

CITY OF ALBUQUERQUE

Hydrology Section of the Planning Department



November 29, 2017

David Soule, PE
Rio Grande Engineering
1606 Central SE Suite 201
Albuquerque, NM 87106

**Re: Picasso RV - 7800 Jacs Ln. NE
Grading & Drainage Plan Engineer's Stamp Dated 11/21/2017
(D16D002A6)**

Dear Mr. Soule,

Based upon the information provided in the submittal received on 11/27/17 the above-referenced plan cannot be approved for Building Permit and/or Grading Permit until the following comments are addressed.

1. Flow arrows and spot elevations should be added showing the onsite swale next to Jacs Ln. that will divert onsite drainage into the ponds before it enters the public right of way.
2. A typical section showing the horizontal and vertical dimensions from the right of way line of Jacs Ln. to the curb and gutter, sidewalk, and onsite drainage swale should be shown on the G&D Plan. Hydraulic capacity calculations should be shown next to the section of the onsite swale.
3. Similarly the hydraulic capacity calculations of the swale in section C-C should either be revised in the report to match the geometry of the section on the G&D Plan or the revised calculations can be shown on the G&D Plan next to the section. The detail and the calculations should agree.
4. Please add a big caution note in the vicinity of the existing 30' PNM Gas Pipeline and Communication easement on the east side of this property.
5. Written approval of this plan is required from PNM.
6. This work requires an ESC plan to be submitted to the storm water quality engineer (Curtis Cherne, PE ccherne@cabq.gov) prior to Grading Permit approval.

If you have any questions, you can contact me at 924-3986.

Sincerely,

James D. Hughes, P.E.
Principal Engineer, Planning Dept.
Development Review Services

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: PICASSO RV **Building Permit #:** **City Drainage #:** E16D 002A6
DRB#: **EPC#:** **Work Order#:**
Legal Description: LOT 5A AND 6A BLUE SKY SUBDIVISION
City Address: 7800 JACS LANE

Engineering Firm: RIO GRANDE ENGINEERING **Contact:** DAVID SOULE
Address: PO BOX 93924, ALBUQUERQUE, NM 87199
Phone#: 505.321.9099 **Fax#:** 505.872.0999 **E-mail:** DAVID@RIOGRANDEENGINEERING.COM

Owner: PICASSO HOMES **Contact:**
Address:
Phone#: **Fax#:** **E-mail:**

Architect: JOE SIMONS **Contact:**
Address:
Phone#: **Fax#:** **E-mail:**

Other Contact: **Contact:**
Address:
Phone#: **Fax#:** **E-mail:**

Check all that Apply:

DEPARTMENT:

☒ HYDROLOGY/ DRAINAGE
☐ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

☐ ENGINEER/ ARCHITECT CERTIFICATION
☐ CONCEPTUAL G & D PLAN
☒ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
☐ OTHER (SPECIFY)

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY
☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☒ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR
☐ PRE-DESIGN MEETING
☐ OTHER (SPECIFY)

IS THIS A RESUBMITTAL?: ☒ Yes ☐ No

DATE SUBMITTED: 11/22/17 By:

COA STAFF: ELECTRONIC SUBMITTAL RECEIVED:

November 22, 2017

Mr. James Hughes, PE
Principal Engineer
Hydrology Section
City of Albuquerque

**RE: Picasso RV- 7800 Jacs Lane
Drainage file E16D002A6**

Dear Mr. Hughes:

The purpose of this letter is to respond to your written comments dated November 10, 2017. The plans have been modified to address your comments. The following is a response to your comments with a summary as to how the plans were modified to address your comments:

1. This site is zoned M2, therefore the use is permitted to go to building permit. There is no separate site plan approval required. Therefore this plan is a final grading plan for building permit and not conceptual. We have included the building permit set. The project is phased with future buildings; the grading plan is prepared for ultimate conditions.
2. Since this is a grading plan for building permit, the drainage calculations within the report provide the areas and drainage basins. We have added reference to D16D002 in note # 5.
3. We have added survey spot elevations around the perimeter and added cross sections.
4. The basin calculations are included within the drainage report. We have added the stage storage calculation for each pond to demonstrate the volumes
5. We have added offsite drainage calculations to the report and provided offsite basin map. We have added note regarding acceptance up offsite flows as note #5.
6. We have varied the line types and updated the legend.
7. We have identified the sidewalks and drive pads with the associated city detail references. These will be constructed under the building permit. A note has been added to address the work performed within the right of way.
8. We have added the requested hydraulic calculations to the report. The first flush ponds serve to retain the 90% storm events. The prohibition of mixing of the first flush volume and the design storm event is not clearly defined in the DPM. We understand it is desirable for the ponds to capture the required volumes but to eliminate the mixing for all project flow will be a large burden. We have tried our best to address this but are not able to prevent this in all cases.

