

Planning Department Transportation Development Services

August 13, 2015

Jackie McDowel, P.E. McDowell Engineering, Inc. 7820 Beverly Hills Ave., NE Albuquerque, NM

Re:

Santa Fe Tow

8001 Jacs Lane, NW

Submittal for Certificate of Occupancy – Transportation Development

Engineer's/Architect's Stamp dated 2-19-14 (D016-D002A4)

Certification dated 3-5-15

Dear Mrs. McDowell,

PO Box 1293

Based upon the information provided in your submittal received 08-13-15, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building

Albuquerque

and Safety Division.

If you have any questions, please contact Gary Sandoval at (505) 924-3675 or me at (505)924-3991.

New Mexico 87103

www.cabq.gov

Shahab Biazar, P.E.

City Engineer for

Sincerely,

Traffic Engineer, Planning Dept. Development Review Services

CO Clerk, File

mao



Planning Department Transportation Development Services

March 11, 2015

Jackie McDowel, P.E. McDowell Engineering,Inc. 7820 Beverly Hills Ave., NE Albuquerque, NM

Santa Fe Tow Re:

8001 Jacs Lane, NW

Submittal for Certificate of Occupancy – Transportation Development

Engineer's/Architect's Stamp dated 2-19-14 (D016-D002A4)

Certification dated 3-5-15

Dear Ms. McDowell,

The Letter of Certification submitted on 3-6-15 is not sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). The following items need to be addressed:

PO Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

Include a minimum width of 8 feet wide for both van access aisles. The ADA van accessible sign must have the required language per 66-7-352.4C NMSA 1978 "Violators Are Subject to a Fine and/or Towing." Include an accessible signage detail for the next submittal showing this language.

The words "NO PARKING" for each of the van accessible aisles should be at least one foot high and at least two inches wide. Call out these dimensions within a keyed note.

Resubmit acceptable package along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. For digital submittal and minor comments and/or repairs, please submit photos and PDF files to rmichel@cabq.gov or mortiz@cabq.gov prior to submittal. If you have any questions, please contact me at (505) 924-3630.

Racquel M. Michel, P.E.

Senior Engineer, Planning Dept. Development Review Services

File

Sincerely,



Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION

(REV 02/2013)

Project Title: SANTA FE TOW LOT #	<u>+11</u>	Building Permit #	#: City Drainage #: Dالم 5002 A
DRB#:	EPC#:		Work Order#:
Legal Description: LOT 11, BLUE SKY	BUSINESS PARK		
City Address: JACS LANE NE - 80	001		
Engineering Firm: MCDOWELL ENG			Contact: JACKIE MCDOWELL
Address: 7820 BEVERLY HILLS A	VE. NE		
Phone#: 505-828-2430	Fax#: 505-821-485	57	E-mail: jackmcdowell@comcast.net
Owner: ARMANDO BELTRAN			Contact: ARMANDO BELTRAN
Address: 8000 JACS LANE NE			
Phone#: 505-991-0312	Fax#:		E-mail: santafetow@gmail.com
Architect: RON MONTOYA DESIG	GNS. INC.	•	Contact: RON MONTOYA
Address: 8724 ALAMEDA NE			
Phone#: 505-823-6474	Fax#: 505-823-648	37	E-mail:
Surveyor: MIKE SHOOK			Contact: MIKE SHOOK
Address: 612 CERRO DE ORTEGA	DR SE		
Phone#: 505-896-1716	Fax#:	V	E-mail:
1 11011C//. 300 000 11 10			Contoot
Contractor:	<u></u>	· · · · · · · · · · · · · · · · · · ·	Contact:
Address:Phone#:	Fax#:	<u>. </u>	E-mail:
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TYPE OF SUBMITTAL:			OVAL/ACCEPTANCE SOUGHT:
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DRAINAGE PLAN RESUBMITTAL		DEV. PLAN FOR SUE	and the second s
CONCEPTUAL G & D PLAN		DEV. FOR BLDG. PE	
GRADING PLAN		ECTOR PLAN APPRO	
EROSION & SEDIMENT CONTROL F		NAL PLAT APPROVA	
ENGINEER'S CERT (HYDROLOGY)		ERTIFICATE OF OCC	
CLOMR/LOMR	C	ERTIFICATE OF OCC	UPANCY (TCL TEMP)
TRAFFIC CIRCULATION LAYOUT (TCL)F	OUNDATION PERMIT	Γ APPROVAL
X ENGINEER'S CERT (TCL)	B	UILDING PERMIT AP	PROVAL
ENGINEER'S CERT (DRB SITE PLAN	را)G	RADING PERMIT AP	
ENGINEER'S CERT (ESC)	P.	AVING PERMIT APPE	ROVAL ESC PERMIT APPROVAL
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OTHER (SPECIFY)		RADING CERTIFICA	
WAS A PRE-DESIGN CONFERENCE ATTE	ENDED: Y	es X No	Copy Provided
		CKIE MCDOWE	
DATE SUBMITTED: 3-5-15	by: <u>J</u> A	CIST TATODO AAT	

