

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services**

August 13, 2015

Jackie McDowel, P.E.
McDowell Engineering, Inc.
7820 Beverly Hills Ave., NE
Albuquerque, NM

**Re: Santa Fe Tow
8001 Jacs Lane, NW
Submittal for Certificate of Occupancy – Transportation Development
Engineer's/Architect's Stamp dated 2-19-14 (D016-D002A4)
Certification dated 3-5-15**

Dear Mrs. McDowell,

PO Box 1293

Albuquerque

New Mexico 87103

Based upon the information provided in your submittal received 08-13-15, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact Gary Sandoval at (505) 924-3675 or me at (505)924-3991.

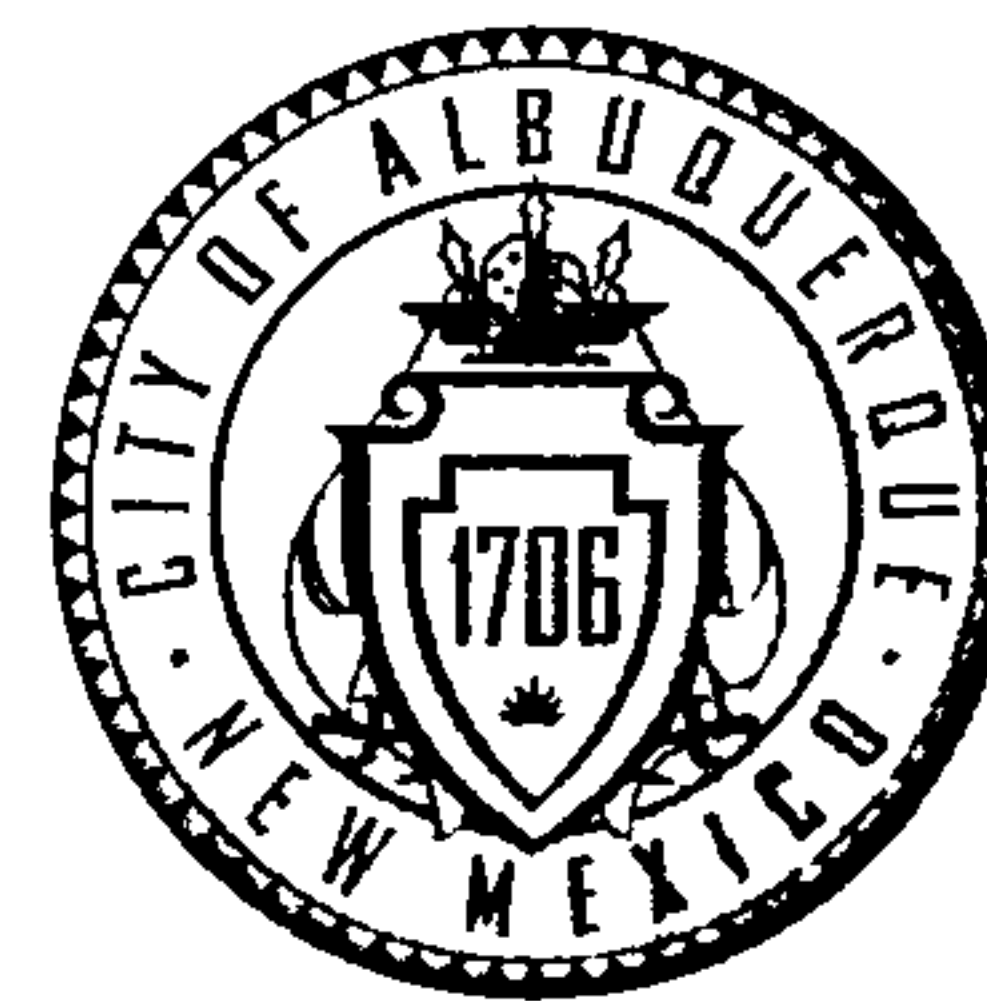
www.cabq.gov

Sincerely,

Shahab Biazar, P.E.
City Engineer for
Traffic Engineer, Planning Dept.
Development Review Services

C: CO Clerk, File
mao

CITY OF ALBUQUERQUE



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Planning Department Transportation Development Services

March 11, 2015

Jackie McDowel, P.E.
McDowell Engineering, Inc.
7820 Beverly Hills Ave., NE
Albuquerque, NM

Re: Santa Fe Tow
8001 Jacs Lane, NW
Submittal for Certificate of Occupancy – Transportation Development
Engineer's/Architect's Stamp dated 2-19-14 (D016-D002A4)
Certification dated 3-5-15

Dear Ms. McDowell,

The Letter of Certification submitted on 3-6-15 is not sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). The following items need to be addressed:

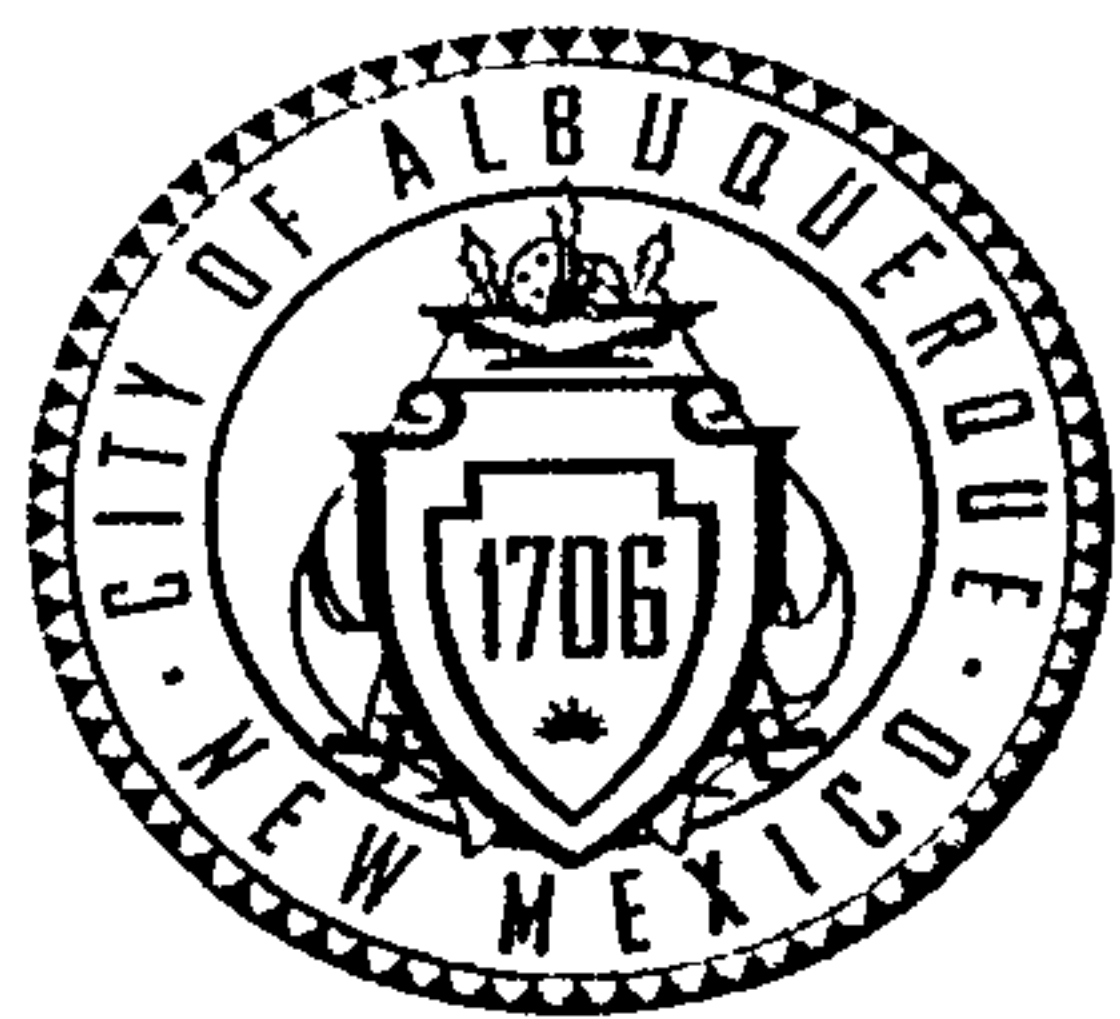
- Include a minimum width of 8 feet wide for both van access aisles. The ADA van accessible sign must have the required language per 66-7-352.4C NMSA 1978 **"Violators Are Subject to a Fine and/or Towing."** Include an accessible signage detail for the next submittal showing this language.
- The words **"NO PARKING"** for each of the van accessible aisles should be at least one foot high and at least two inches wide. Call out these dimensions within a keyed note.