9. Since this is not conceptual we have not added this. We have added the permit requirements in note #6. It is our understanding only sidewalk culverts are governed by SO19 permits. The sidewalks and drive pads will be governed by the barricading and excavation permits that must be issued.
10. We have added the additional language to our caution note at the bottom left of the grading plan. The plan shows all utilities as spotted and provided by design survey. The addition of all easement will provide notification of underground services.
11. We have added the AMAFCA restriction easement. This easement required a minimum of 10:1 slope from top of existing channel. Our grades are significantly less than allowed. This plan is being submitted to AMAFCA for their approval.

It was our intent to adequately address your comments. Should you have any questions regarding this matter, please do not hesitate to call me.

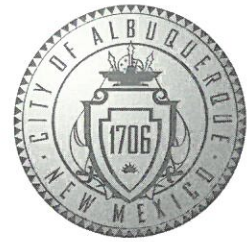
Sincerely,



David Soule, PE

CITY OF ALBUQUERQUE

Hydrology Section of the Planning Department



November 10, 2017

David Soule, PE
Rio Grande Engineering
1606 Central SE Suite 201
Albuquerque, NM 87106

**Re: Picasso RV - 7800 Jacs Ln. NE
Grading & Drainage Plan Engineer's Stamp Dated 10/31/2017
(D16D002A6)**

Dear Mr. Soule,

Based upon the information provided in the submittal received on 10/31/17 the above-referenced plan cannot be approved for Site Plan for Building Permit, Building Permit or Grading Permit. Prior to DRB approval of the Site Plan for Building Permit the following must be addressed.

- Change the title of the sheet to be included in the Site Plan for Building Permit to Conceptual Grading and Drainage Plan and place a prominent label on the sheet "Not for Construction". A separate Grading and Drainage Plan for construction will contain additional details and must be submitted separately to the Hydrology Section of the Planning Department for approval of Grading Permit and Building Permit. The Building Permit Plans must include all sheets of the Site Plan for Building Permit and the Grading and Drainage Plan prior to Hydrology approval of the Building Permit.
- Add a reference to the Conceptual G&D Plan in a narrative description of the project stating that "The G&D plan for the Blue Sky Subdivision (drainage file D16D002) established Free Discharge as the drainage management plan for this property". Include notes in the narrative that identify the area of site, the area of land disturbance, and the area of paving/impervious surfaces and a description of how the first flush requirements will be met for this site.
- Existing topo and spot elevations on the adjacent properties must be added to the Conceptual G&D Plan with typical section on all sides of the property showing how the grading of this site will not encroach into any neighboring properties nor limit their use.
- Show all first flush calculations on the Conceptual G&D Plan. Provide calculations of the required first flush volumes for each pond and a table summarizing the area of each contour and the associated volume calculations for each one of the ponds. on the Conceptual G&D Plan.
- Show all hydrology calculations on the Conceptual G&D Plan, including the off-site drainage basin to the east. The portion of the right of way for the North Diversion Channel that currently drains thru this site must be shown on the Conceptual G&D Plan with topography and a basin boundary line. This site must

PO Box 1293

Albuquerque

NM 87103

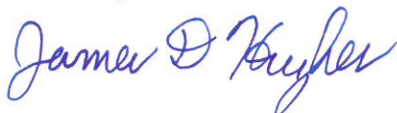
www.cabq.gov

continue to accept the offsite drainage and include the flows in onsite hydraulic calculations.