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following

- 1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
- Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres
 Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
- 4. Erosion and Sediment Control Plan: Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

LAND DEVELOPMENT SECTION

TO S





July 9, 2014

Jackie McDowell, PE McDowell Engineering, Inc. 7820 Beverly Hills NE Albuquerque, NM 87121

Re: Santa Fe Tow

8001 2 8051 Jacs Lane NW

Request Permanent C.O. - Accepted

Engineer's Stamp dated: 11-25-13 (D16D002A4)

Certification dated: 7-7-14

Dear Ms. McDowell,

Based on the Certification received 7/7/2014, the site is acceptable for release of Certificate of Occupancy by Hydrology.

PO Box 1293

If you have any questions, you can contact me at 924-3695 or Rudy Rael at 924-3977.

Albuquerque

New Mexico 87103

New Mexico 9/103

www.cabq.gov

Sincerely,

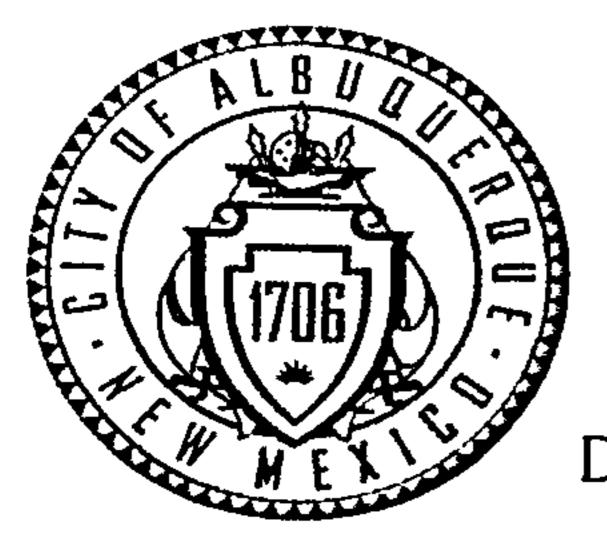
Curtis Cherne, P.E.