Resubmit acceptable package along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. For digital submittal and minor comments and/or repairs, please submit photos and PDF files to rmichel@cabq.gov or mortiz@cabq.gov prior to submittal. If you have any questions, please contact me at (505) 924-3630.

Sincerely,

Racquel M. Michel, P.E.
Senior Engineer, Planning Dept.
Development Review Services

C: File



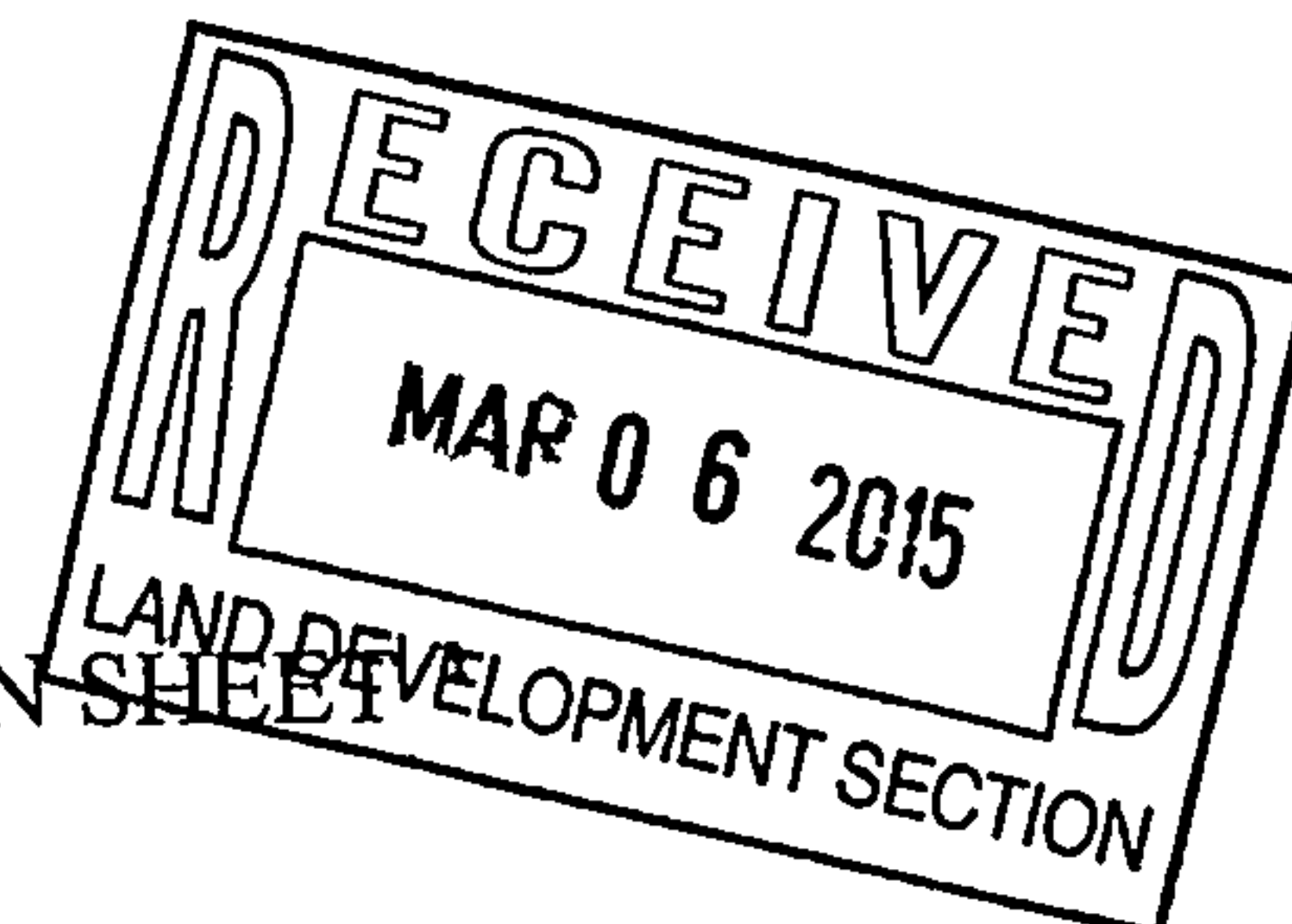
City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)



Project Title: SANTA FE TOW LOT #11 Building Permit #: _____ City Drainage #: D16 D002 A4

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: LOT 11, BLUE SKY BUSINESS PARK

City Address: JACS LANE NE - 8001

Engineering Firm: MCDOWELL ENGINEERING, INC. Contact: JACKIE MCDOWELL

Address: 7820 BEVERLY HILLS AVE. NE

Phone#: 505-828-2430 Fax#: 505-821-4857 E-mail: jackmcdowell@comcast.net

Owner: ARMANDO BELTRAN Contact: ARMANDO BELTRAN

Address: 8000 JACS LANE NE

Phone#: 505-991-0312 Fax#: _____ E-mail: santafetow@gmail.com

Architect: RON MONTOYA DESIGNS, INC. Contact: RON MONTOYA

Address: 8724 ALAMEDA NE

Phone#: 505-823-6474 Fax#: 505-823-6487 E-mail: _____

Surveyor: MIKE SHOOK Contact: MIKE SHOOK

Address: 612 CERRO DE ORTEGA DR. SE

Phone#: 505-896-1716 Fax#: _____ E-mail: _____

Contractor: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☒ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED: _____ Yes ☒ No _____ Copy Provided

DATE SUBMITTED: 3-5-15 By: JACKIE MCDOWELL

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

Handwritten notes and signatures in the top left corner, including the name "J. J. [illegible]" and a date "10/1/14".

RECEIVED
MAR 06 2015
LAND DEVELOPMENT SECTION

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T SECTION
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CITY OF ALBUQUERQUE



July 9, 2014

Jackie McDowell, PE
McDowell Engineering, Inc.
7820 Beverly Hills NE
Albuquerque, NM 87121

Re: **Santa Fe Tow**
8001 ~~8051~~ **Jacs Lane NW**
Request Permanent C.O. - Accepted
Engineer's Stamp dated: 11-25-13 (D16D002A4)
Certification dated: 7-7-14

Dear Ms. McDowell,

Based on the Certification received 7/7/2014, the site is acceptable for release of
Certificate of Occupancy by Hydrology.

PO Box 1293

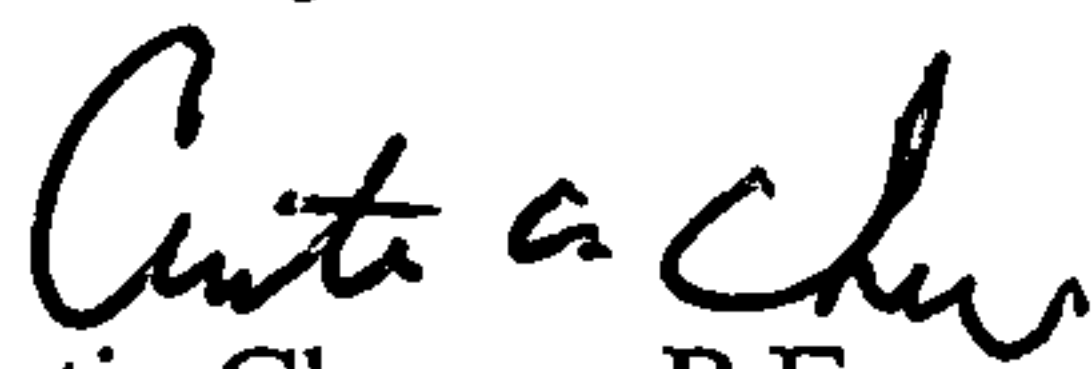
If you have any questions, you can contact me at 924-3695 or Rudy Rael at 924-3977.