- Clearly indicate building footprints, new paving, curb and gutter, sidewalks, driveways and limits of disturbance on the Conceptual G&D Plan. Line widths and types should be varied instead of being the same for all of these features. More symbols, hatch patterns, and line types need to be added to the legend.
- Sidewalk and driveway(s) are required in the public right of way along this property's frontage on Jacs Ln. and must be shown on all sheets of the Site Plan for Building Permit prior to DRB approval. A typical section showing the horizontal and vertical dimensions from the right of way line of Jacs Ln. to the curb and gutter, sidewalk, and onsite drainage swale must be shown on the Conceptual G&D Plan.
- Show all hydrology calculations on the Conceptual G&D Plan, including capacity of the onsite drainage swale next to Jacs Ln. and sidewalk culvers. Pond overflow spillways must be directed to sidewalk culverts having capacity for the 100-year peak flow rate that must be shown on the Conceptual G&D Plan with construction notes. Flows in excess of the first flush volume should not mix with the first flush volume, so the inlet and outlet to the pond should be close to each other.
- A note must be added to the Conceptual G&D Plan stating "An excavation permit will be required before beginning any work within City Right-Of-Way". If an infrastructure list is not required at DRB then the rest of the SO-19 notes should also be placed on the plan.
- Existing utilities and easements must be shown on the Conceptual G&D Plan along with a note that says "Two working days prior to any excavation, the contractor must contact New Mexico One Call, dial "811" [or (505) 260-1990] for the location of existing utilities. Prior to construction, the contractor shall excavate and verify the locations of all obstructions. Should a conflict exist, the contractor shall notify the engineer so that the conflict can be resolved with a minimum amount of delay." The utilities must be marked in the field and their surveyed locations must be shown on the Conceptual G&D Plan, especially in the existing 30' PNM Gas Pipeline and Communication easement on the east side of this property. Written coinsurance from PNM is required prior to DRB approval of the Site Plan for Building Permit and may take the form of an Encroachment Agreement.
- The existing AMAFCA Excavation Restriction Easement on the east side of the site must be shown on the Conceptual G&D Plan and AMAFCA approval of the plan is required prior to DRB approval of the Site Plan for Building Permit.

If you have any questions, you can contact me at 924-3986.

Sincerely,



James D. Hughes, P.E.
Principal Engineer, Planning Dept.
Development Review Services

REVISED
DRAINAGE REPORT

For

**PICASSO RV Storage
@BLUE SKY
7800 Jacs Lane NE
Albuquerque, New Mexico**

Prepared by

Rio Grande Engineering
PO Box 93924
Albuquerque, New Mexico 87199

November 22, 2017



David Soule P.E. No. 14522

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Site Grading and Drainage Plan

PURPOSE

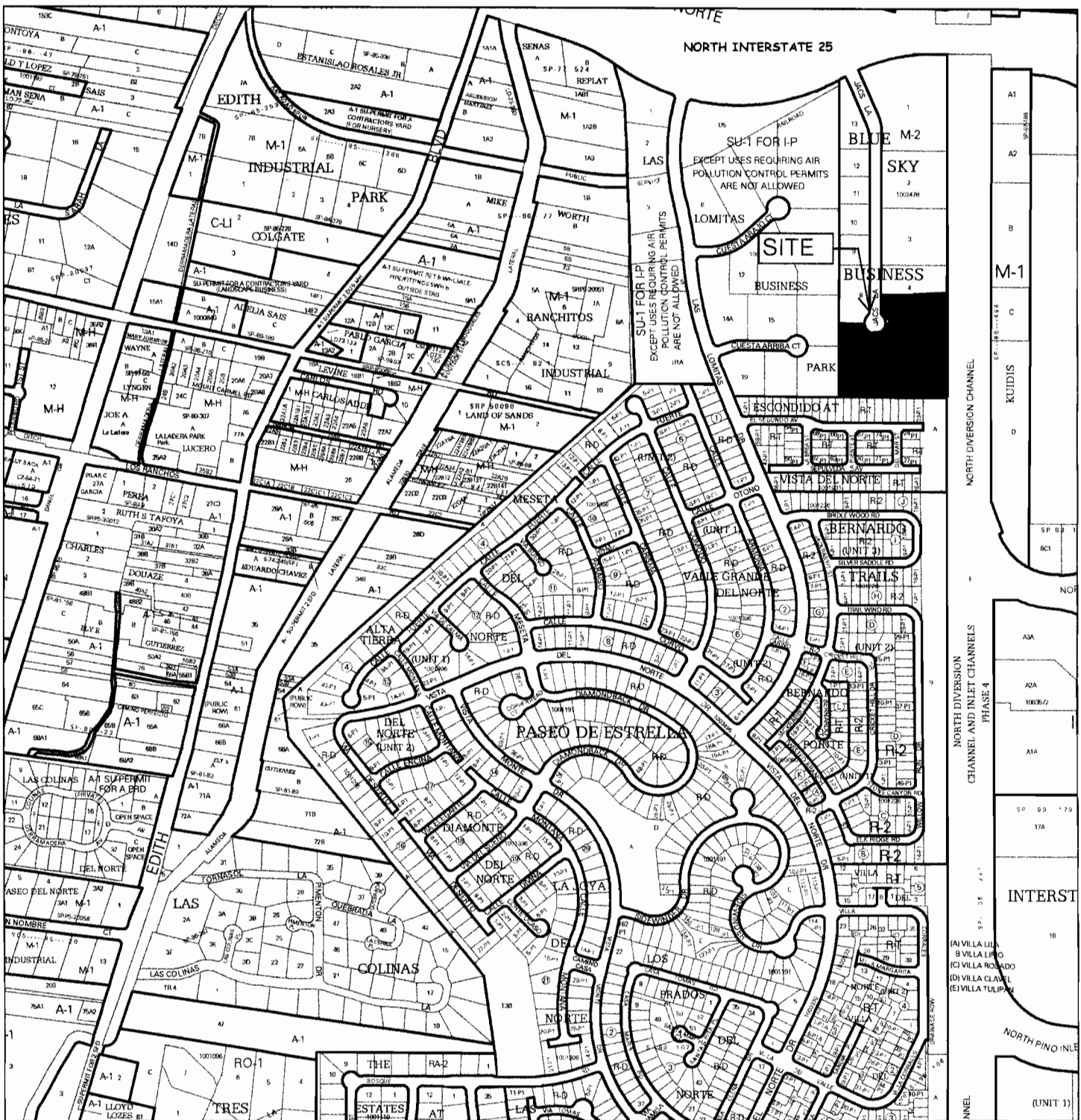
The purpose of this report is to provide the Drainage Management Plan for the construction of an RV storage facility located at 7800 Jacs Lane NE. This plan was prepared in accordance with the City of Albuquerque design regulations, utilizing the City of Albuquerque's Development Process Manual drainage guidelines. This report will demonstrate that the grading does not adversely affect the surrounding properties, nor the upstream or downstream facilities.

