
 ZIP CODE: _____

SURVEYOR: GEOSURV CO
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: David Vigil
 PHONE: _____
 ZIP CODE: _____

CONTRACTOR: _____
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: _____
 PHONE: _____
 ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL, *REQUIRES TCL or equal*
- ☒ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

- ☐ SIA / FINANACIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☒ GRADING PERMIT APPROVAL
- ☒ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☒ NO
- ☐ COPY PROVIDED

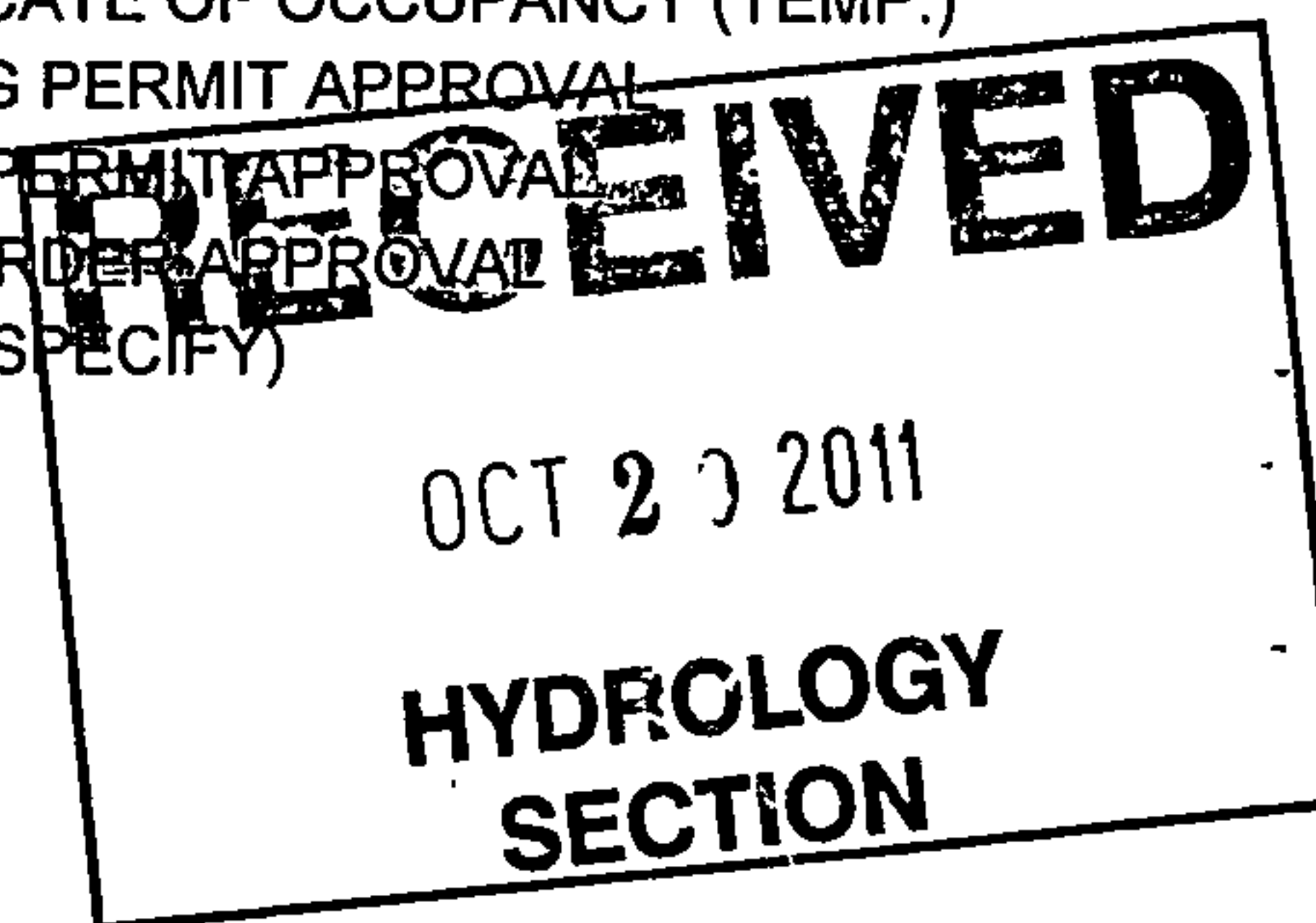
DATE SUBMITTED: _____ BY: David Soule

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a dranlage submittal.

The particular nature, location and scope of the proposed development defines the degree of drainage detail.

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2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.



RIO GRANDE ENGINEERING OF NEW MEXICO, LLC

October 20, 2011

Mr. Rudy Rael PE
Drainage Engineer
Planning Department
City of Albuquerque

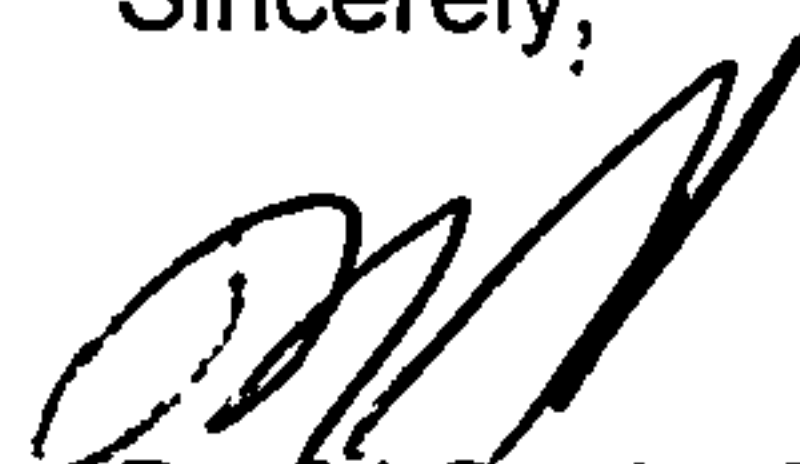
**RE: Grading and Drainage Plan
A Class RV (D16-D002A3)**

Dear Rudy:

The purpose of this letter is to accompany the enclosed grading plan for the referenced project. This plan was previously modified to address your verbal comments dated September 19, 2011. The modifications shown here are due the ownership forgoing constructing offices and construction only 3 carports and keeping the remaining lot for parking only. This change doesn't affect the drainage calculations previously submitted.

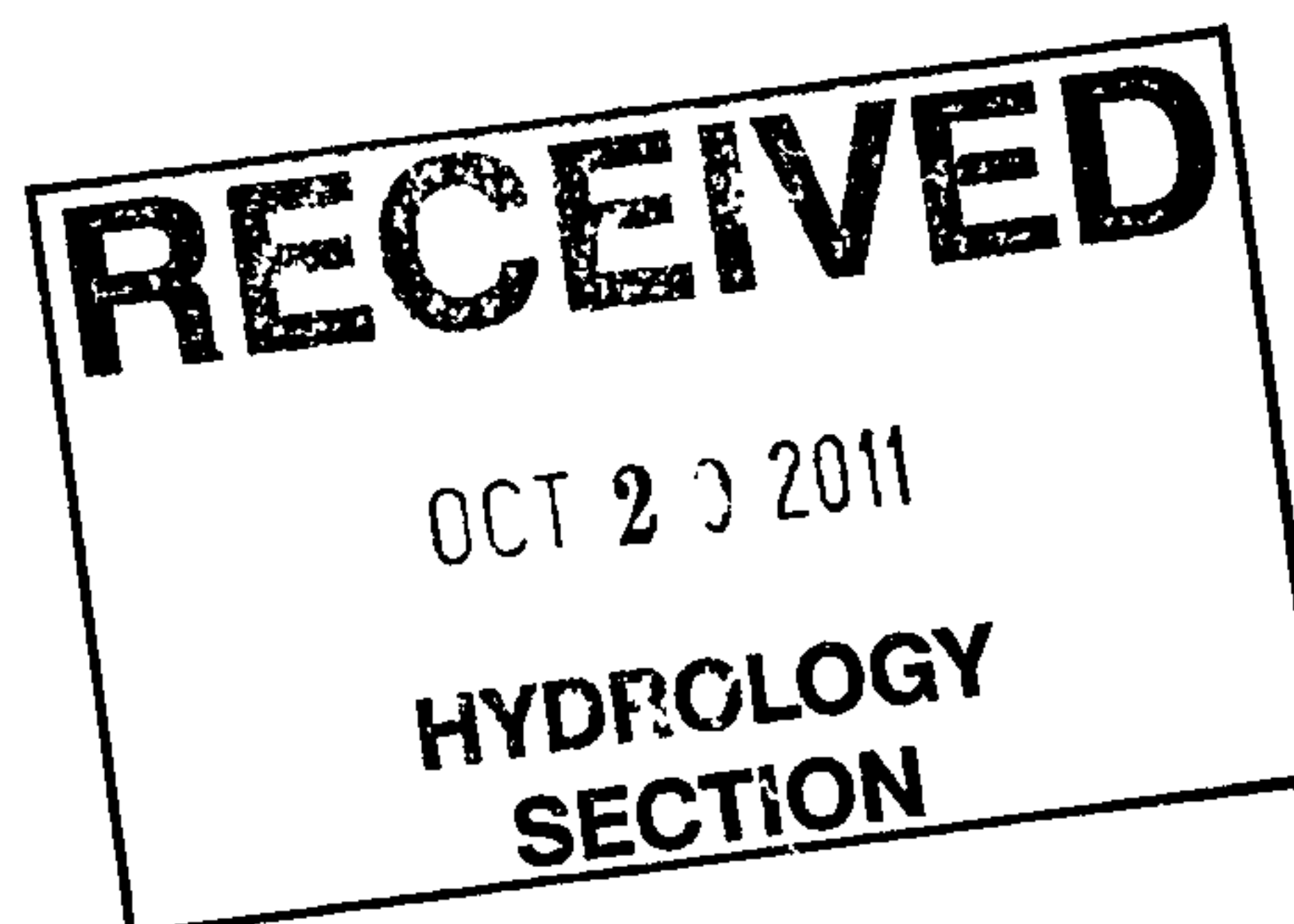
Should you have any questions regarding this resubmittal, please do not hesitate to call me.