Principal Engineer, Planning Dept. Development and Review Services

RR/CC

C: CO Clerk—Katrina Sigala

email



Planning Department

Development & Building Services Division DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: SANTA FE TOW LOT #11 DRB#: EPC	Building Permit #: City Drainage #:2
Legal Description: LOT 11, BLUE SKY BUS City Address: JACS LANE NE	SINESS PARK Work Order#:
Engineering Firm: MCDOWELL ENGINE Address: 7820 BEVERLY HILLS AVE. N	ERING, INC. Contact: JACKIE MCDOWELL JE
Phone#: 505-828-2430 Fax#:	505-821-4857 E-mail: jackmcdowell@comcast.net
Owner: ARMANDO BELTRAN Address: 8000 JACS LANE NE	Contact: ARMANDO BELTRAN
Phone#: 505-991-0312 Fax#:	E-mail: Santatetow@gmail com
Architect: RON MONTOYA DESIGNS, I Address: 8724 ALAMEDA NE	NC. Contact: RON MONTOYA
Phone#: 505-823-6474 Fax#:	505-823-6487 E-mail:
Surveyor: MIKE SHOOK Address: 612 CERRO DE ORTEGA DR. S	Contact: MIKE SHOOK
Phone#: 505-896-1716 Fax#:	E-mail:
Contractor: Address:	Contact:
Phone#: Fax#:	E-mail:
TYPE OF SUBMITTAL: DRAINAGE REPORT DRAINAGE PLAN 1st SUBMITTAL DRAINAGE PLAN RESUBMITTAL CONCEPTUAL G & D PLAN GRADING PLAN EROSION & SEDIMENT CONTROL PLAN (ESC X ENGINEER'S CERT (HYDROLOGY) CLOMR/LOMR TRAFFIC CIRCULATION LAYOUT (TCL) X ENGINEER'S CERT (TCL) ENGINEER'S CERT (DRB SITE PLAN) ENGINEER'S CERT (ESC) SO-19 OTHER (SPECIFY)	CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT: SIA/FINANCIAL GUARANTEE RELEASE PRELIMINARY PLAT APPROVAL S. DEV. PLAN FOR SUB'D APPROVAL S. DEV. FOR BLDG. PERMIT APPROVAL SECTOR PLAN APPROVAL FINAL PLAT APPROVAL CERTIFICATE OF OCCUPANCY (PERM) CERTIFICATE OF OCCUPANCY (TCL FAIR) FOUNDATION PERMIT APPROVAL BUILDING PERMIT APPROVAL GRADING PERMIT APPROVAL PAVING PERMIT APPROVAL WORK ORDER APPROVAL GRADING CERTIFICATION OTHER (SPECIFY)
WAS A PRE-DESIGN CONFERENCE ATTENDED: OATE SUBMITTED: 7-7-14 Requests for approvals of Site Dayslands of Site Daysland	Yes X No Copy Provided By: JACKIE MCDOWELL

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February 19, 2014

Jackie McDowell, P.E. McDowell Engineering, Inc 7820 Beverly Hills Ave. NE Albuquerque, NM 87122

Re: Santa Fe Tow Lot #11, Jacs Lane NE, Traffic Circulation Layout Engineer's Stamp dated 2-19-14 (D16D002A4)

Dear Ms. McDowell,

The TCL submittal received 2-19-14 is approved for Building Permit. The plan is stamped and signed as approved. A copy of this plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation. Public infrastructure or work done within City Right-of-Way shown on these plans is for information only and is not part of approval. A separate DRC and/or other appropriate permits are required to construct these items.

PO Box 1293

Albuquerque

If a temporary CO is needed, a copy of the original TCL that was stamped as approved by the City will be needed. This plan must include a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance," as well as the signed and dated stamp of a NM registered architect or engineer. Submit this TCL with a completed <u>Drainage and Transportation Information Sheet</u> to Hydrology at the Development Services Center of Plaza Del Sol Building.

New Mexico 87103

When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed <u>Drainage and Transportation Information Sheet</u> to Hydrology at the Development Services Center of Plaza Del Sol Building.

www.cabq.gov

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

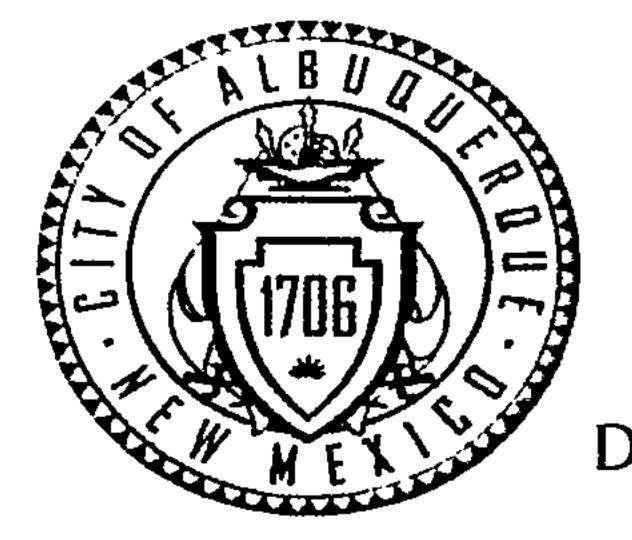
Cynthia K Beck

Associate Engineer, Planning Dept. Development Review Services

C:

File





Planning Department

Development & Building Services Division DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: SANTA FE TOW LOT #11 DRB#: EPC#:	Building Permit #:	City Drainage #: Work Order#:
Legal Description: LOT 11, BLUE SKY BUSI	NESS PARK	
City Address: JACS LANE NE		
Engineering Firm: MCDOWELL ENGINEER Address: 7820 BEVERLY HILLS AVE. NE		Contact: JACKIE MCDOWELL
	505-821-4857	E-mail: jackmcdowell@comcast.net
Owner: ARMANDO BELTRAN Address: 8000 JACS LANE NE	, , , , , , , , , , , , , , , , , , ,	Contact: ARMANDO BELTRAN
Phone#: 505-991-0312 Fax#:		E-mail: santafetow@gmail.com
Architect: RON MONTOYA DESIGNS, IN	IC.	Contact: RON MONTOYA
Address: 8724 ALAMEDA NE Phone#: 505-823-6474 Fax#: 5	505-823-6487	E-mail:
Surveyor: MIKE SHOOK Address: 612 CERRO DE ORTEGA DR. SI		Contact: MIKE SHOOK
Phone#: 505-896-1716 Fax#:	<u></u>	E-mail:
Contractor:		Contact:
Address:		
Phone#: Fax#:		E-mail:
TYPE OF SUBMITTAL:	CHECK TYPE OF APPROVA	AL/ACCEPTANCE SOUGHT:
DRAINAGE REPORT	SIA/FINANCIAL GUARAN	TEE RELEASE
DRAINAGE PLAN 1st SUBMITTAL	PRELIMINARY PLAT APPR	
DRAINAGE PLAN RESUBMITTAL	S. DEV. PLAN FOR SUB'D	
CONCEPTUAL G & D PLAN	S. DEV. FOR BLDG. PERM	型型 W E U
GRADING PLAN EDOCION & CEDIMENT CONTROL DI ANTERCO	SECTOR PLAN APPROVA	
EROSION & SEDIMENT CONTROL PLAN (ESC ENGINEER'S CERT (HYDROLOGY)	FINAL PLAT APPROVAL CERTIFICATE OF OCCUPA	11 FEB 1 9 2014
CLOMR/LOMR	CERTIFICATE OF OCCUPA	WHAT (PERIVI)
X TRAFFIC CIRCULATION LAYOUT (TCL)		EAND DEVELOPMENT SECTION
ENGINEER'S CERT (TCL)	X BUILDING PERMIT APPRO	
ENGINEER'S CERT (DRB SITE PLAN)	GRADING PERMIT APPRO	
ENGINEER'S CERT (ESC)	PAVING PERMIT APPROVA	
SO-19	WORK ORDER APPROVAL	
OTHER (SPECIFY)	GRADING CERTIFICATION	
WAS A PRE-DESIGN CONFERENCE ATTENDED:		py Provided M. W.
DATE SUBMITTED: 2-18-14	By: JACKIE MCDOWELL	(Juste JY 1/ Wall

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following

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* * *

McDowell Engineering, 9nc.

Jackie Sedillo McDowell, P.E. Civil Engineering Consultant

February 16, 2014

Ms. Cynthia K. Beck Associate Engineer, Planning Dept. Development Review Services City of Albuquerque PO Box 1293 Albuquerque, NM 87103

RE: Santa Fe Tow Lot #11, Jacs Lane NE, Traffic Circulation Layout Revised Plan addressing comments (D16D002A4)

Dear Ms. Beck:

We received your letter dated February 7, 2014 and offer the following response and updated plan.

- The development of this site is in compliance with the current DPM and ADA standards and regulations.
- 2. The number of parking spaces required by the zoning code as well as the proposed number of parking spaces has been added to the plan.
- The handicapped spaces are in compliance with the ADA for pavement markings and posted signs.
- 4. A motorcycle sign has been added to the plan and the stalls are greater than 4 ft wide.
- 5. The width of the sidewalk has been defined on the plan.
- 6. A detail of the wheel chair ramp has been added to the plan along with a note at the proposed driveway referring to COA standard drawing.
- 7. The proposed 6' wide ADA accessible pedestrian pathway is unobstructed to the building entrance and a sidewalk has been added at this location to further add maneuverability. The entrance door will swing as shown on the plan at the reception area.
- 8. All ramps and building access points are ADA compliant.
- 9. The driving surface in the back parking area has been changed to asphalt from gravel.
- 10. A note has been added to the plan clarifying the curb locations between parking areas and landscaping areas. A details has been added to the plan for the curb.
- 11. The note has been added to the plan.
- 12. Applicable city standards have been referred to.