Albuquerque

New Mexico 87103

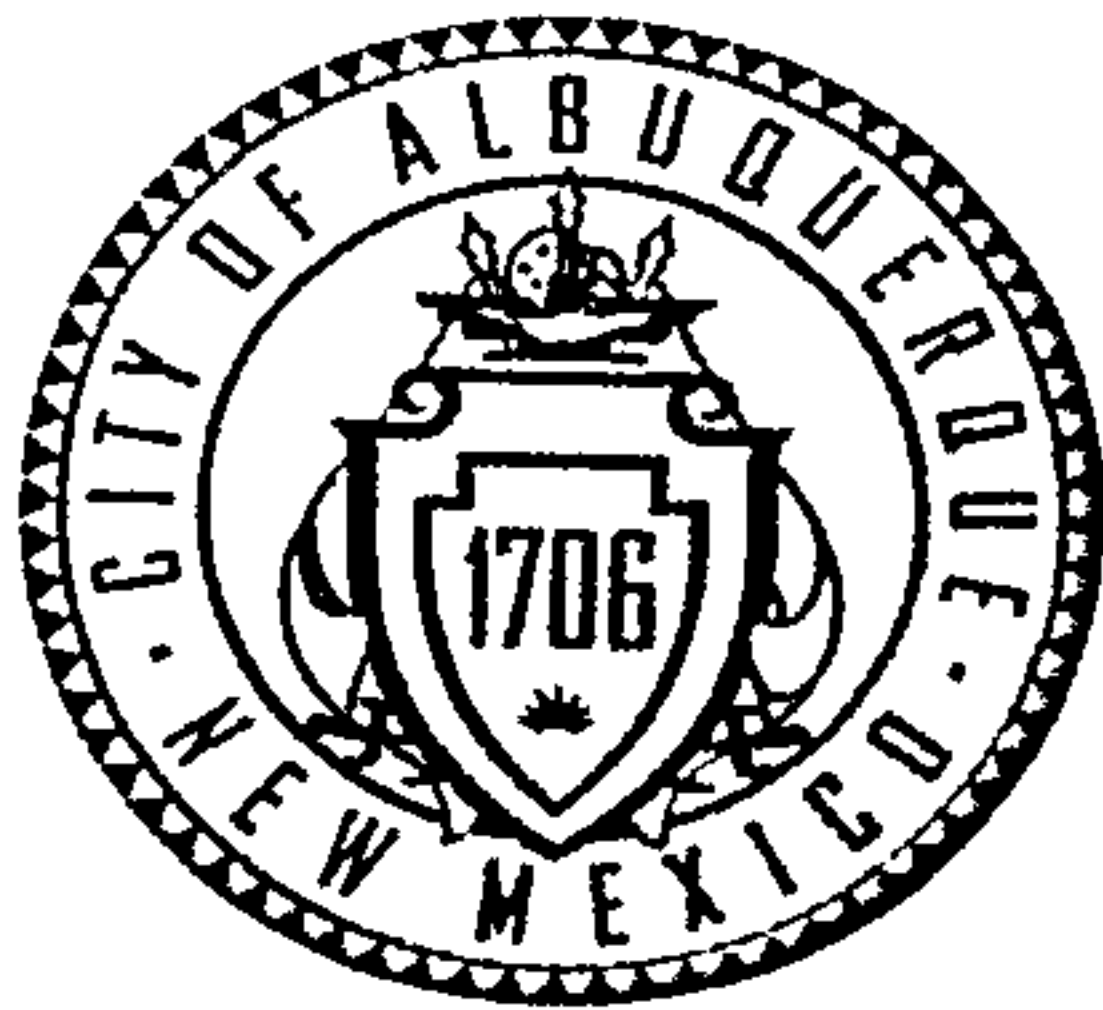
www.cabq.gov

Sincerely,


Curtis Cherne, P.E.
Principal Engineer, Planning Dept.
Development and Review Services

RR/CC
C: CO Clerk—Katrina Sigala
email

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City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: SANTA FE TOW LOT #11 Building Permit #: _____ City Drainage #: D 116D002A4
DRB#: _____ EPC#: _____ Work Order#: _____
Legal Description: LOT 11, BLUE SKY BUSINESS PARK
City Address: JACS LANE NE

Engineering Firm: MCDOWELL ENGINEERING, INC. Contact: JACKIE MCDOWELL
Address: 7820 BEVERLY HILLS AVE. NE
Phone#: 505-828-2430 Fax#: 505-821-4857 E-mail: jackmcdowell@comcast.net

Owner: ARMANDO BELTRAN Contact: ARMANDO BELTRAN
Address: 8000 JACS LANE NE
Phone#: 505-991-0312 Fax#: _____ E-mail: santafetow@gmail.com

Architect: RON MONTOYA DESIGNS, INC. Contact: RON MONTOYA
Address: 8724 ALAMEDA NE
Phone#: 505-823-6474 Fax#: 505-823-6487 E-mail: _____

Surveyor: MIKE SHOOK Contact: MIKE SHOOK
Address: 612 CERRO DE ORTEGA DR. SE
Phone#: 505-896-1716 Fax#: _____ E-mail: _____

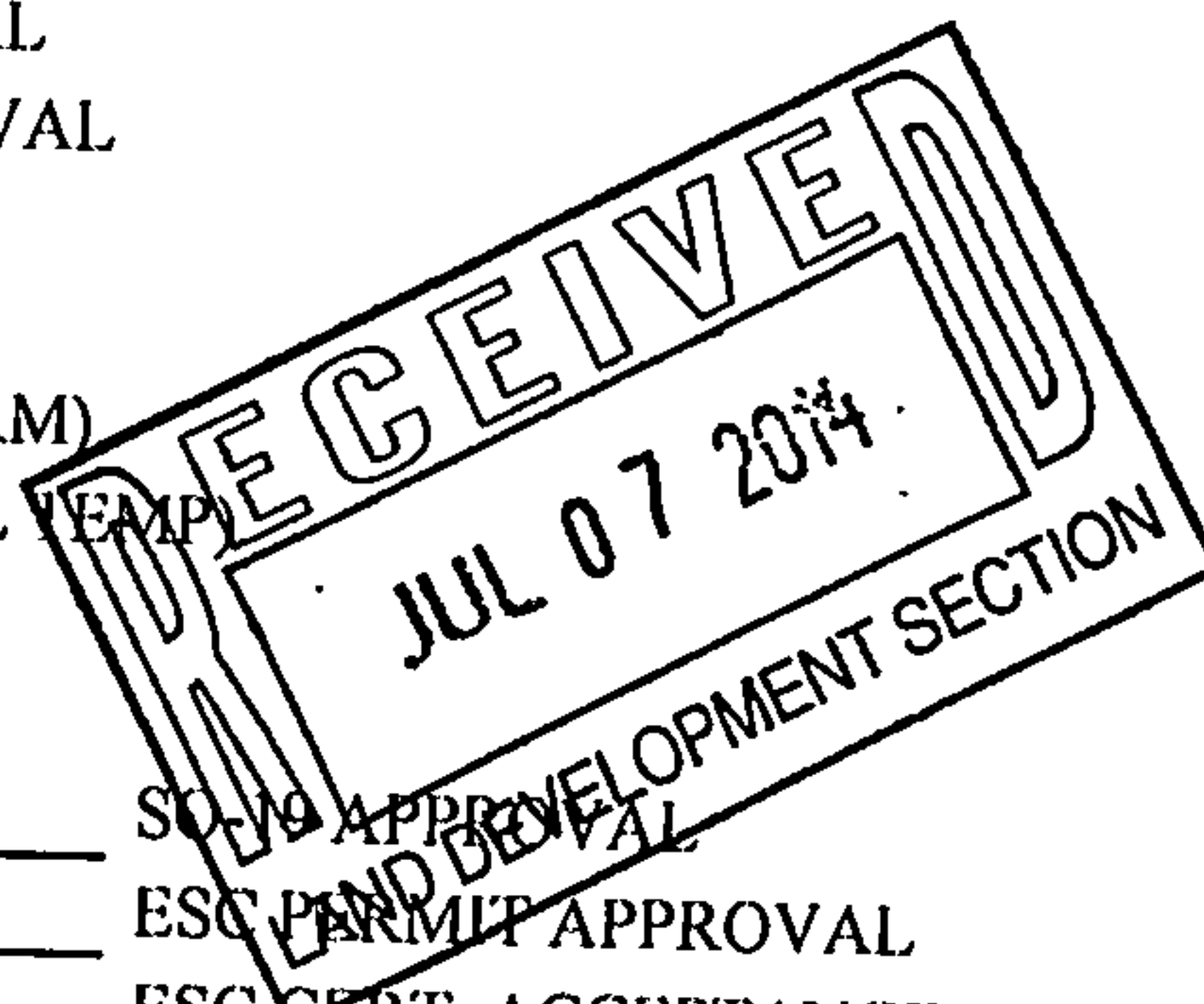
Contractor: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☒ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☒ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☐ OTHER (SPECIFY) _____

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- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TCL) (EMP)
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY) _____