Sincerely,

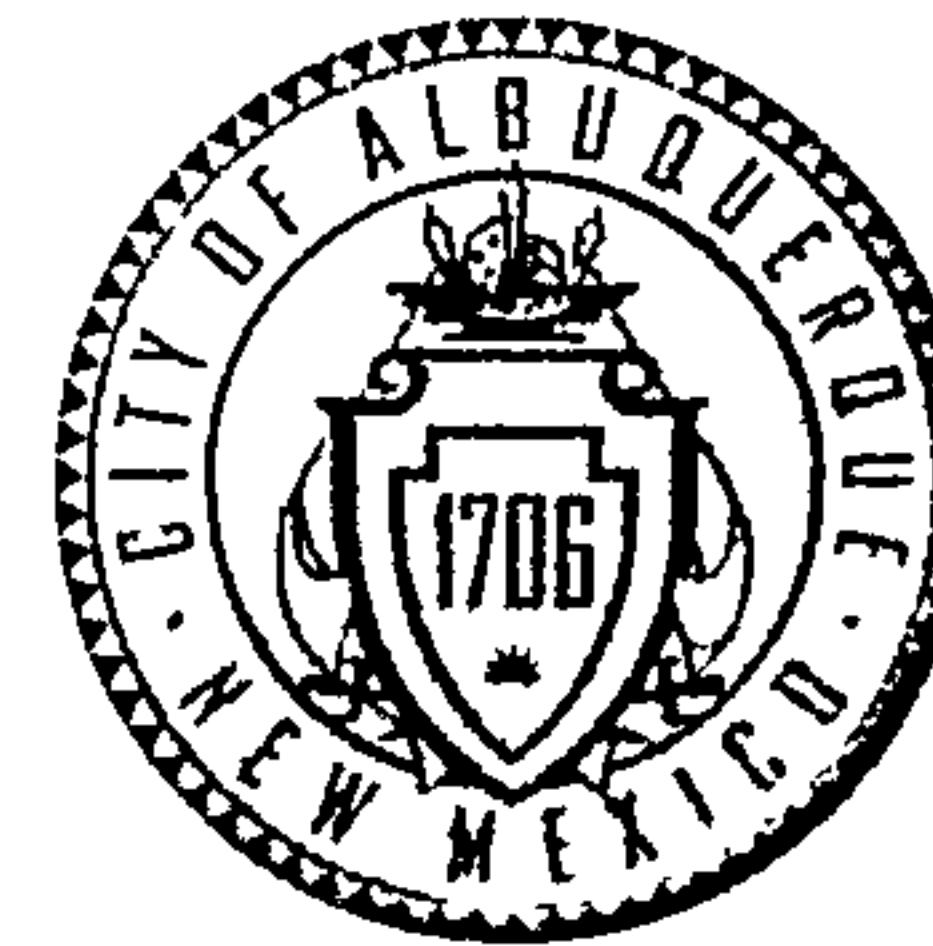


David Soule, PE

Enclosures



CITY OF ALBUQUERQUE



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**Planning Department
Transportation Development Services Section**

October 10, 2012

Ken Hovey, R.A.
Ken Hovey Architect
9215 Shoshone Road NE
Albuquerque, NM 87111

Re: **Certification for Permanent Building Certificate of Occupancy (C.O.)**
A Class RV Storage @ Journal Center ~~E-21430711~~
7950 Jacs Lane NE
Architect's Stamp Dated 10/10/12

D-16/0002A3

Dear Mr. Hovey:

Based upon the information provided in your submittal received 10-10-12, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy.

This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact me at (505)924-3630.

Sincerely,

Nilo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

c: Engineer
Hydrology file
CO Clerk

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

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**KEN HOVEY, ARCHITECT
9215 SHOSHONE ROAD NE
ALBUQUERQUE, NEW MEXICO 87111
PHONE: (505) 258.8458**

October 10, 2012

City of Albuquerque
Transportation Department
600 Second Street NW

Subject: Architect's Traffic Certification for 7950 Jacs Lane NE

I, Ken Hovey, an Architect registered in the State of New Mexico, am the Architect-of-Record for the A Class RV Storage located at the subject property. I have visited the site and performed a visual inspection of the as-built construction and I find that it is in substantial compliance with the approved Traffic Circulation Layout (TCL) dated 10/19/11.

I have submitted, herewith, a copy of the approved TCL with redlines showing any departure from the approved plan. The submitted plan is representative of actual site conditions and is true and correct to the best of my knowledge and belief.

The information presented on the redlined TCL is intended only to verify substantial compliance of the Traffic aspects of this project and is not necessarily complete. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

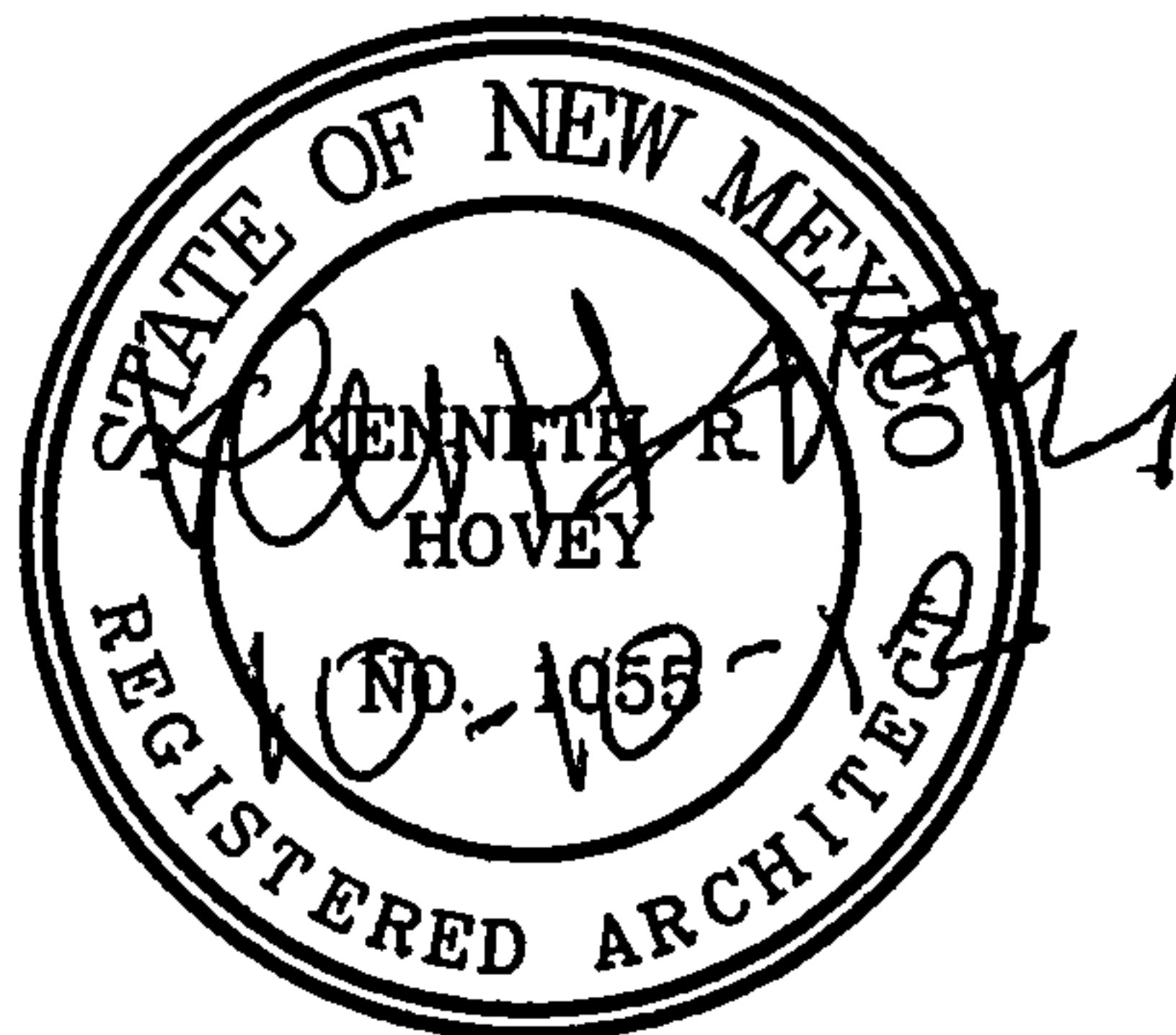
This Architect's certification is submitted in support of issuance of a permanent Certificate of Completion for the subject address.

If you have any questions, or if further discussion is required, please don't hesitate to contact me at (505) 259.8458.