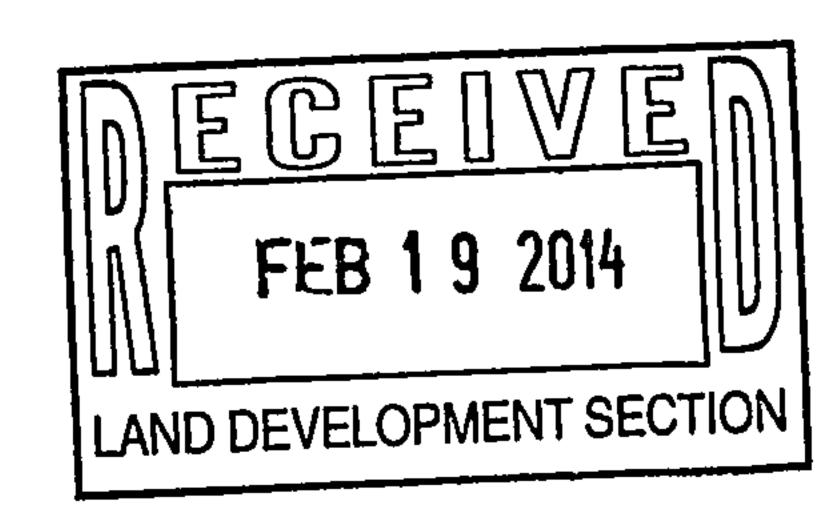
Your timely approval of this plan is appreciated.

Sincerely,

MCDOWELL ENGINEERING, INC.

Jackie S. McDowell, P.E.

Copy: Owners





February 7, 2014

Jackie McDowell, P.E. McDowell Engineering, Inc 7820 Beverly Hills Ave. NE Albuquerque, NM 87122

Re: Santa Fe Tow Lot #11, Jacs Lane NE, Traffic Circulation Layout Engineer's Stamp dated 2-04-14 (D16D002A4)

Dear Ms. McDowell,

Based upon the information provided in your submittal received 2-05-14, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

- 1. The development of this site must be in compliance with current DPM and ADA standards and regulations.
- 2. List the number of parking spaces required by the zoning code as well as the proposed number of parking spaces.
- 3. The handicapped spaces must provide ADA compliance pavement markings and posted signs. Please refer to attachment for revised ADA parking requirements.
- 4. Provide posted motorcycle signs. MC stalls must be a min. of 4 ft wide.
- 5. Define width of the proposed sidewalk.
- 6. Show a detail of the wheelchair ramps located at the proposed driveway, or refer to the appropriate city standard.
- 7. The proposed 6 ft. wide ADA accessible pedestrian pathway must be unobstructed to the building entrance. Please clarify the access at the entrance with door swing and what appears to be a vestibule.
- 8. Please ensure all ramps and building access points are ADA compliant.
- 9. It is not apparent what type of pavement surface is being proposed for the 3 back lot parking stalls. A hard driving surface will be required as part of this proposed project for parking area and drive aisles based on zoning's parking requirements.
- 10. A curb is required between parking areas and landscaping. Please detail/label.
- 11. Please add the following note: "Landscaping and signing will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in this area."

PO Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

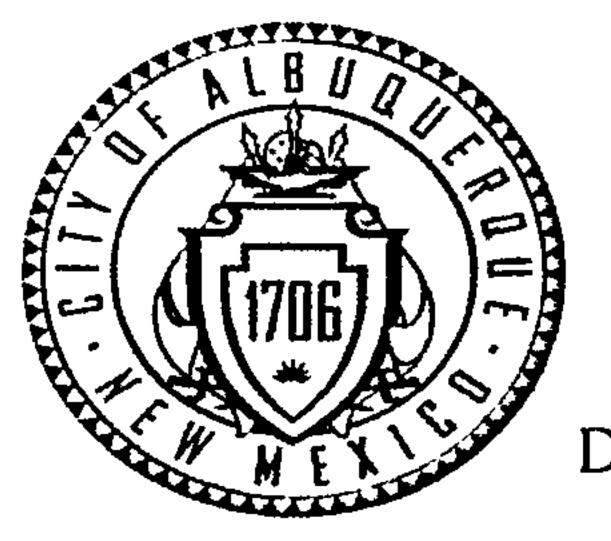
12. Please refer to all applicable city standards.