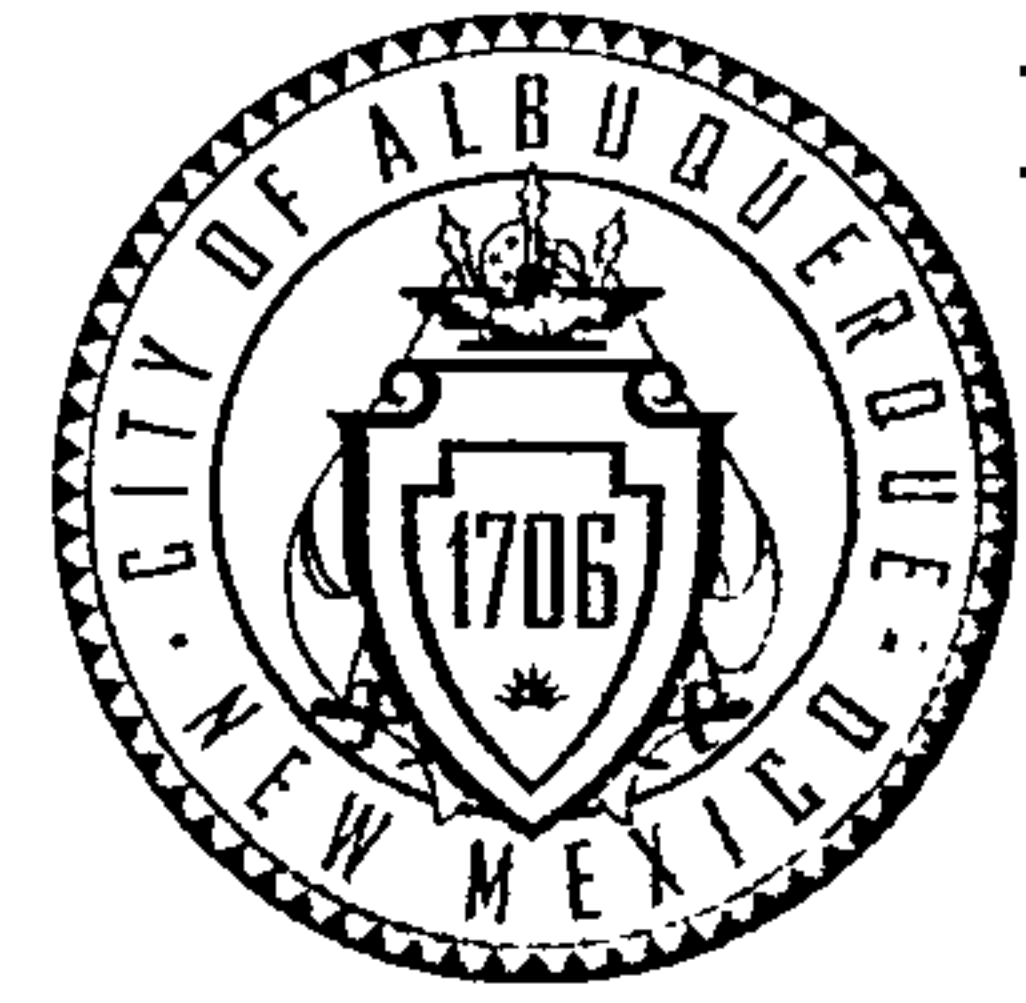


WAS A PRE-DESIGN CONFERENCE ATTENDED: _____ Yes ☒ No _____ Copy Provided
DATE SUBMITTED: 7-7-14 By: JACKIE MCDOWELL

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
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4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

CITY OF ALBUQUERQUE



February 19, 2014

Jackie McDowell, P.E.
McDowell Engineering, Inc
7820 Beverly Hills Ave. NE
Albuquerque, NM 87122

Re: Santa Fe Tow Lot #11, Jacs Lane NE, Traffic Circulation Layout
Engineer's Stamp dated 2-19-14 (D16D002A4)

Dear Ms. McDowell,

The TCL submittal received 2-19-14 is approved for Building Permit. The plan is stamped and signed as approved. A copy of this plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation. **Public infrastructure or work done within City Right-of-Way shown on these plans is for information only and is not part of approval. A separate DRC and/or other appropriate permits are required to construct these items.**

PO Box 1293

Albuquerque

If a temporary CO is needed, a copy of the original TCL that was stamped as approved by the City will be needed. This plan must include a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance," as well as the signed and dated stamp of a NM registered architect or engineer. Submit this TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

New Mexico 87103

www.cabq.gov

When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

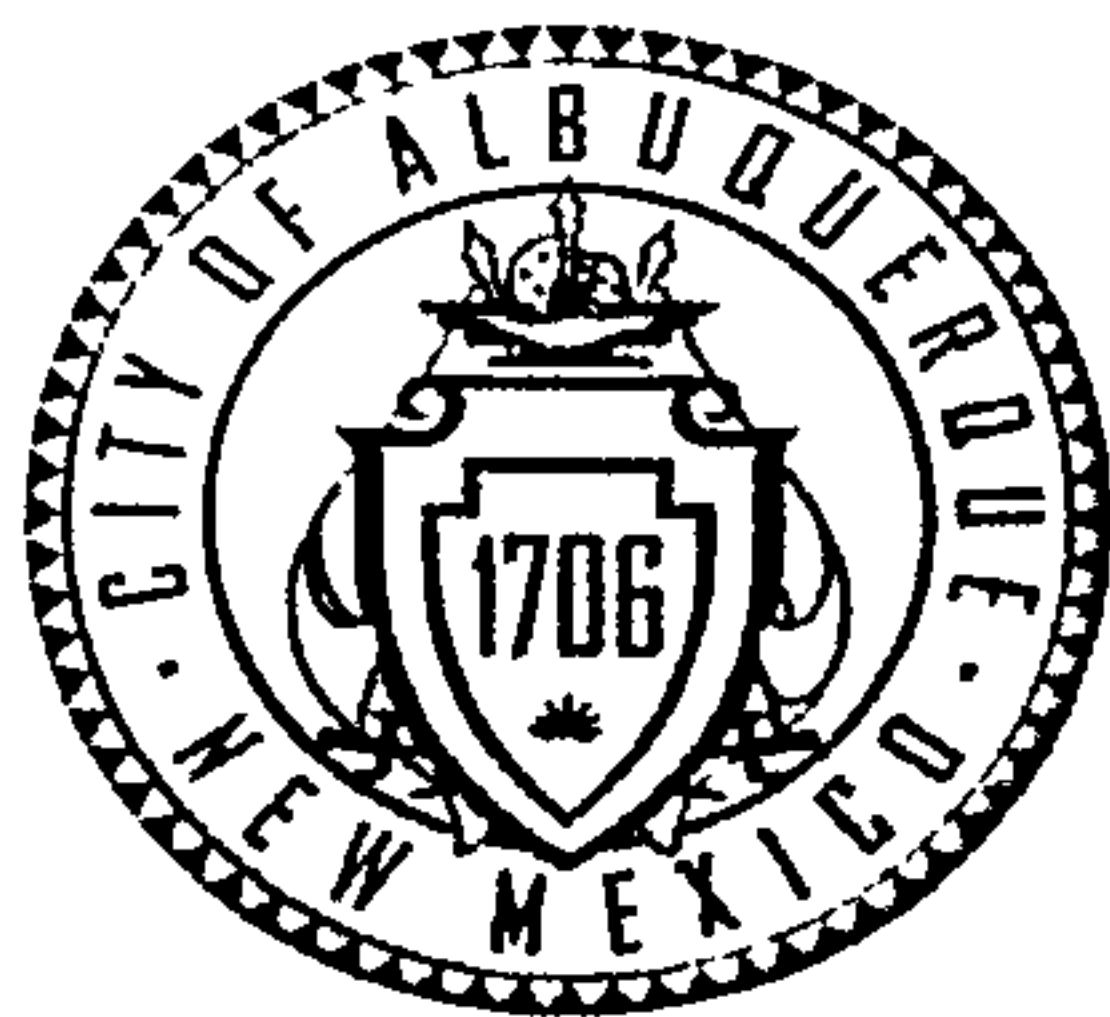
Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

Cynthia K Beck
Associate Engineer, Planning Dept.
Development Review Services

C: File

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City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: SANTA FE TOW LOT #11 Building Permit #: _____ City Drainage #: _____

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: LOT 11, BLUE SKY BUSINESS PARK