Sincerely,



Ken Hovey



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DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV 02/2012)

PROJECT TITLE: A CLASS RV STORAGE ZONE MAP: D-16/D002A3
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: LOT 3 BLUE SKY BUSINESS PARK
CITY ADDRESS: 1950 JACS LANE NE

ENGINEERING FIRM: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____
EMAIL: _____

OWNER: DAVID MURPHY CONTACT: DAVE
ADDRESS: 9215 SHO SHONE RD, NE PHONE: (623) 698-4003
CITY, STATE: ABQ, NM 87111 ZIP CODE: 87111

ARCHITECT: KENT HOVEY CONTACT: KEN
ADDRESS: 9215 SHO SHONE RD, NE PHONE: 505, 259, 8458
CITY, STATE: ABQ, NM 87111 ZIP CODE: 87111
EMAIL: ken_hovey@msn.com

SURVEYOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT
☒ ENGINEER'S CERT (TCL)
☒ ENGINEER'S CERT (DRB SITE PLAN)
☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TEMP)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ GRADING CERTIFICATION
☐ OTHER (SPECIFY) SO-19 _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
☐ NO
☐ COPY PROVIDED

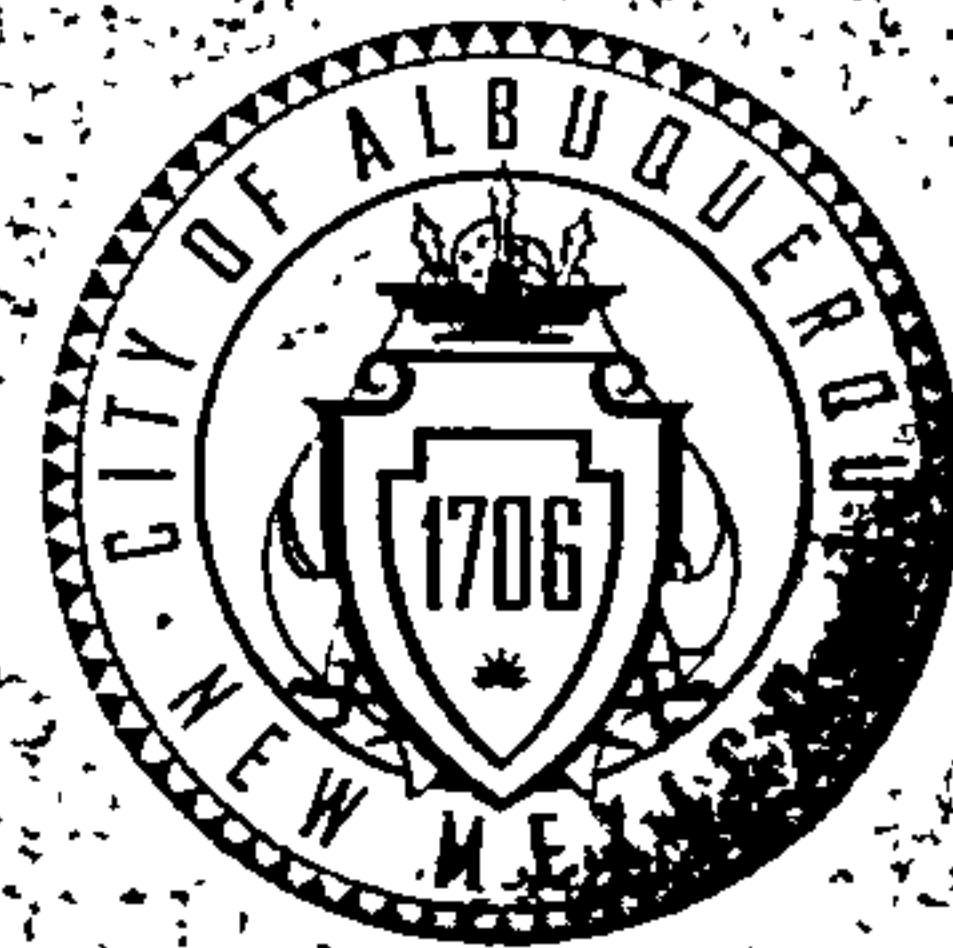
DATE SUBMITTED: 10-10-12 BY: KENT HOVEY

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



CITY OF ALBUQUERQUE



July 8, 2011

David Soule, P.E.
Rio Grande Engineering
P.O. Box 67305
Albuquerque, NM 87193

Re: **A Class RV Storage
Grading and Drainage Plan
Engineer's Stamp date 5-31-11 (D-16/D002A3)**

Dear Mr. Soule,

Based upon the information provided in your submittal received 5/31/11, the above referenced plan can not be approved for Grading Permit, Paving Permit and Building Permit until the following comments are addressed.

- A separate permit (SO 19) is required for construction within City ROW. The SO-19 notes need to be placed on the grading and drainage plan.
- An approval letter or email from AMAFCA is required.

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

If you have any questions, you can contact me at 924-3421, or Rudy E. Rael at 924-3977.

Sincerely,

Curtis Cherne, P.E., CFM
Principal Engineer, Planning Dept.
Development and Building Services

RER/CAC
C: File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 01/28/2003rd)

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PROJECT TITLE: A CLASS RV @ JOURNAL CENTER
 DRB #: _____ EPC #: _____

ZONE MAP/DRG. FILE #: D-16/D002A3
 WORK ORDER #: _____

LEGAL DESCRIPTION: LOT 3- BLUE SKY SUBDIVISION
 CITY ADDRESS: 7950 JACS LANE

ENGINEERING FIRM: Rio Grande Engineering
 ADDRESS: PO BOX 67305
 CITY, STATE: Alb

CONTACT: David Soule, PE
 PHONE: (505)321-9099
 ZIP CODE: 87199

OWNER: Murphy Properties, LLC
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: DAVID MURPHY
 PHONE: _____
 ZIP CODE: _____

ARCHITECT: _____
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: _____
 PHONE: _____
 ZIP CODE: _____

SURVEYOR: GEOSURV CO
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: David Vigil
 PHONE: _____
 ZIP CODE: _____

CONTRACTOR: _____
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: _____
 PHONE: _____
 ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL, *REQUIRES TCL or equal*
- ☒ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

- ☐ SIA / FINANACIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
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- ☐ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☒ GRADING PERMIT APPROVAL
- ☒ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☒ NO
- ☐ COPY PROVIDED

MAY 31 2011

**HYDROLOGY
SECTION**

DATE SUBMITTED: 5/31/11 BY: David Soule

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal.

The particular nature, location and scope of the proposed development defines the degree of drainage detail.

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1. **Conceptual Grading and Drainage Plans:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

Weighted E Method

											100-Year, 6-hr.			10-day
Basin	Area (sf)	Area (acres)	Treatment A		Treatment B		Treatment C		Treatment D		Weighted E (ac-ft)	Volume (ac-ft)	Flow cfs	Volume (ac-ft)
			%	(acres)	%	(acres)	%	(acres)	%	(acres)				
EXISTING	98881.20	2.270	0%	0	80%	1.816	20%	0.454	0%	0.000	0.580	0.110	3.87	0.110
BASIN A	24071.26	0.553	0%	0	0%	0.000	71%	0.392346	29%	0.158	1.408	0.065	1.97	0.086
BASIN B	33645.74	0.772	0%	0	0%	0.000	59%	0.455716	41%	0.316	1.251	0.081	2.14	0.123
BASIN C	41098.86	0.944	0%	0	0%	0.000	50%	0.47175	50%	0.474	1.630	0.128	3.71	0.191
combined	65170.12	2.27		0.00		0.00		1.32		0.95		0.27	7.83	0.40

Equations:

Weighted E = $E_a \cdot A_a + E_b \cdot A_b + E_c \cdot A_c + E_d \cdot A_d$ / (Total Area)