INTRODUCTION

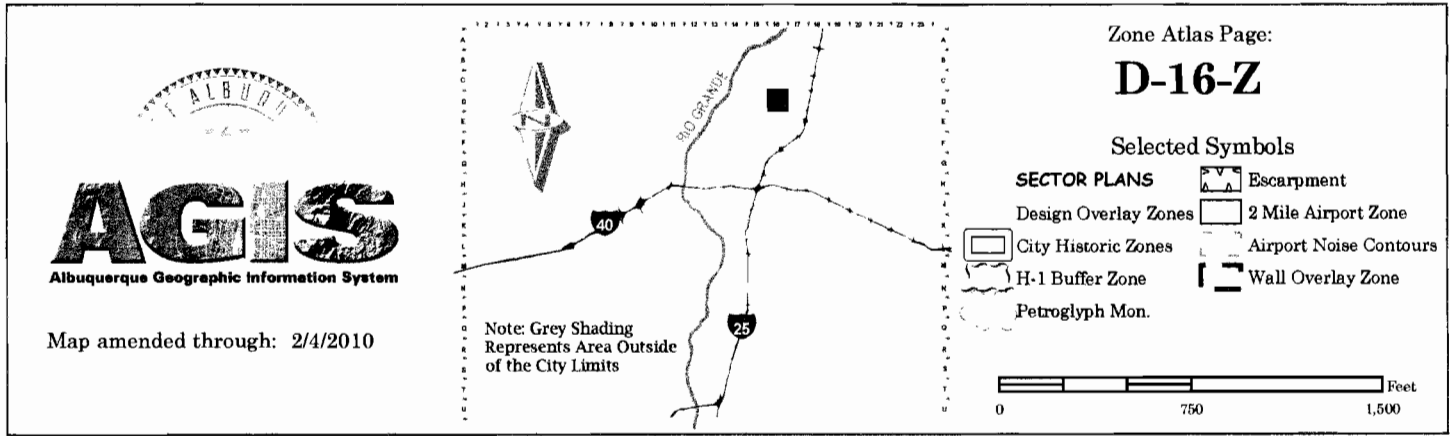
The subject of this report, as shown on the Exhibit A, is a 6.08-acre parcel of land located at the southeast terminus of Jacs lane south of Paseo Del Norte. The legal description of this site is Lot 5A and 6A, Blue Sky Subdivision. As shown on FIRM map35013C0136G, the entire site is located within Flood Zone X. The site is a graded lot within the blue sky subdivision. The entire downstream infrastructure has been constructed. The site is part of the blue Sky master drainage study and allowed free discharge to the existing inlets located adjacent to the site. The development of this site shall conform to the Blue Sky Master Drainage Plan.

EXISTING CONDITIONS

The site is currently developed as a graded lot. The site currently discharges directly to Jacs Lane. This flow is captured by a series of inlets located adjacent to the site. The storm drain carries the entire subdivision flow to a City maintained retention/detention pond located west off the site on Los Lomas. The AMAFCA North Diversion Channel is located directly upstream of the site, the upland flows of 1.63 cfs enter the site as sheet flow across the east property line. . A minor swale exists along the southern property line. The swale discharges to a CMP stand pipe at the southwest corner.