City Address: JACS LANE NE

Engineering Firm: MCDOWELL ENGINEERING, INC. Contact: JACKIE MCDOWELL

Address: 7820 BEVERLY HILLS AVE. NE

Phone#: 505-828-2430 Fax#: 505-821-4857 E-mail: jackmcdowell@comcast.net

Owner: ARMANDO BELTRAN Contact: ARMANDO BELTRAN

Address: 8000 JACS LANE NE

Phone#: 505-991-0312 Fax#: _____ E-mail: santafetow@gmail.com

Architect: RON MONTOYA DESIGNS, INC. Contact: RON MONTOYA

Address: 8724 ALAMEDA NE

Phone#: 505-823-6474 Fax#: 505-823-6487 E-mail: _____

Surveyor: MIKE SHOOK Contact: MIKE SHOOK

Address: 612 CERRO DE ORTEGA DR. SE

Phone#: 505-896-1716 Fax#: _____ E-mail: _____

Contractor: _____ Contact: _____

Address: _____

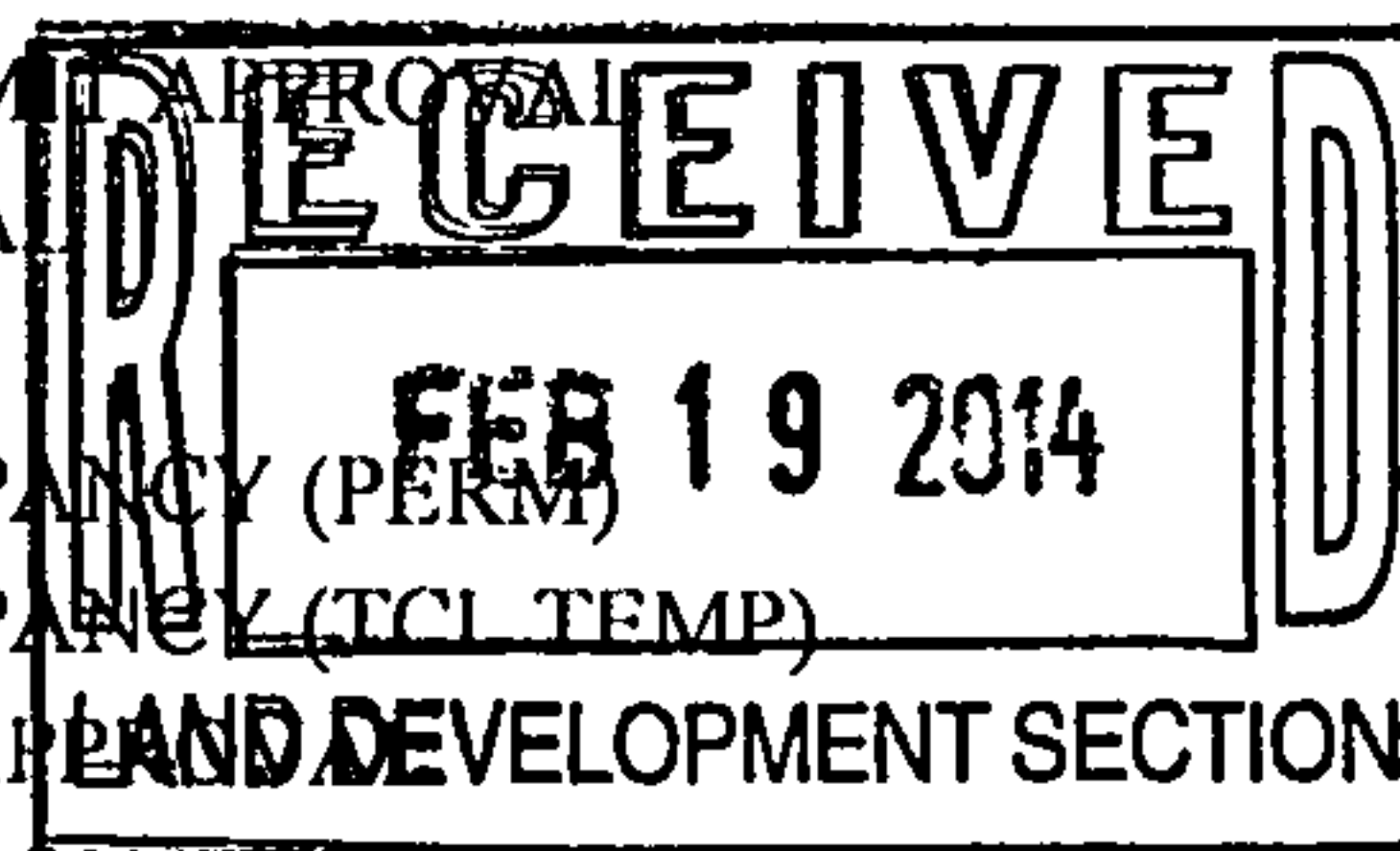
Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☐ OTHER (SPECIFY) _____

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- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY) _____



WAS A PRE-DESIGN CONFERENCE ATTENDED: _____ Yes ☒ No _____ Copy Provided _____

DATE SUBMITTED: 2-18-14 By: JACKIE MCDOWELL

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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McDowell Engineering, Inc.

Jackie Sedillo McDowell, P.E.
Civil Engineering Consultant

February 16, 2014

Ms. Cynthia K. Beck
Associate Engineer, Planning Dept.
Development Review Services
City of Albuquerque
PO Box 1293
Albuquerque, NM 87103

**RE: Santa Fe Tow Lot #11, Jacs Lane NE, Traffic Circulation Layout
Revised Plan addressing comments (D16D002A4)**

Dear Ms. Beck:

We received your letter dated February 7, 2014 and offer the following response and updated plan.

1. The development of this site is in compliance with the current DPM and ADA standards and regulations.
2. The number of parking spaces required by the zoning code as well as the proposed number of parking spaces has been added to the plan.
3. The handicapped spaces are in compliance with the ADA for pavement markings and posted signs.
4. A motorcycle sign has been added to the plan and the stalls are greater than 4 ft wide.
5. The width of the sidewalk has been defined on the plan.
6. A detail of the wheel chair ramp has been added to the plan along with a note at the proposed driveway referring to COA standard drawing.
7. The proposed 6' wide ADA accessible pedestrian pathway is unobstructed to the building entrance and a sidewalk has been added at this location to further add maneuverability. The entrance door will swing as shown on the plan at the reception area.
8. All ramps and building access points are ADA compliant.
9. The driving surface in the back parking area has been changed to asphalt from gravel.
10. A note has been added to the plan clarifying the curb locations between parking areas and landscaping areas. A details has been added to the plan for the curb.
11. The note has been added to the plan.
12. Applicable city standards have been referred to.

Your timely approval of this plan is appreciated.

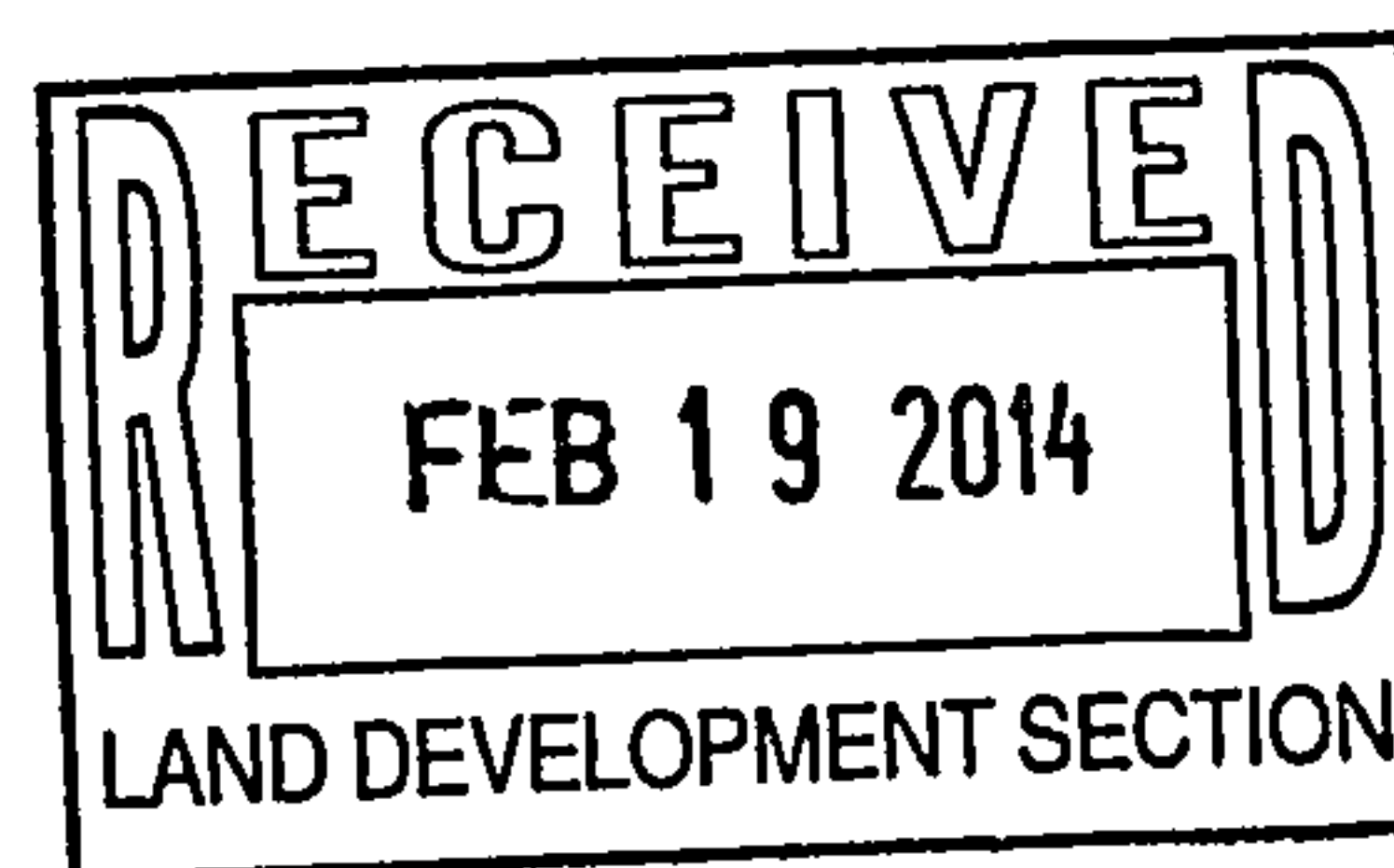
Sincerely,

MCDOWELL ENGINEERING, INC.