Volume = Weighted D * Total Area

Flow = $Q_a \cdot A_a + Q_b \cdot A_b + Q_c \cdot A_c + Q_d \cdot A_d$

Where for 100-year, 6-hour storm

$E_a = 0.53$

$E_b = 0.78$

$E_c = 1.13$

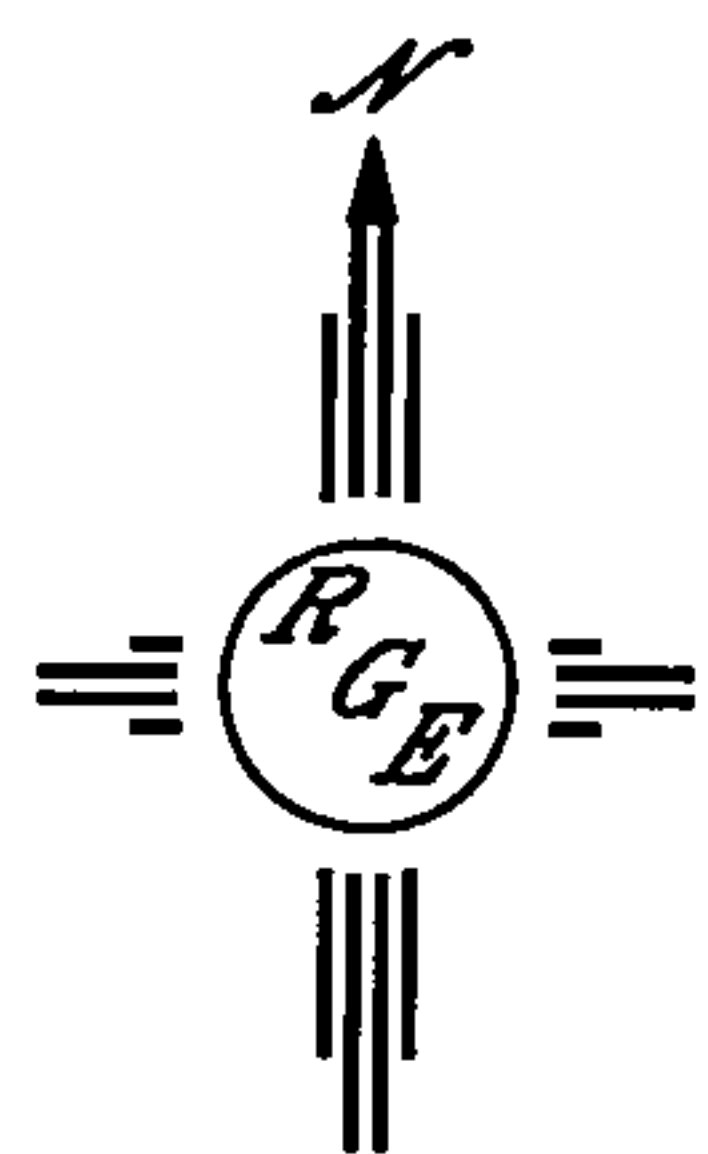
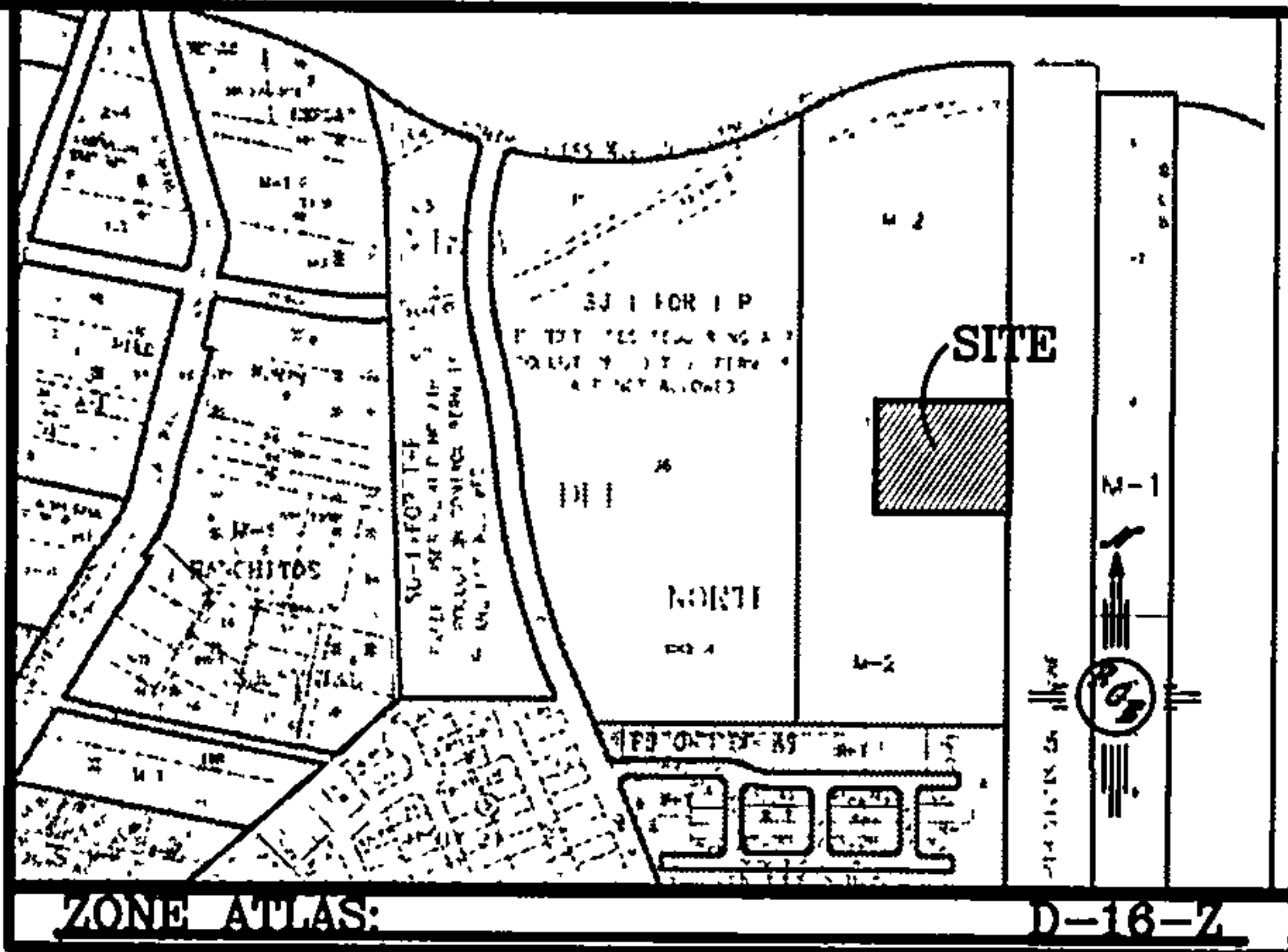
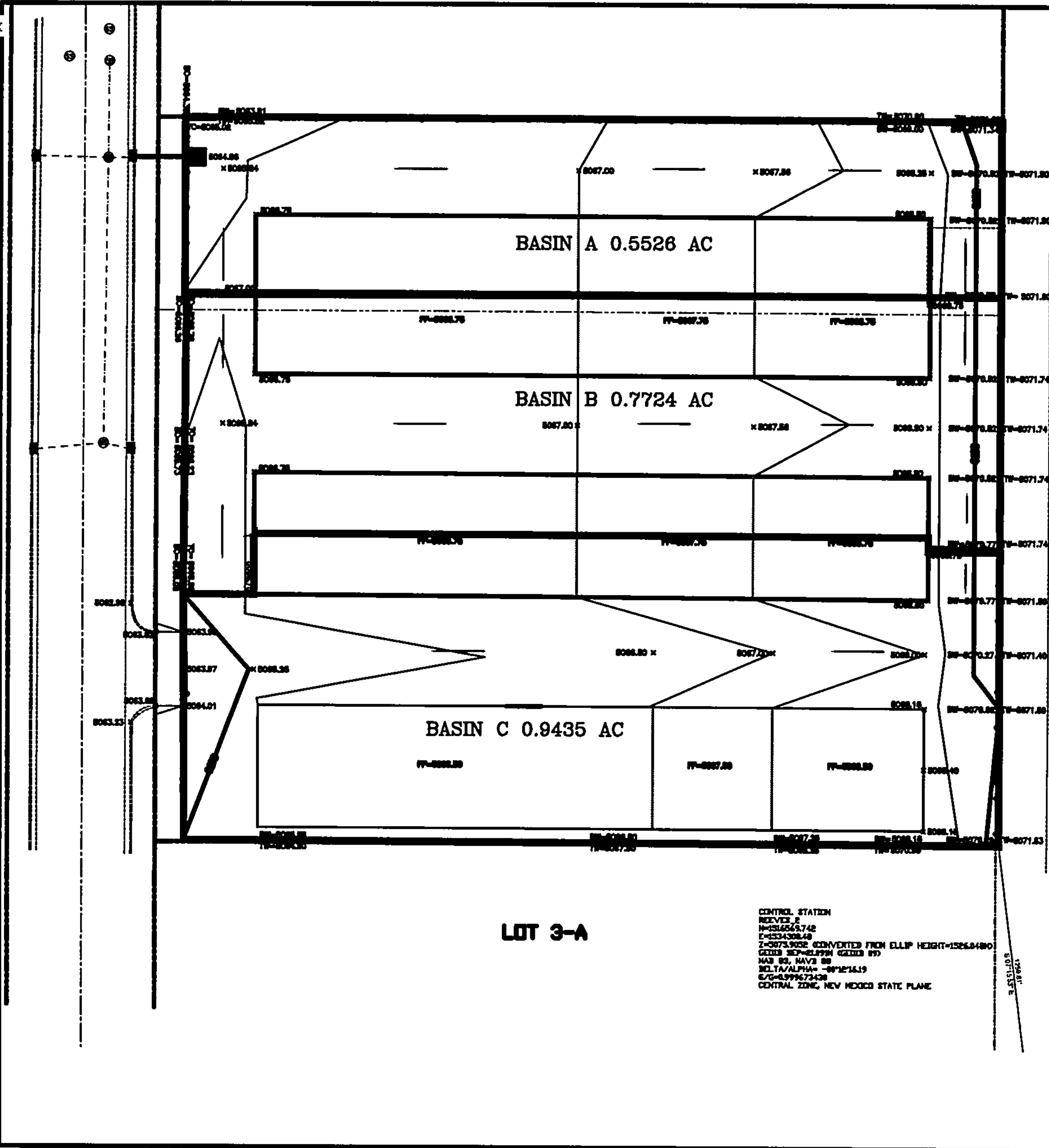
$E_d = 2.12$

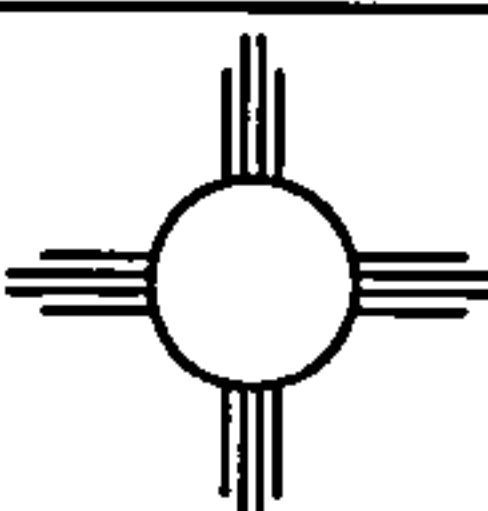
$Q_a = 1.56$

$Q_b = 2.28$

$Q_c = 3.14$

$Q_d = 4.7$



ENGINEER'S SEAL	A CLASS RV/STORAGE JOURNAL CENTER 7950 JACS LANE	DRAWN BY WCUJ
	BASIN MAP	DATE 5-31-11
	 Rio Grande Engineering 1808 CENTRAL AVENUE SE SUITE 201 ALBUQUERQUE, NM 87108 (505) 872-0888	SHEET # —
		JOB # 21110

OUTLET CALCULATIONS

ACTUAL ELEV.	DEPTH (FT)	Q (CFS)
GRATE	2.67	2.569

! > 1.97 Required.

Orifice Equation

$Q = CA \text{ SQRT}(2gH)$

C = 0.6
Diameter (in) 8
Area (ft^2)= 0.34906585
g = 32.2
H (Ft) = Depth of water above center of orifice
Q (CFS)= Flow

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Pipe Capacity

Pipe	D	Slope	Area	R	Q Provided	Q Required	Velocity
	(in)	(%)	(ft^2)		(cfs)	(cfs)	(ft/s)
OUTLET	8	13	0.35	0.1666667	4.37	1.97	5.64

Manning's Equation:

$Q = 1.49/n * A * R^{(2/3)} * S^{(1/2)}$

A = Area

R = D/4

S = Slope

n = 0.013

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*
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RIO GRANDE ENGINEERING OF NEW MEXICO, LLC

May 31, 2011

Mr. Paul Olson, PE,CFM
Senior Engineer
Planning Department
City of Albuquerque

**RE: Grading and Drainage Plan
512 Madison Place SE (L17-D001C)**

Dear Curtis:

The purpose of this letter is to accompany the enclosed grading plan for the referenced project. This plan has been modified to address your written comments dated May 6, 2011. The following is a summary of your comments with the annotation as to how the plans were modified to address the comments.