For more current information and more details visit: <http://www.cabq.gov/gis>



PROPOSED CONDITIONS

The proposed improvements consist of approximately 60,000 square feet of phased covered storage for RV's. The floors and the drive isles will be gravel. The site will be graded such that there will be four onsite basins. The northern basin A discharges 2.98 cfs thru the proposed driveway, the 329 cubic foot first flush is captured by pond A prior to discharge. The northern basin B discharges 5.08 cfs thru the proposed driveway; the 546 cubic foot first flush is captured by pond B prior to discharge. The southern basin C discharges 11.96 cfs thru the proposed driveway, the 1253 cubic foot first flush is captured by pond C. Basin D is the minor landscape channel at the southerly portion of the lot that discharges .54 cfs to an existing outfall pipe. Each basin will pass thru a first flush pond prior to leaving the site. The required water quality volume of each basin is achieved onsite.

SUMMARY AND RECOMMENDATIONS

This project is a development of a graded pad site. The site is within the master drainage plan area of the Blue Sky development. This site is allowed to free discharge to Jacs and the storm drain within. Since the effected area site encompasses more than 1 acre, a NPDES permit should be required prior to any construction activity.

Weighted E Method
PICASO RV

Existing Developed Basins

											100-Year, 6-hr.		
Basin	Area (sf)	Area (acres)	Treatment A		Treatment B		Treatment C		Treatment D		Weighted E (ac-ft)	Volume (ac-ft)	Flow cfs
			%	(acres)	%	(acres)	%	(acres)	%	(acres)			
EXISTING	264865	6.080	0%	0	80.0%	4.864	20.0%	1.21609	0%	0.000	0.850	0.431	14.91
PROPOSED	264865	6.080	0%	0	7.4%	0.452	61.3%	3.730	31%	1.898	1.413	0.716	21.67
POND A BASIN	36320	0.834	0%	0	8.0%	0.067	60.0%	0.50028	32%	0.267	1.419	0.099	2.98
POND B BASIN	62196	1.428	0%	0	8.0%	0.114	61.0%	0.87097	31%	0.443	1.409	0.168	5.08
POND C BASIN	147484	3.386	0%	0	8.0%	0.271	62.0%	2.09918	30%	1.016	0.865	0.244	11.98
BASIND	8742	0.201	0%	0	50.0%	0.100	50.0%	0.10034	0%	0.000	0.955	0.016	0.54
UPLAND	18865	0.433	0%	0	0.0%	0.000	60.0%	0.25985	40%	0.173	1.526	0.055	1.63

Equations:

Weighted E = Ea*Aa + Eb*Ab + Ec*Ac + Ed*Ad / (Total Area)

Volume = Weighted D * Total Area

Flow = Qa * Aa + Qb * Ab + Qc * Ac + Qd * Ad

Where for 100-year, 6-hour storm (zone 3)

Ea= 0.53
Eb= 0.78
Ec= 1.13
Ed= 2.12

Basin A Basin B Basin C
First flush requirement=.34ximpervious area 329.301 546.2882 1253.614
Provided 527 557 1387

CONTRIBUTING BASIN A 4294.235 CF
B 7302.329 CF
C 10631.14 CF

21.666

APPENDIX B

HYDRAULIC CALCULATIONS

Channel Capacity

	Top Width	Bottom Width	Depth	Area	WP	R	Slope	Q Provided	Q Required	Velocity
	(ft)	(ft)	(ft)	(ft^2)	(ft)		(%)	(cfs)	(cfs)	(ft/s)
top	3	1	1	2.00	3.83	0.5224077	1.6	6.99	0.54	0.27

Manning's Equation:
 $Q = 1.49/n \cdot A \cdot R^{2/3} \cdot S^{1/2}$
A = Area
R = D/4
S = Slope
n = 0.035

Sidewalk Culvert

Weir Equation:

$$Q = CLH^{3/2}$$

$Q = 4.7 \times 5345 / 43560 = .57 \text{ cfs}$

$C = 2.95$

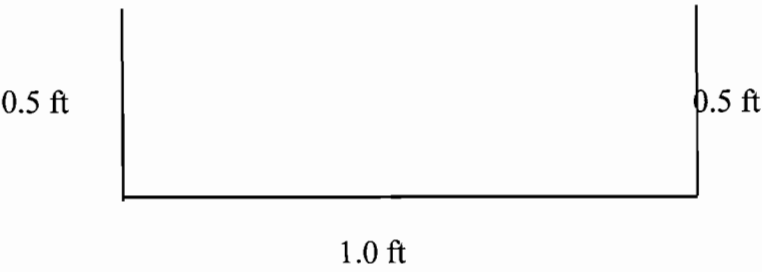
$H = 0.5 \text{ ft}$

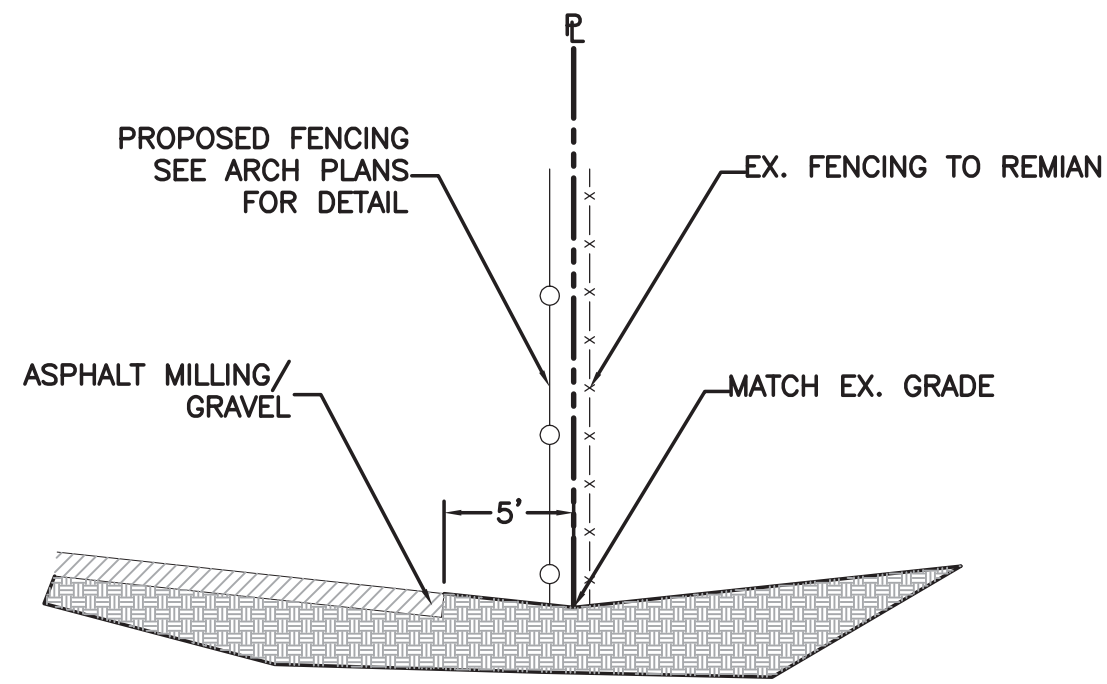
L = Length of weir