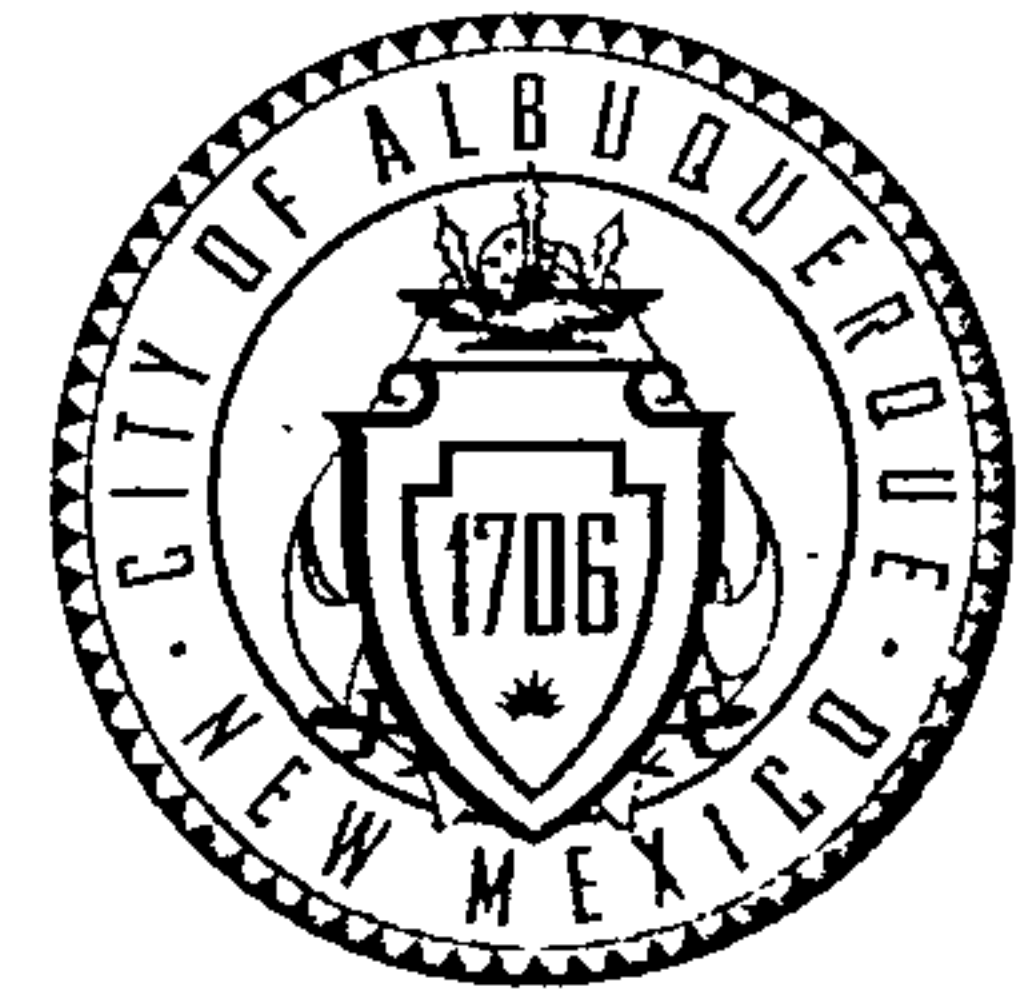


Jackie S. McDowell, P.E.

Copy: Owners



CITY OF ALBUQUERQUE



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February 7, 2014

Jackie McDowell, P.E.
McDowell Engineering, Inc
7820 Beverly Hills Ave. NE
Albuquerque, NM 87122

**Re: Santa Fe Tow Lot #11, Jacs Lane NE, Traffic Circulation Layout
Engineer's Stamp dated 2-04-14 (D16D002A4)**

Dear Ms. McDowell,

Based upon the information provided in your submittal received 2-05-14, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. The development of this site must be in compliance with current DPM and ADA standards and regulations.
2. List the number of parking spaces required by the zoning code as well as the proposed number of parking spaces.
3. The handicapped spaces must provide ADA compliance pavement markings and posted signs. Please refer to attachment for revised ADA parking requirements.
4. Provide posted motorcycle signs. MC stalls must be a min. of 4 ft wide.
5. Define width of the proposed sidewalk.
6. Show a detail of the wheelchair ramps located at the proposed driveway, or refer to the appropriate city standard.
7. The proposed 6 ft. wide ADA accessible pedestrian pathway must be unobstructed to the building entrance. Please clarify the access at the entrance with door swing and what appears to be a vestibule.
8. Please ensure all ramps and building access points are ADA compliant.
9. It is not apparent what type of pavement surface is being proposed for the 3 back lot parking stalls. A hard driving surface will be required as part of this proposed project for parking area and drive aisles based on zoning's parking requirements.
10. A curb is required between parking areas and landscaping. Please detail/label.
11. Please add the following note: "Landscaping and signing will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in this area."

PO Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

12. Please refer to all applicable city standards.

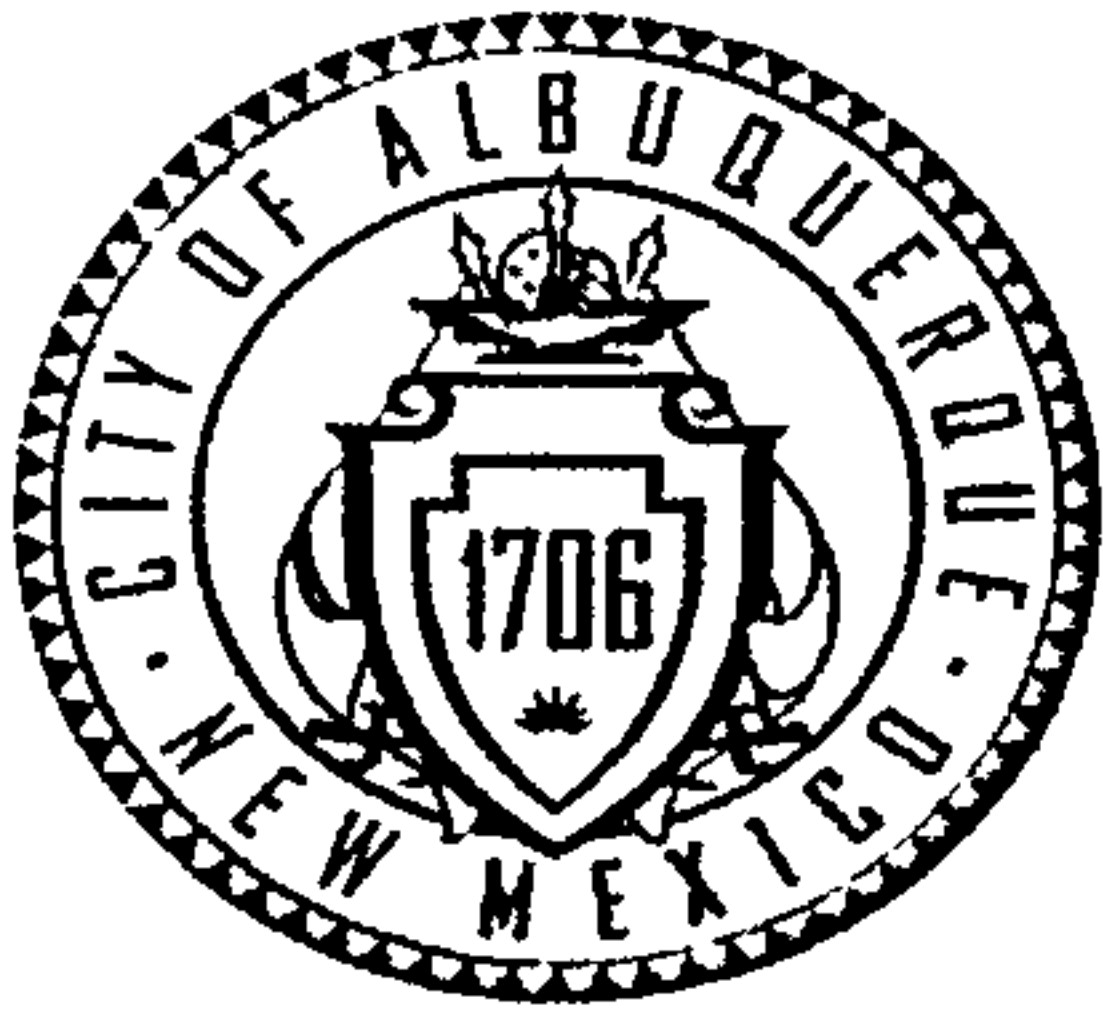
If you have any questions, you can contact me at 924-3924.