If you have any questions, you can contact me at 924-3924.

Sincerely,

Cynthia K Beck Associate Engineer, Planning Dept. Development Review Services

C: File



DATE SUBMITTED: 2-5-14

City of Albuquerque

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Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

	(REV 02/2013)	D115, 20	D1150.201	
Project Title: SANTA FE TOW LOT #	11 Buile	lding Permit #: City Drainage #:	H	
DRB#:	EPC#:	Work Order#:		
Legal Description: LOT 11, BLUE SKY	BUSINESS PARK			
City Address: JACS LANE NE				
Engineering Firm: MCDOWELL ENG	INEERING, INC.	Contact: JACKIE MCDOWELL		
Address: 7820 BEVERLY HILLS A		122	'	
Phone#: 505-828-2430	Fax#: 505-821-4857	E-mail: jackmcdowell@comcast	t.ne	
Owner: ARMANDO BELTRAN		Contact: ARMANDO BELTRAI	N	
Address: 8000 JACS LANE NE				
Phone#: 505-991-0312	Fax#:	E-mail: santafetow@gmail.com		
Architect: RON MONTOYA DESIG	NS, INC.	Contact: RON MONTOYA	_	
Address: 8724 ALAMEDA NE				
Phone#: 505-823-6474	Fax#: 505-823-6487	E-mail:		
Surveyor: MIKE SHOOK		Contact: MIKE SHOOK		
Address: 612 CERRO DE ORTEGA	DR: SE	Comact. IVIIICE SIICOIC		
Phone#: 505-896-1716	Fax#:	E-mail:		
Contractor:		Contact:	·	
Address:				
Phone#:	Fax#:	E-mail:		
TYPE OF SUBMITTAL:	CHECK TYPE	OF APPROVAL/ACCEPTANCE SOUGHT:		
DRAINAGE REPORT		IAL GUARANTEE RELEASE		
DRAINAGE PLAN 1st SUBMITTAL	PRELIMINAR	RY PLAT APPROVAL	l	
DRAINAGE PLAN RESUBMITTAL	S. DEV. PLAN	N FOR SUB'D APPROPALE () [] [] []	Ĺ	
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ENGINEER'S CERT (DRB SITE PLAN)				
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OTHER (SPECIFY)		ERTIFICATION OTHER (SPECIFY)	J1,	
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Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the followin

No

By: JACKIE MCDOWELL

Copy Provided

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December 19, 2013

Jackie McDowell, P.E. McDowell Engineering, Inc. 7820 Beverly Hills Ave NE Albuquerque, NM 87122

Re: Santa Fe Tow

Grading and Drainage Plan

Engineer's Stamp date 11-25-13 (D-16/D002A4)

Dear Ms. McDowell,

Based upon the information provided in your submittal received 11-26-2013, the above referenced plan is approved for Grading Permit and Building Permit.

Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology. Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required

Albuquerque

PO Box 1293

If you have any questions, you can contact me at 924-3695 or Rudy Rael at 924-3977.

NM 87103

www.cabq.gov

Sincerely,

Shahab Biazar, P.E.

Senior Engineer, Planning Dept.

Development and Building Services

RR/SB

C

File



Planning Department

Development & Building Services Division DRAINAGE AND TRANSPORTATION INFORMATION SHEET