1. Provide basin Map.

Enclosed

2. Existing calculations are needed

The drainage calculation have been modified based upon basin map and include existing hydrology. The site has been mass graded with the Blue Sky development.

3. Proposed and existing contours are needed

These have been added to the updated plan

4. The sidewalk culvert is no acceptable... tie into back of existing inlet

We have removed the culverts and tied into inlet via 8" pipe and inlet. Capacity calculations have been included.

5. How are flows on north and south affected?

The site to south is developed and free discharges to the street. The site to north is vacant but mass graded to drain to street. This parcel is located within a recently developed industrial park (Blue Sky). Each lot has been graded to drain directly to Jacs lane. No cross lot drainage is occurring.

Should you have any questions regarding this resubmittal, please do not hesitate to call me.

Sincerely,



David Soule, PE

Enclosures

CITY OF ALBUQUERQUE



May 20, 2011

David Soule, P.E.
Rio Grande Engineering
P.O. Box 67305
Albuquerque, NM 87193

**Re: A Class RV Storage
Grading and Drainage Plan
Engineer's Stamp date 5-6-11 (D-16/D002A3)**

Dear Mr. Soule,

Based upon the information provided in your submittal received 5/6/11, the above referenced plan cannot be approve for Building Permit until the following comments are addressed:

- A basin map is needed.
- Existing Calculations are needed.
- Proposed and existing contours are needed.
- The sidewalk culvert is no longer acceptable unless other means can not be achieved. In this case I believe that tying into the back of the existing inlet would be better, or having the flows exit through the entry way.
- How are the flows being affected to the north and south of this site?

If you have any questions, you can contact me at 924-3421, or Rudy E. Rael at 924-3977.

Sincerely, _____

Paul Olson
Paul Olson, P.E., CFM
Senior Engineer, Planning Dept.
Development and Building Services

C: PLO/RER
file

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DRAINAGE REPORT

For

**A Class RV Storage
@Journal Center
7950 Jacs Lane NE
Albuquerque, New Mexico**

Prepared by

Rio Grande Engineering
PO Box 67305
Albuquerque, New Mexico 87193

April 2011



David Soule P.E. No. 14522

TABLE OF CONTENTS

Purpose3
Introduction.....3
Existing Conditions.....3
Exhibit A-Vicinity Map4
Proposed Conditions5
Summary5

Appendix

Site Hydrology A

Map Pocket
Site Grading and Drainage Plan

PURPOSE

The purpose of this report is to provide the Drainage Management Plan for the construction of an RV storage facility located at 7950 Jacs Lane NE. This plan was prepared in accordance with the City of Albuquerque design regulations, utilizing the City of Albuquerque's Development Process Manual drainage guidelines. This report will demonstrate that the grading does not adversely affect the surrounding properties, nor the upstream or downstream facilities.

INTRODUCTION

The subject of this report, as shown on the Exhibit A, is a 1.72-acre parcel of land located on the east side of Jacs lane south of Paseo Del Norte. The legal description of this site is Lot 3, Blue Sky Subdivision. As shown on FIRM map35013C0136G, the entire site is located within Flood Zone X. The site is a graded lot within the blue sky subdivision. The entire downstream infrastructure has been constructed. The site is part of the blue Sky master drainage study and allowed free discharge to the existing inlets located adjacent to the site. The development of this site shall conform to the Blue Sky Master Drainage Plan.

EXISTING CONDITIONS

The site is currently developed as a graded lot. The site currently discharges directly to Jacs Lane. This flow is captured by a series of inlets located adjacent to the site. The storm drain carries the entire subdivision flow to a City maintained retention/detention pond located west off the site on Los Lomitas. The AMAFCA North Diversion Channel is located directly upstream of the site so no upland flows enter the site.

PROPOSED CONDITIONS

The proposed improvements consist of approximately 40,000 square feet of phased covered storage for RV's. The floors and the drive isles will be gravel. The site will be graded such that there will be two basins, the southern basin will discharge 4.28 cfs out the existing driveway. The northern basin will discharge 2.47 cfs to a 2' rundown and sidewalk culver connected to Jacs Lane. As shown in appendix A, the culvert has capacity. A 6-8" tall header curb will run the length of the western property line to assure flow leaves the site via the rundown and driveway.

SUMMARY AND RECOMMENDATIONS

This project is a development of a graded pad site. The site is within the master drainage plan area of the Blue Sky development. This site is allowed to free discharge to Jacs and the storm drain within. Since the effected area site encompasses more than 1 acre, a NPDES permit should be required prior to any construction activity.

APPENDIX A

SITE HYDROLOGY

Weighted E Method

Basin	Area (sf)	Treatment A		Treatment B		Treatment C		Treatment D		100-Year, 6-hr.		10-day Volume (ac-ft)
		Area (acres)	%	Area (acres)	%	Area (acres)	%	Area (acres)	%	Weighted E (ac-ft)	Volume (ac-ft)	
north basin	27442.80	0.630	0%	0	10%	0.063	34%	0.2142	56%	1.849	0.087	2.47
south basin	47480.40	1.090	0%	0	10%	0.109	34%	0.3708	56%	1.849	0.150	4.28
combined	74923.20	1.72		0.00		0.17		0.58			0.24	6.76
												0.38

fixing
pixels

Equations:

Weighted E = Ea * Aa + Eb * Ab + Ec * Ac + Ed * Ad / (Total Area)

Volume = Weighted D * Total Area

Flow = Qa * Aa + Qb * Ab + Qc * Ac + Qd * Ad

Where for 100-year, 6-hour storm

- Ea= 0.53
Eb= 0.78
Ec= 1.13
Ed= 2.12
- Qa= 1.56
Qb= 2.28
Qc= 3.14
Qd= 4.7

NORTHERN RUNDOWN

Weir Equation:

$$Q = CLH^{3/2}$$

$$Q = 2.47$$

$$C = 2.95$$

$$H = 0.67 \text{ ft}$$

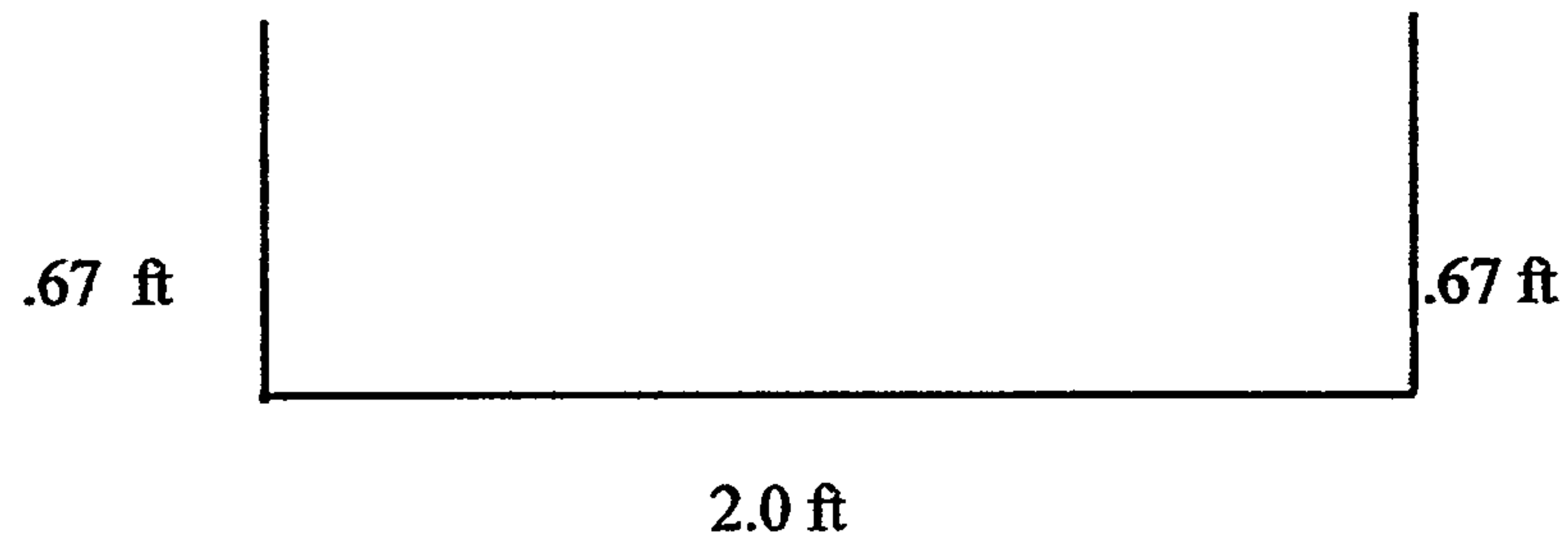
L = Length of weir

$$L = \frac{2.47}{2.95(.67)^{3/2}}$$

$$L = 1.4 \text{ ft}$$

Use 2.0 feet for length of weir

$$\text{Max } Q = 2.95(2)(1^{3/2}) = 3.24 \text{ cfs}$$

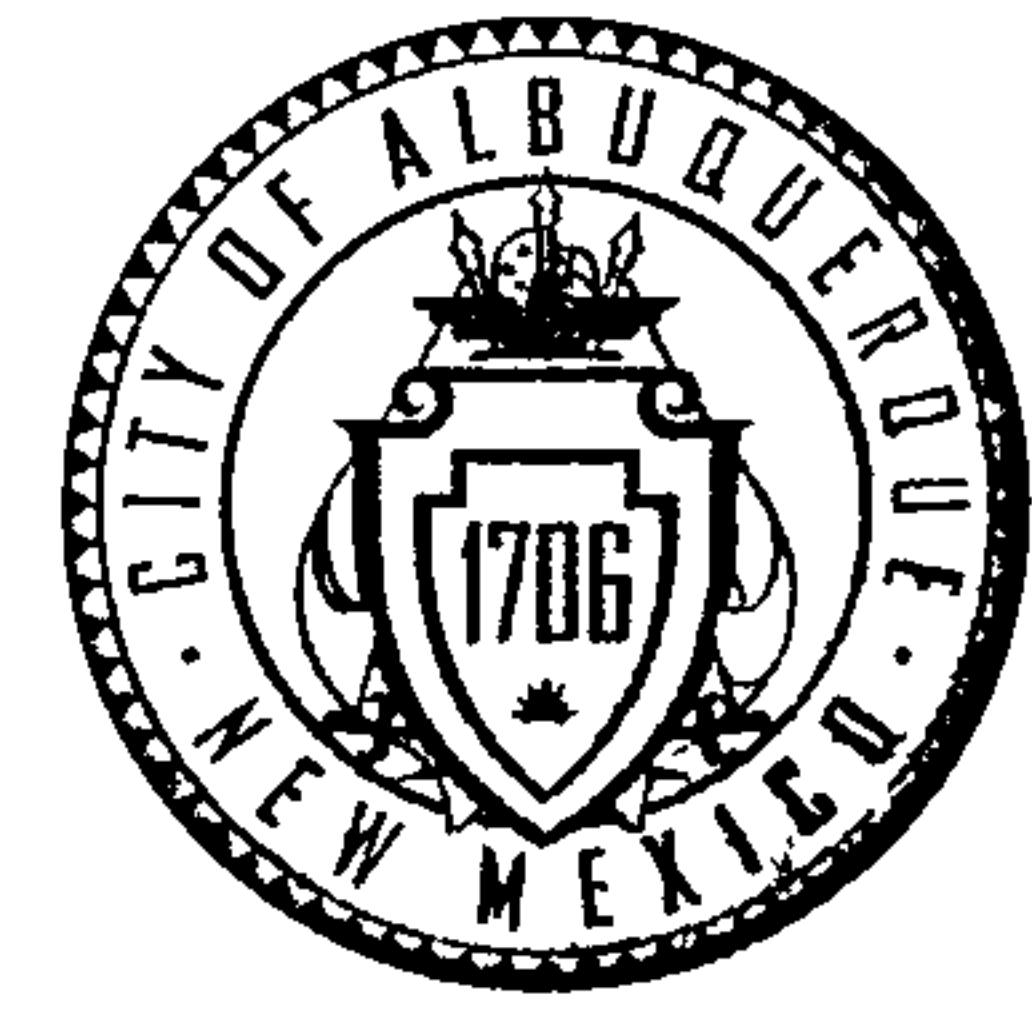


Channel Capacity

	Top Width	Bottom Width	Depth	Area	WP	R	Slope	Q Provided	Q Required	Velocity
	(ft)	(ft)	(ft)	(ft^2)	(ft)		(%)	(cfs)	(cfs)	(ft/s)
southeastwall	2	2	0.67	1.34	3.34	0.4011976	2	9.04	2.50	1.87

Manning's Equation:
 $Q = 1.49/n * A * R^{(2/3)} * S^{(1/2)}$
A = Area
R = D/4
S = Slope
n = 0.017

CITY OF ALBUQUERQUE



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July 27, 2016

R2 Architectural Design & Consulting
Robert Rayner
730 San Mateo Blvd SE
Albuquerque, NM

Re: Blue Sky Covered RV Storage
7950 Jacs Ln NE
Traffic Circulation Layout
Architect's Stamp 06/10/16 (D16D002A3)

Dear Mr. Rayner,

The TCL submittal received 07-25-16 is conditionally approved for Building Permit. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

As a condition of release of final C.O. the following items must be corrected prior to release of Final Certificate of Occupancy.

PO Box 1293

Albuquerque

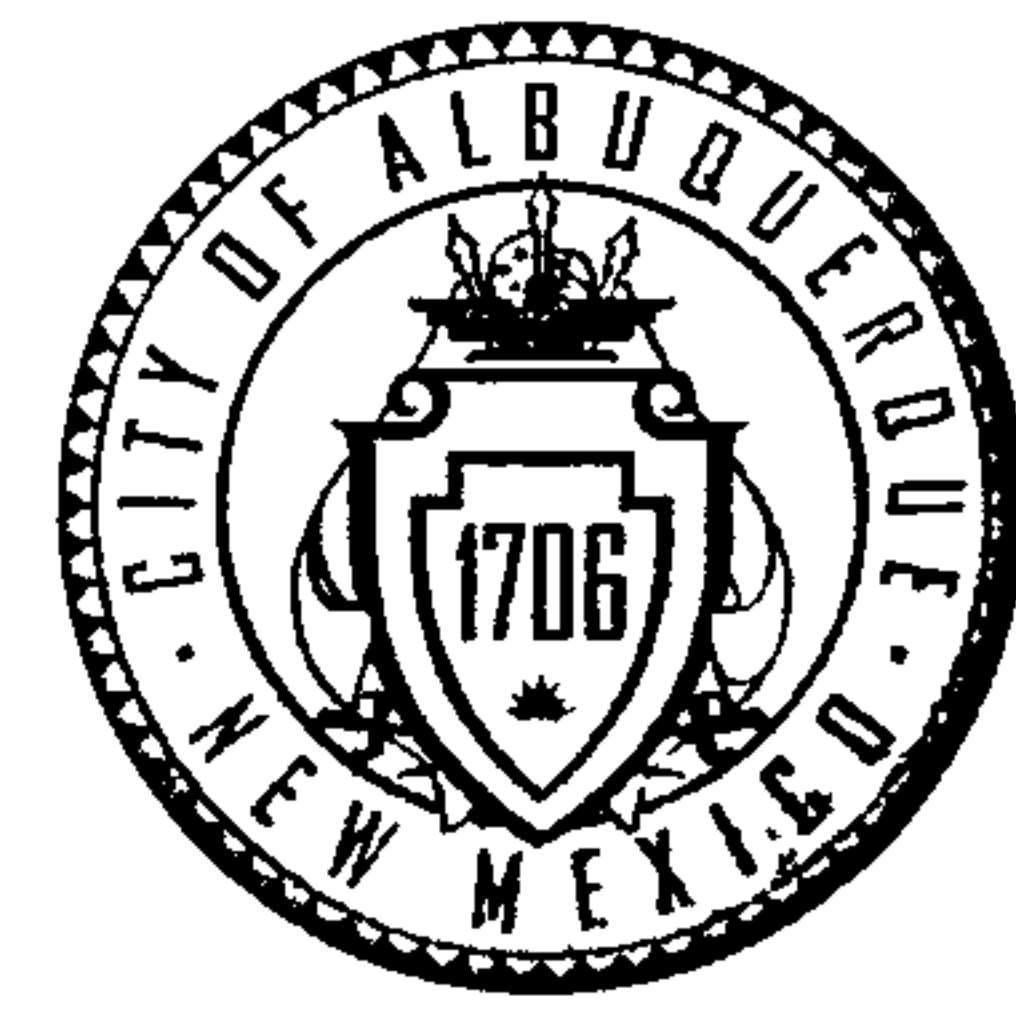
New Mexico 87103

www.cabq.gov

1. The handicap accessible spaces must include an 8 ft. wide van access aisle.
2. The ADA accessible parking sign must have the required language per 66-7-352.4C NMSA 1978 **"Violators Are Subject to a Fine and/or Towing."** Please call out detail and location of HC signs.
3. The ADA access aisles shall have the words **"NO PARKING"** in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tire would be placed. (66-1-4.1.B NMSA 1978)

When the site construction is completed and a Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

CITY OF ALBUQUERQUE



Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

A handwritten signature in black ink, appearing to read 'R Michel', is written over the printed name.