$$L = \frac{.57}{2.95(0.5)^{3/2}}$$

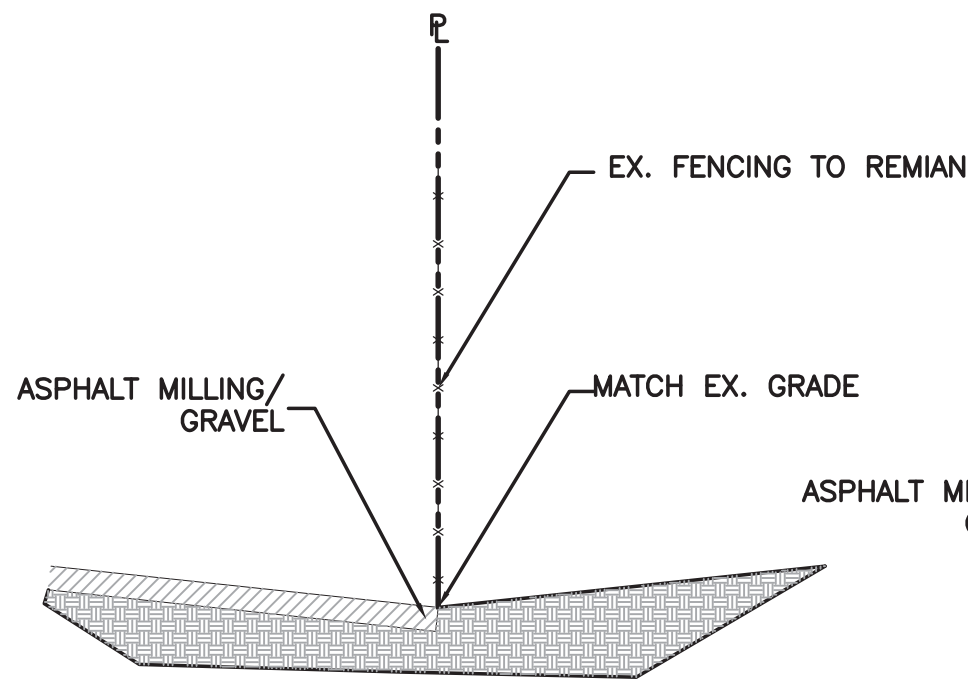
L = .55 ft

Use 1 foot for length of weir

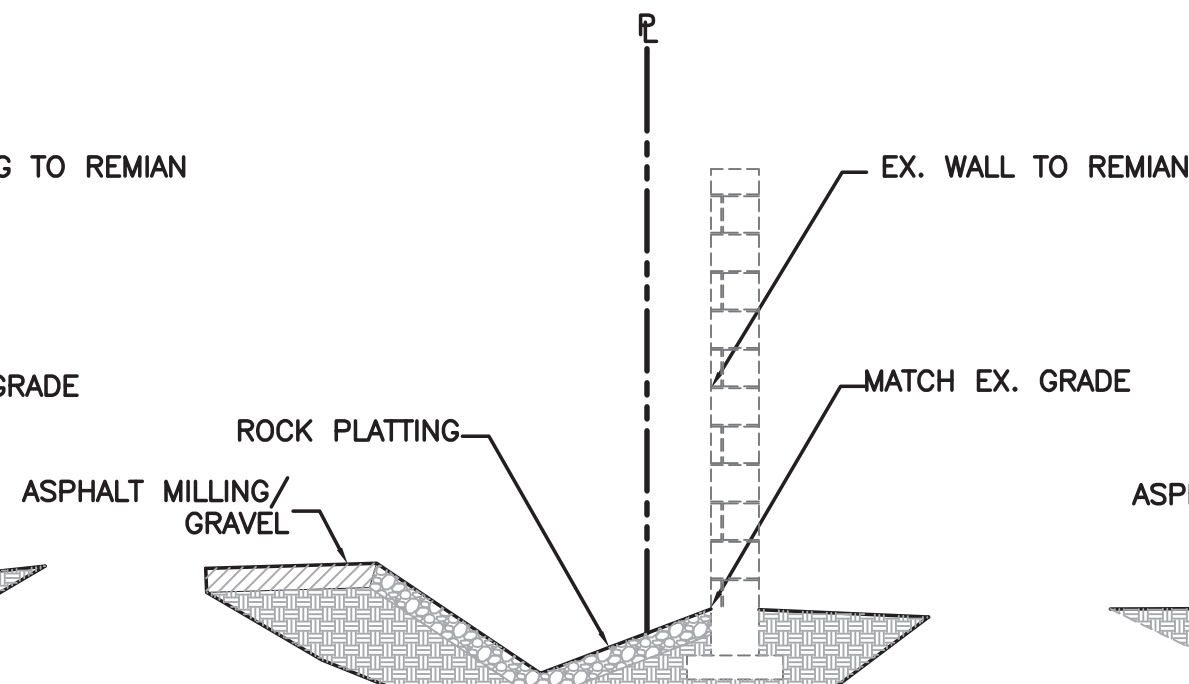




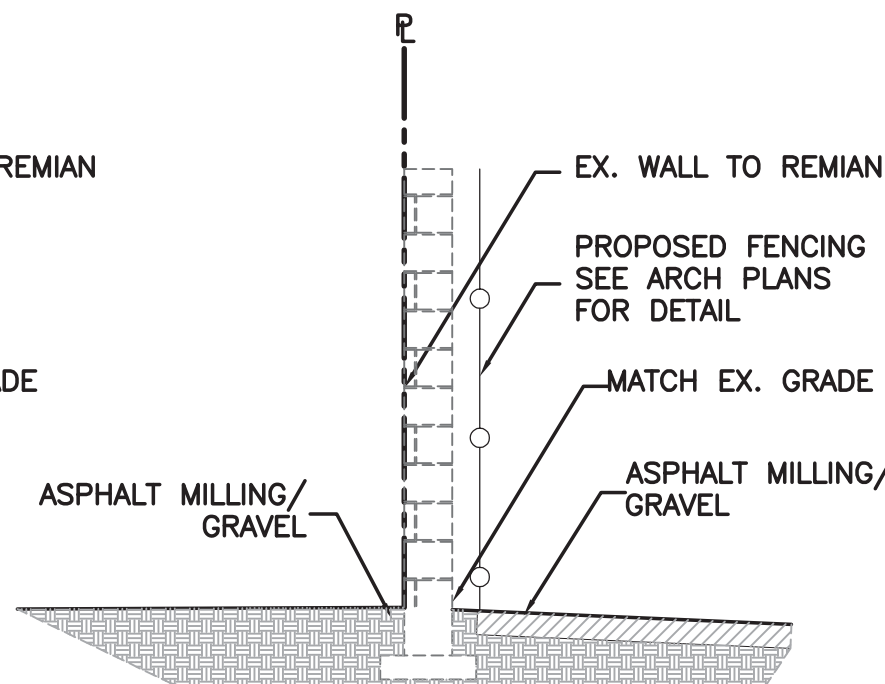
SECTION A-A
NTS