Project Title: SANTA FE TOW LOT #11 DIRB#:		(REV 02/2	013)	D16000ZA4	
DABB!:	Project Title: SANTA FE TOW LOT #	11	Building Permit #:		
City Address: JACS LANE NE Engineering Firm: MCDOWELL ENGINEERING, INC. Address: 7820 BEVERLY HILLS AVE. NE Phonest: 505-828-2430	DRB#:				ن ن
Engineering Firm: MCDOWELL ENGINEERING, INC. Address: 7820 BEVERLY HILLS AVE. NE Phone#: 505-828-2430	Legal Description: LOT 11, BLUE SKY	BUSINESS PARK			
Address: 7820 BEVERLY HILLS AVE. NE Phone#: 505-828-2430	City Address: JACS LANE NE				
Phone#: 505-828-2430 Pax#: 505-821-4857 E-msil: jackmcdowell@comcast.net Owner: ARMANDO BELTRAN Address: 8000_JACS_LANE_NE Phone#: 505-991-0312 Fax#: E-msil: santafetow@gmail.com Architect: RON MONTOYA DESIGNS, INC. Contact: RON MONTOYA Address: 8724_ALAMEDA_NE Phone#: 505-823-6474 Fax#: 505-823-6487 E-msil: Surveyor: MIKE SHOOK Address: 612_CERRO_DE_ORTEGA_DR_SE Phone#: 505-896-1716 Fax#: E-msil: Contractor: Address:			Cont	tact: JACKIE MCDOWE	LL
Owner: ARMANDO BELTRAN Address: 8000 JACS LANE NE Phone#: 505-991-0312		· · · · · · · · · · · · · · · · · · ·	<u>-</u>		
Address: 8000 JACS LANE NE Phone#: 505-991-0312	Phone#: 303-626-2430	Pax#: <u>000-821-4807</u>	E-ma	ail: jackmcdowell@come	<u>cast.net</u>
Phone#: 505-991-0312 Fax#: E-mail: santafetow@gmail.com Architect: RON MONTOYA DESIGNS, INC. Address: 8724 ALAMEDA NE Phone#: 505-823-6474 Fax#: 505-823-6487 E-mail: Surveyor: MIKE SHOOK Address: 612 CERRO DE ORTEGA DR, SE Phone#: 505-896-1716 Fax#: E-mail: Contractor: Contact: MIKE SHOOK Address: 505-896-1716 Fax#: E-mail: Contractor: Contact: MIKE SHOOK Address: Phone#: Fax#: E-mail: Contractor: Contact: MIKE SHOOK Address: Phone#: Sub-mail:	Owner: ARMANDO BELTRAN	·	Cont	tact: ARMANDO BELTI	RAN
Architect: RON MONTOYA DESIGNS, INC. Address: 8724 ALAMEDA NE Phone#: 505-823-6474	Address: 8000 JACS LANE NE				<u> </u>
Address: 8724 ALAMEDA NE Phone#: 505-823-6474	Phone#: 505-991-0312	Fax#:	E-ma	ail: <u>santafetow@gmail.co</u>	<u>)m</u>
Phone#: 505-823-6474	····	NS, INC.	Cont	act: RON MONTOYA	
Surveyor: MIKE SHOOK Address: 612 CERRO DE ORTECA DR. SE Phone#: 505-896-1716		Eav#. 505 922 6497	r:		
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	DATE SUBMITTED: 11-25-13	By: <u>JACK</u>	IE MCDOWELL		L

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the followin

- Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
- Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres
- Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
- Erosion and Sediment Control Plan: Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

McDowell Engineering, 9nc.

Jackie Sedillo McDowell, P.E. Civil Engineering Consultant

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November 25, 2013

Mr. Shahab Biazar, PE
Senior Engineer, Planning Dept.
Development and Building Services
City of Albuquerque
PO Box 1293
Albuquerque, NM 87103

RE: Lot 11, Blue Sky Business Park Grading & Drainage Plan – Jacs lane NE (D16/D002A2)

Dear Mr. Biazar:

We received your review comments dated November 4, 2013 and offer the following response with the attached revised Grading & Drainage Plan.

- Back of sidewalk elevations have been added to the plan. The runoff drains to Jacs Lane via the entrance.
- Spot elevations have been added at the entrance to show that an adequate water block is provided. The entrance will not have a conflict with the existing storm drain inlet.
- Spot elevations have been added around the HC parking area and to the connections to the sidewalk along Jacs Lane to assure ADA compliance.
- The wall shown along the westerly property line is existing and has been clarified on the plan. This wall is an existing retaining wall. Elevations have been added to the plan for clarification of existing vs. proposed.
- Spot elevations have been provided along the property line to assure existing grades are being matched, which are also shown by the contours.
- Wall opening and size has been added for the wall at the north side of the building for drainage.
- The calculations have been revised to show that the existing condition Treatment type is C, not A.

Your timely approval of this plan for building permit is greatly appreciated.

Sincerely,

MCDOWELL ENGINEERING, INC.

Jackie S. McDowell, P.E.

Copy: Owners

LAND DEVELOPMENT SECTION

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