Racquel M. Michel, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

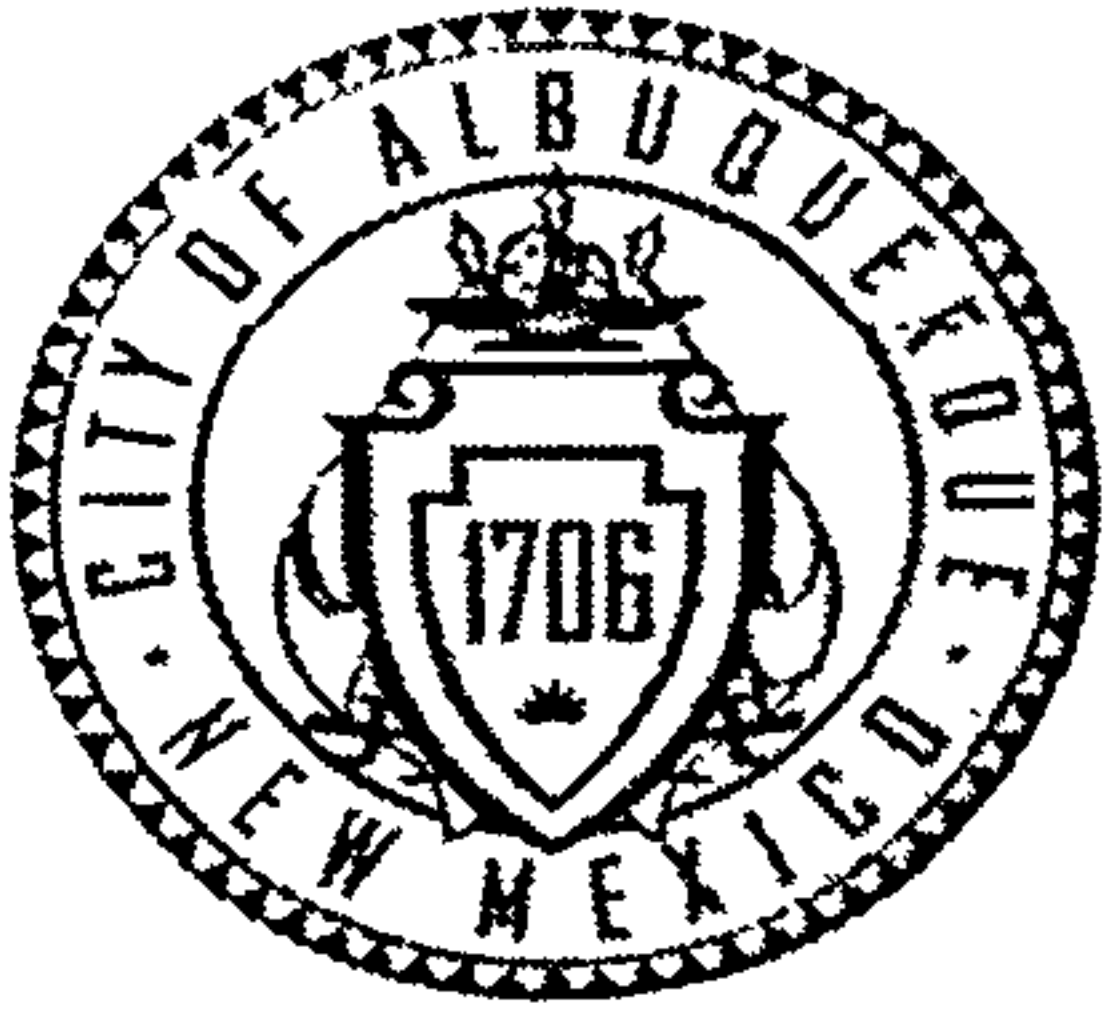
mao via: email
C: CO Clerk, File

PO Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 10/2015)

Project Title: Blue Sky Covered RV Stor. Building Permit #: _____ Hydrology File #: D16D002A3
DRB#: _____ EPC#: _____ Work Order#: _____
Legal Description: lot 3 plat of Blue Sky Business Park Tract T-4 of Vista del Norte
City Address: 7950 Jacs Ln. NE

Applicant: R2 Architectural Design & Consulting Contact: Robert Rayner
Address: 730 San Mateo Blvd. SE
Phone#: 505-792-6224 Fax#: _____ E-mail: rob@r2architectural.com

Other Contact: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

Check all that Apply:

DEPARTMENT:

☐ HYDROLOGY/ DRAINAGE
☒ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

☐ ENGINEER/ARCHITECT CERTIFICATION
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR
☒ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)

☐ OTHER (SPECIFY) _____

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY
☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR

☐ PRE-DESIGN MEETING?

☐ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: ☐ Yes ☒ No

DATE SUBMITTED: 7/25/16 By: Robert Rayner

COA STAFF: _____ ELECTRONIC SUBMITTAL RECEIVED: _____

CITY OF ALBUQUERQUE



November 2, 2011

Kenneth R. Hovey, R.A.
Ken Hovey Architect
1606 Central Ave Se Ste. 101
Albuquerque, NM 87106

Re: A Class RV Storage of Journal Center, 7950 Jacs Lane NE,
Traffic Circulation Layout (D16-D002A3)
Architect's Stamp dated 10-19-11

Dear Mr. Hovey,

The TCL submittal received 10-19-11 is approved for Building Permit. The plan is stamped and signed as approved. A copy of this plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation. **Public infrastructure or work done within City Right-of-Way shown on these plans is for information only and is not part of approval. A separate DRC and/or other appropriate permits are required to construct these items.**

If a temporary CO is needed, a copy of the original TCL that was stamped as approved by the City will be needed. This plan must include a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance," as well as the signed and dated stamp of a NM registered architect or engineer. Submit this TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

Kristal D. Metro, P.E.
Traffic Engineer, Planning Dept.
Development and Building Services

C. File

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

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D-16/D002A3

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV 12/2005)

PROJECT TITLE: A CLASS RV STORAGE AT JOURNAL CENTER ZONE MAP: D-16
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: LOT 3 BUS ~~STREET~~ ^{SKY} BUSINESS PARK
CITY ADDRESS: 7950 JAMES LANE NE

ENGINEERING FIRM: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

OWNER: DAVID MURPHY CONTACT: _____
ADDRESS: 1606 CENTRAL AVE SE STE 101 PHONE: 505 301 6800
CITY, STATE: ALBUQUERQUE, NM 87106 ZIP CODE: 87106

ARCHITECT: KEN HOVEY CONTACT: _____
ADDRESS: 9215 SHOSHONE RD, NE PHONE: 289 8458
CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87111

SURVEYOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:

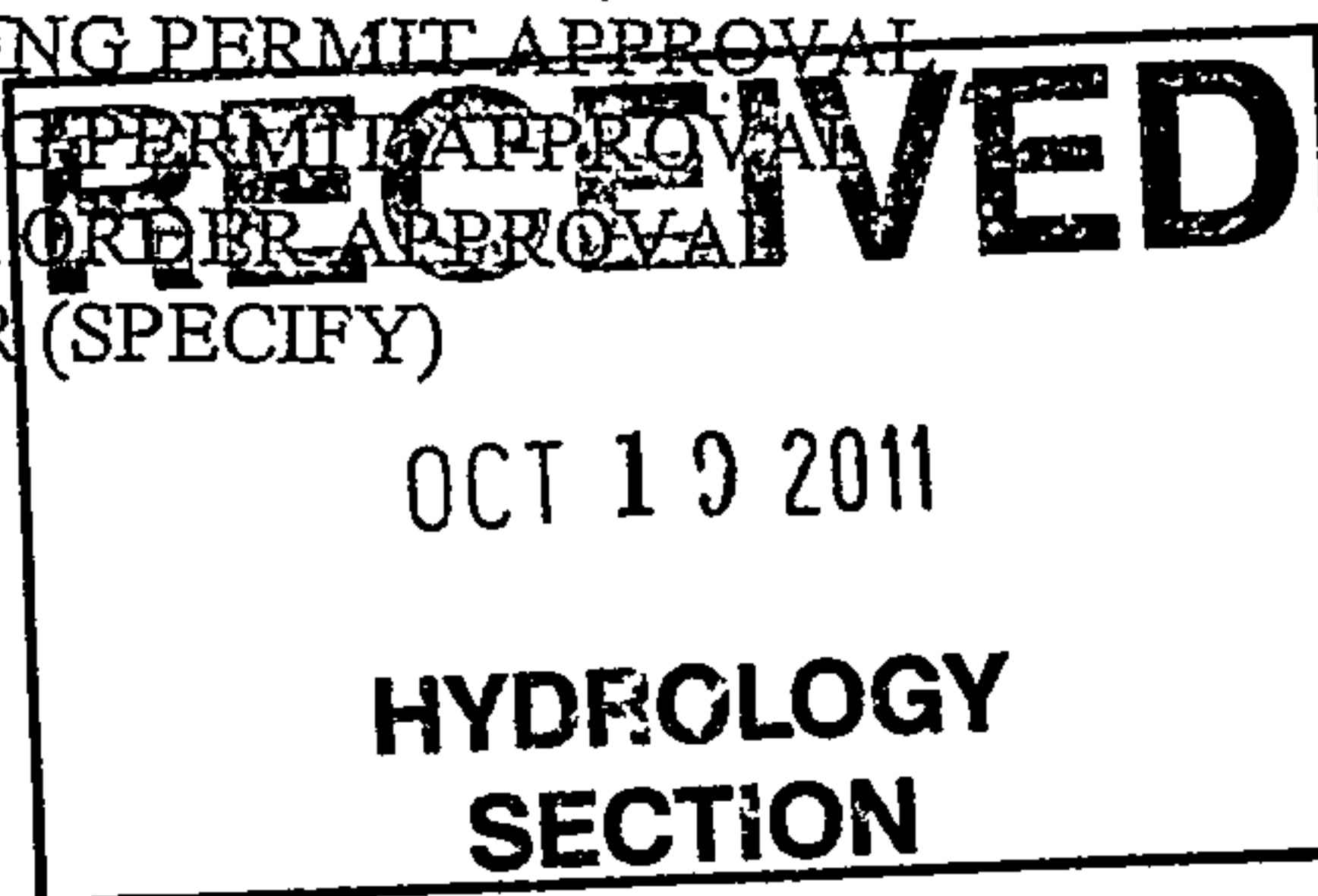
- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☒ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TEMP)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
☐ NO
☐ COPY PROVIDED



DATE SUBMITTED: 10-19-11 BY: KEN HOVEY

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

11-02-11

Spoke w/ Ken Hovey

Per
Ken
Hovey,

{ office has been relocated to existing site,
this site will operate as storage only
- no parking required

ok'd

by Tony Medley

& Luz Montoya

CITY OF ALBUQUERQUE



July 22, 2011

Kenneth R. Hovey, R.A.
Ken Hovey Architect
1606 Central Ave Se Ste. 101
Albuquerque, NM 87106

Re: A Class RV Storage of Journal Center, 7950 Jacs Lane NE, Traffic Circulation Layout
Architect's Stamp dated 07-12-11 (D16-D002A3)

Dear Mr. Hovey,

The TCL submittal received 07-15-11 is approved for Building Permit. The plan is stamped and signed as approved. A copy of this plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation. **Public infrastructure or work done within City Right-of-Way shown on these plans is for information only and is not part of approval. A separate DRC and/or other appropriate permits are required to construct these items.**

If a temporary CO is needed, a copy of the original TCL that was stamped as approved by the City will be needed. This plan must include a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance," as well as the signed and dated stamp of a NM registered architect or engineer. Submit this TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

Kristal D. Metro, P.E.
Traffic Engineer, Planning Dept.
Development and Building Services

C: File

SEE REVISED

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 12/2005)

D-16/DDOZA3

PROJECT TITLE: A Class RV Storage of Journal Center ZONE MAP: D-16-2
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: lot #3 Blue Sky Business Park
CITY ADDRESS: 7950 Jacs Ln. NE Albuq 87113