Sincerely,

A handwritten signature in black ink, appearing to read 'CKB', with a stylized flourish extending from the end.

Cynthia K Beck
Associate Engineer, Planning Dept.
Development Review Services

C: File



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: SANTA FE TOW LOT #11 Building Permit #: D14D002A4 City Drainage #: 87122
DRB#: _____ EPC#: _____ Work Order#: _____
Legal Description: LOT 11, BLUE SKY BUSINESS PARK
City Address: JACS LANE NE

Engineering Firm: MCDOWELL ENGINEERING, INC. Contact: JACKIE MCDOWELL
Address: 7820 BEVERLY HILLS AVE. NE
Phone#: 505-828-2430 Fax#: 505-821-4857 E-mail: jackmcdowell@comcast.net

Owner: ARMANDO BELTRAN Contact: ARMANDO BELTRAN
Address: 8000 JACS LANE NE
Phone#: 505-991-0312 Fax#: _____ E-mail: santafetow@gmail.com

Architect: RON MONTOYA DESIGNS, INC. Contact: RON MONTOYA
Address: 8724 ALAMEDA NE
Phone#: 505-823-6474 Fax#: 505-823-6487 E-mail: _____

Surveyor: MIKE SHOOK Contact: MIKE SHOOK
Address: 612 CERRO DE ORTEGA DR. SE
Phone#: 505-896-1716 Fax#: _____ E-mail: _____

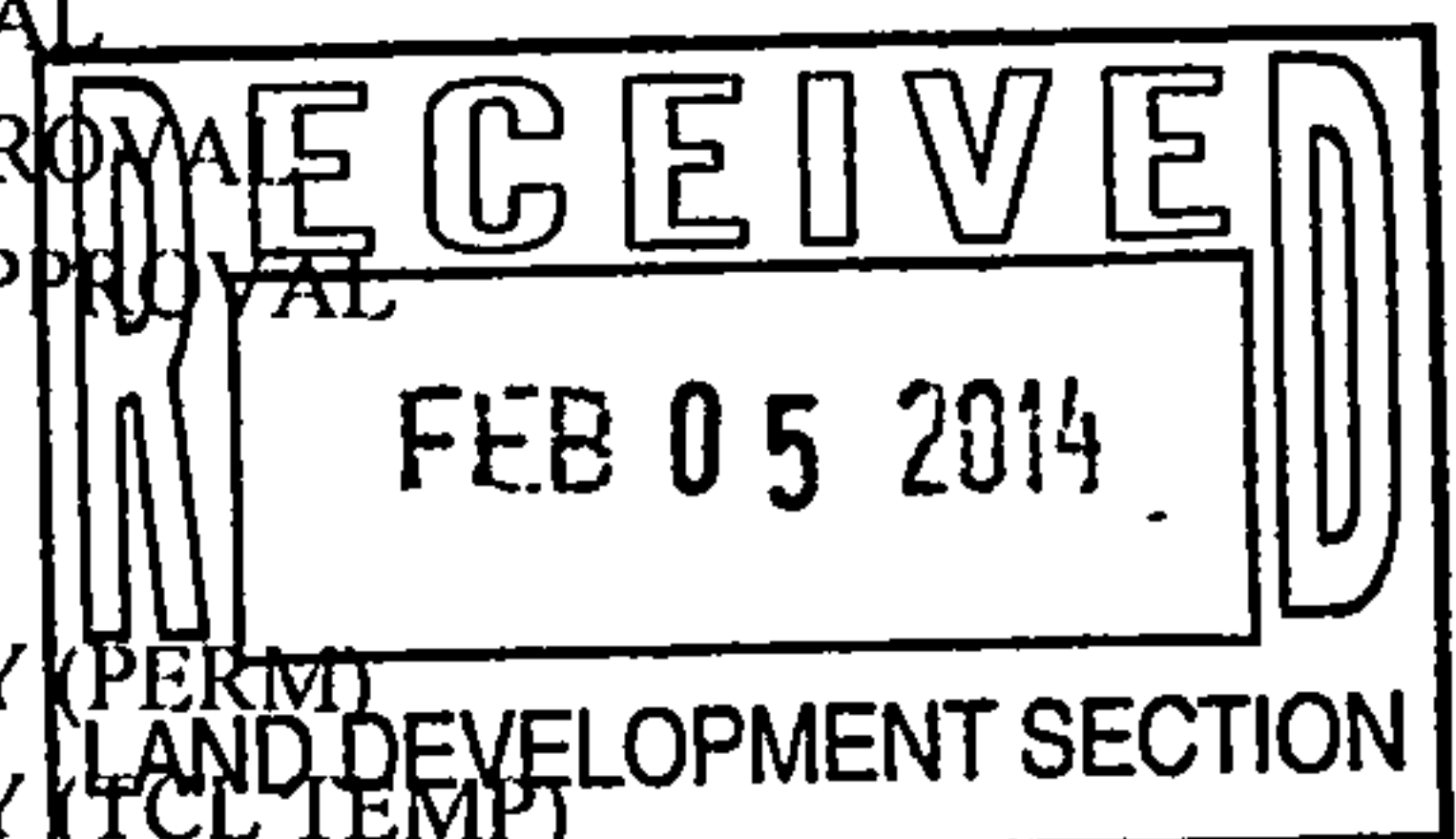
Contractor: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

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- ☐ DRAINAGE PLAN 1st SUBMITTAL
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- ☐ OTHER (SPECIFY) _____

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- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
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- ☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
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- ☒ BUILDING PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY) _____



WAS A PRE-DESIGN CONFERENCE ATTENDED: Yes ☒ No _____ Copy Provided _____

DATE SUBMITTED: 2-5-14 By: JACKIE MCDOWELL

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

CITY OF ALBUQUERQUE



December 19, 2013

Jackie McDowell, P.E.
McDowell Engineering, Inc.
7820 Beverly Hills Ave NE
Albuquerque, NM 87122

Re: Santa Fe Tow
Grading and Drainage Plan
Engineer's Stamp date 11-25-13 (D-16/D002A4)

Dear Ms. McDowell,

Based upon the information provided in your submittal received 11-26-2013, the above referenced plan is approved for Grading Permit and Building Permit.