ENGINEERING FIRM: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

OWNER: ACRV Paseo LLC CONTACT: David Murphy
ADDRESS: 5124 2nd St. NW PHONE: 505-301-6800
CITY, STATE: Albuq NM 87107 ZIP CODE: 87107

ARCHITECT: Ken Hovey Architect CONTACT: Ken Hovey
ADDRESS: 1606 Central Ave SE Ste 101 PHONE: 505-259-8458
CITY, STATE: Albuq NM ZIP CODE: 87106

SURVEYOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: THS Construction CONTACT: Frank Thomas
ADDRESS: 5124 2nd St. NW PHONE: 505-867-0323
CITY, STATE: Albuq NM 87107 ZIP CODE: 87107

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☒ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TEMP)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☒ YES
☐ NO
☐ COPY PROVIDED

**HYDROLOGY
SECTION**

DATE SUBMITTED: 7-15-11 BY: David Murphy

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

KEN HOVEY, ARCHITECT



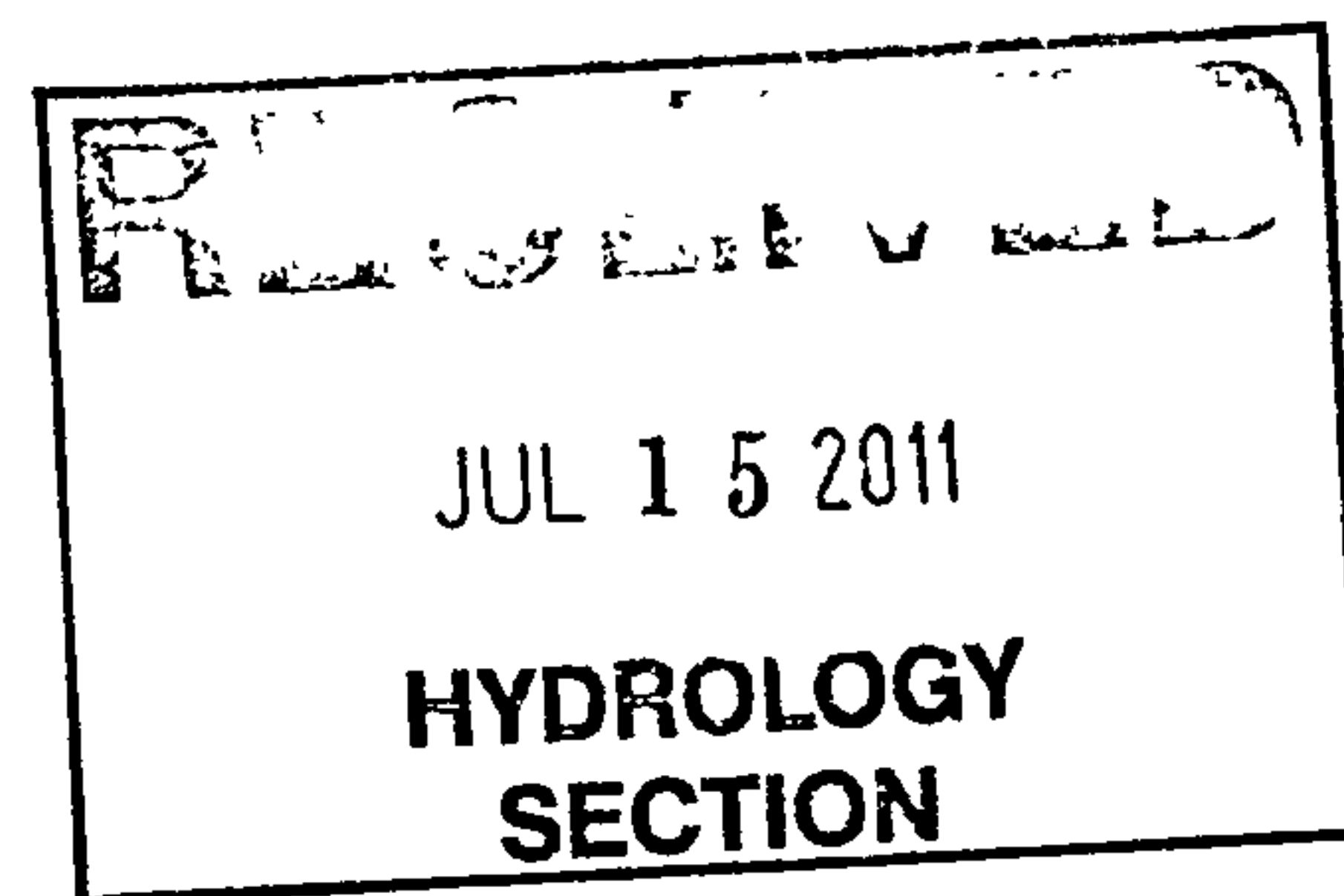
architecture

1606 CENTRAL AVENUE SE, SUITE 101 ALBUQUERQUE, NM 87106
B 505.242.6610 F 505.243.2129 ken_hovey@msn.com

July 15, 2011

Kristal D. Metro, N.M.P.E.
City of Albuquerque
Traffic Engineer, Planning Department
600 2nd Street NW
Albuquerque, New Mexico

Re: A Class RV Storage of Journal Center
7950 Jacs Lane NE
Traffic Circulation Layout (D16-D002A3)



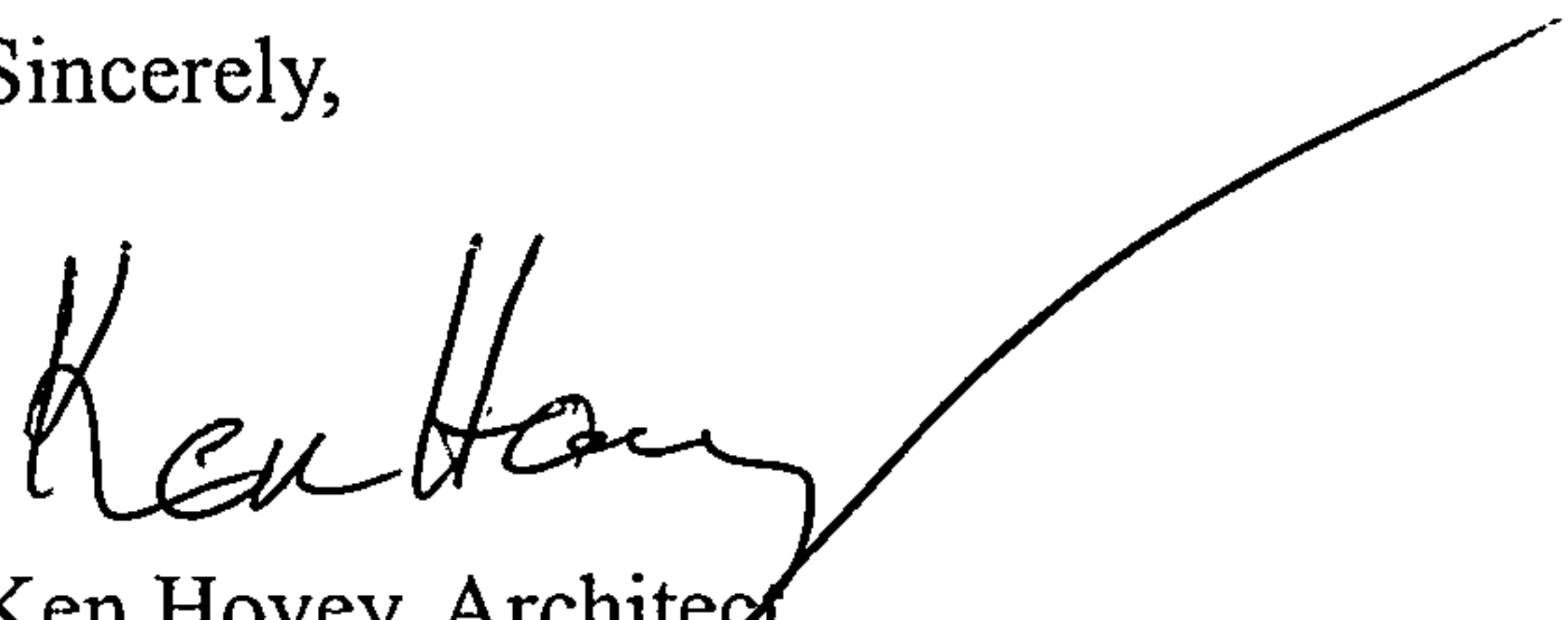
Ms. Metro:

This is in response to your letter of June 14, 2011 for TCL with Architect's stamp dated 05-20-11.

1. The topographic survey showed the curb cut as existing. On-the-ground investigation showed the curb cut to be in the exact location shown on the survey, but a different configuration than that shown on the survey. I've shown the curb cut as I found it to be. It is in substantial compliance with C.O.A. Std. Dwg. 2426. Jacs Lane is not a public right-of-way, it is a private roadway. My client tells me that he attempted to get a permit to build the driveway, but was told a permit was not required because it was a private driveway located on a private roadway.
2. A 6 foot wide ADA accessible pedestrian pathway has been provided to the building. Reference the attached revised TCL C.1 submittal and Site Details drawing C.2.
3. There is no work being performed within a public R.O.W. as Jacs Lane is a private roadway (as indicated on sheet C.1). Regardless, I have referenced C.O.A. Standards for the sidewalk and driveway.
4. A 6 foot wide ADA accessible pedestrian pathway has been provided to the building.
5. The intersection of the sidewalk and driveway have been furnished with truncated domes detectable warning. Reference the attached revised TCL C.1 submittal and Site Details drawing C.2.
6. We will provide a "No Parking" sign west of the building.

If you have any questions or further discussion is required, please contact me at my cell phone 259.8458.

Sincerely,

A handwritten signature in black ink, appearing to read "Ken Hovey". The signature is fluid and cursive, with a long, sweeping underline that extends to the right.

Ken Hovey, Architect
1606 Central Avenue SE, Suite 101
Albuquerque, New Mexico 87106