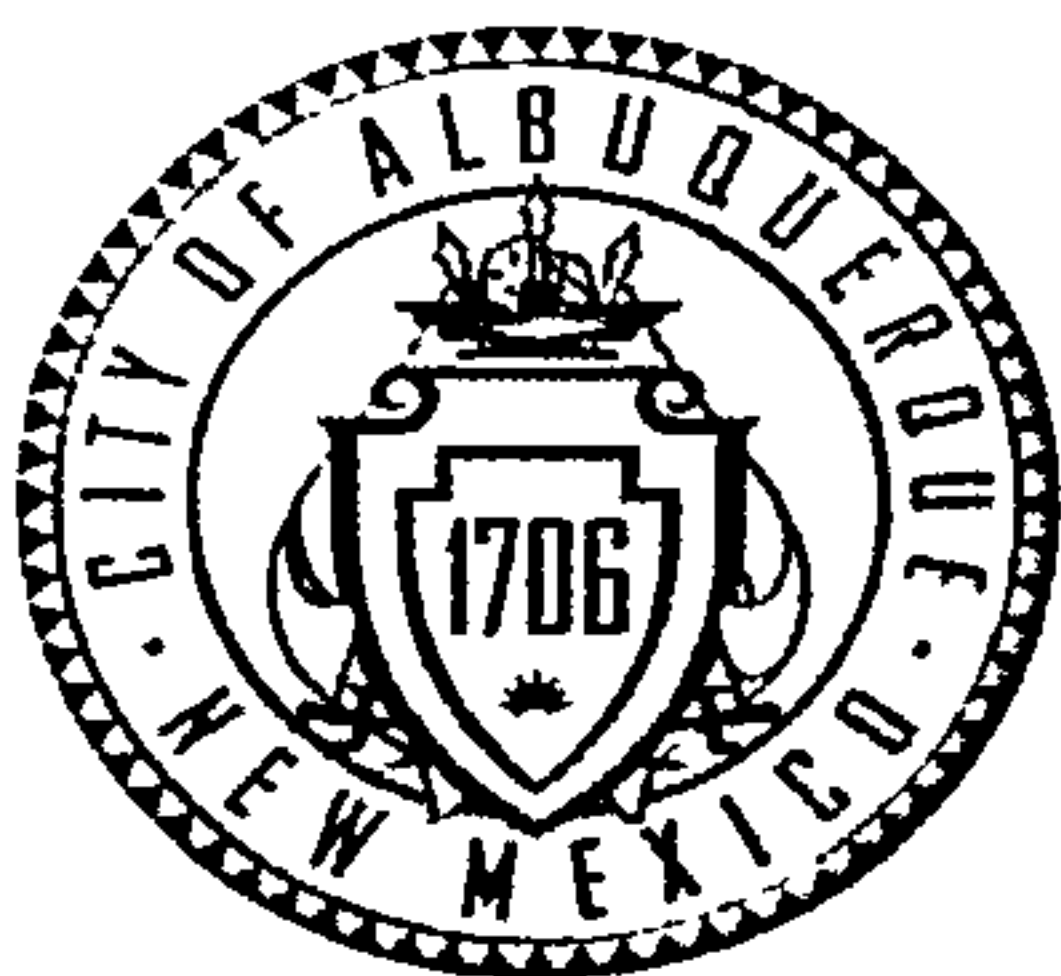
Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology. Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required

If you have any questions, you can contact me at 924-3695 or Rudy Rael at 924-3977.

Sincerely,

Shahab Biazar, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: RR/SB
File



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

D16 D002A4
~~12-11-13~~

Project Title: SANTA FE TOW LOT #11 Building Permit #: _____ City Drainage #: _____
DRB#: _____ EPC#: _____ Work Order#: _____
Legal Description: LOT 11, BLUE SKY BUSINESS PARK
City Address: JACS LANE NE

Engineering Firm: MCDOWELL ENGINEERING, INC. Contact: JACKIE MCDOWELL
Address: 7820 BEVERLY HILLS AVE. NE
Phone#: 505-828-2430 Fax#: 505-821-4857 E-mail: jackmcdowell@comcast.net

Owner: ARMANDO BELTRAN Contact: ARMANDO BELTRAN
Address: 8000 JACS LANE NE
Phone#: 505-991-0312 Fax#: _____ E-mail: santafetow@gmail.com

Architect: RON MONTTOYA DESIGNS, INC. Contact: RON MONTTOYA
Address: 8724 ALAMEDA NE
Phone#: 505-823-6474 Fax#: 505-823-6487 E-mail: _____

Surveyor: MIKE SHOOK Contact: MIKE SHOOK
Address: 612 CERRO DE ORTEGA DR. SE
Phone#: 505-896-1716 Fax#: _____ E-mail: _____

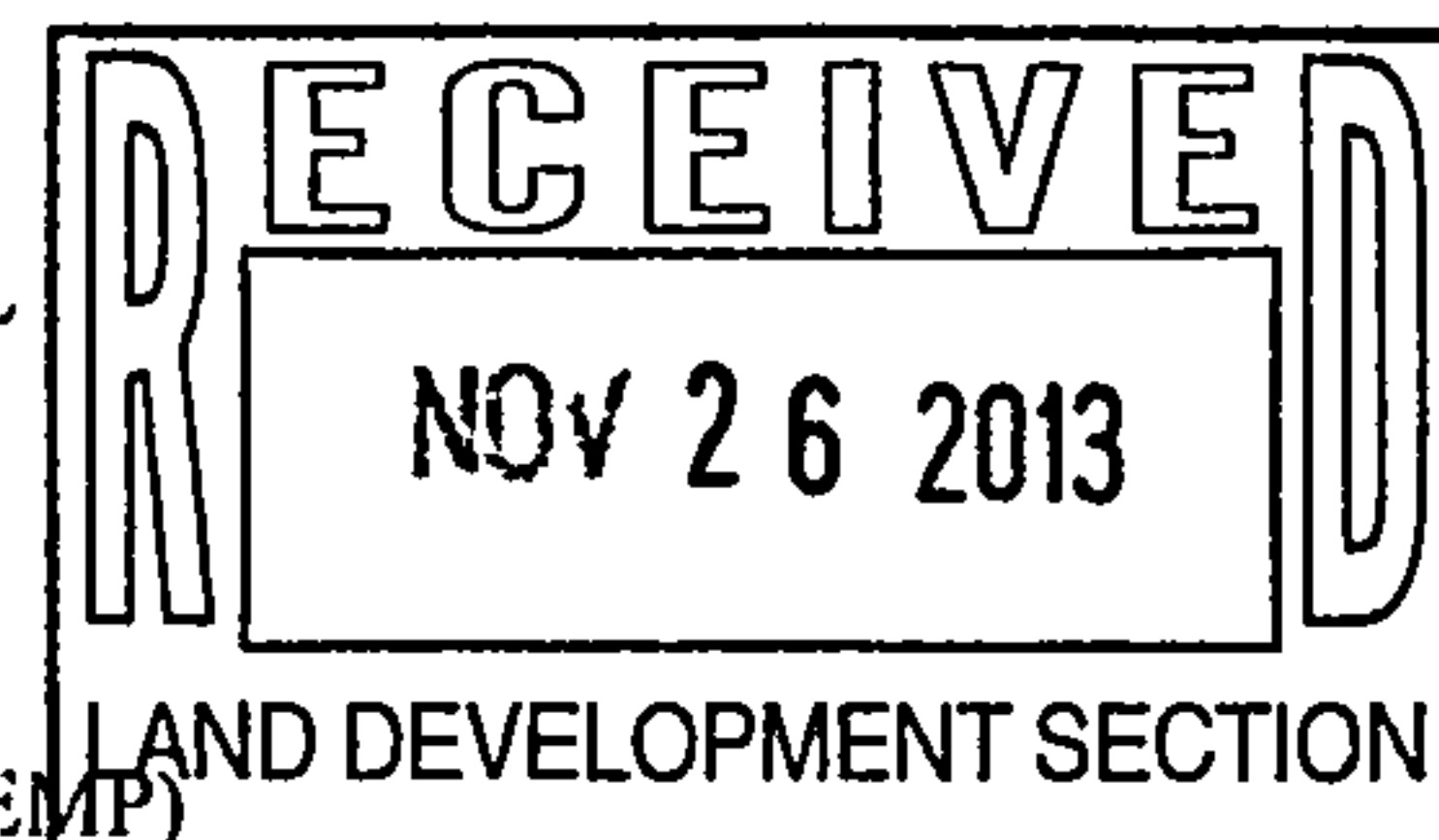
Contractor: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☒ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☐ OTHER (SPECIFY)

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY)



WAS A PRE-DESIGN CONFERENCE ATTENDED: _____ Yes ☒ No _____ Copy Provided

DATE SUBMITTED: 11-25-13 By: JACKIE MCDOWELL

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McDowell Engineering, Inc.

Jackie Sedillo McDowell, P.E.
Civil Engineering Consultant

November 25, 2013

Mr. Shahab Biazar, PE
Senior Engineer, Planning Dept.
Development and Building Services
City of Albuquerque
PO Box 1293
Albuquerque, NM 87103

**RE: Lot 11, Blue Sky Business Park Grading & Drainage Plan – Jacs lane NE
(D16/D002A2)**

Dear Mr. Biazar:

We received your review comments dated November 4, 2013 and offer the following response with the attached revised Grading & Drainage Plan.

- Back of sidewalk elevations have been added to the plan. The runoff drains to Jacs Lane via the entrance.
- Spot elevations have been added at the entrance to show that an adequate water block is provided. The entrance will not have a conflict with the existing storm drain inlet.
- Spot elevations have been added around the HC parking area and to the connections to the sidewalk along Jacs Lane to assure ADA compliance.
- The wall shown along the westerly property line is existing and has been clarified on the plan. This wall is an existing retaining wall. Elevations have been added to the plan for clarification of existing vs. proposed.
- Spot elevations have been provided along the property line to assure existing grades are being matched, which are also shown by the contours.
- Wall opening and size has been added for the wall at the north side of the building for drainage.
- The calculations have been revised to show that the existing condition Treatment type is C, not A.

Your timely approval of this plan for building permit is greatly appreciated.

Sincerely,

MCDOWELL ENGINEERING, INC.



Jackie S. McDowell, P.E.

Copy: Owners

Page 1 of 1