SECTION B-B
NTS



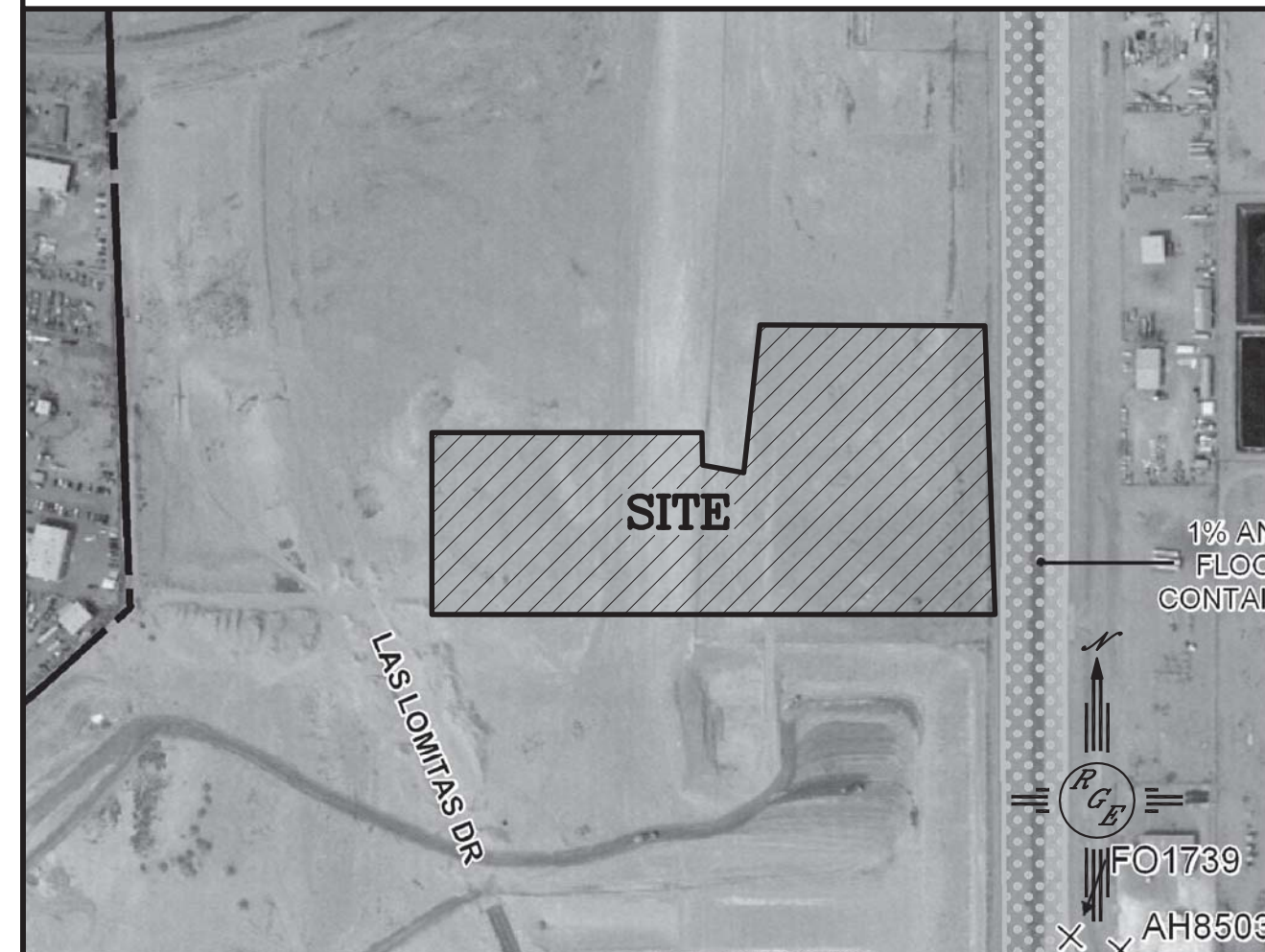
SECTION C-C
NTS



SECTION D-D
NTS

EROSION CONTROL NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.



FIRM MAP: FM35001C0136G

LEGAL DESCRIPTION:

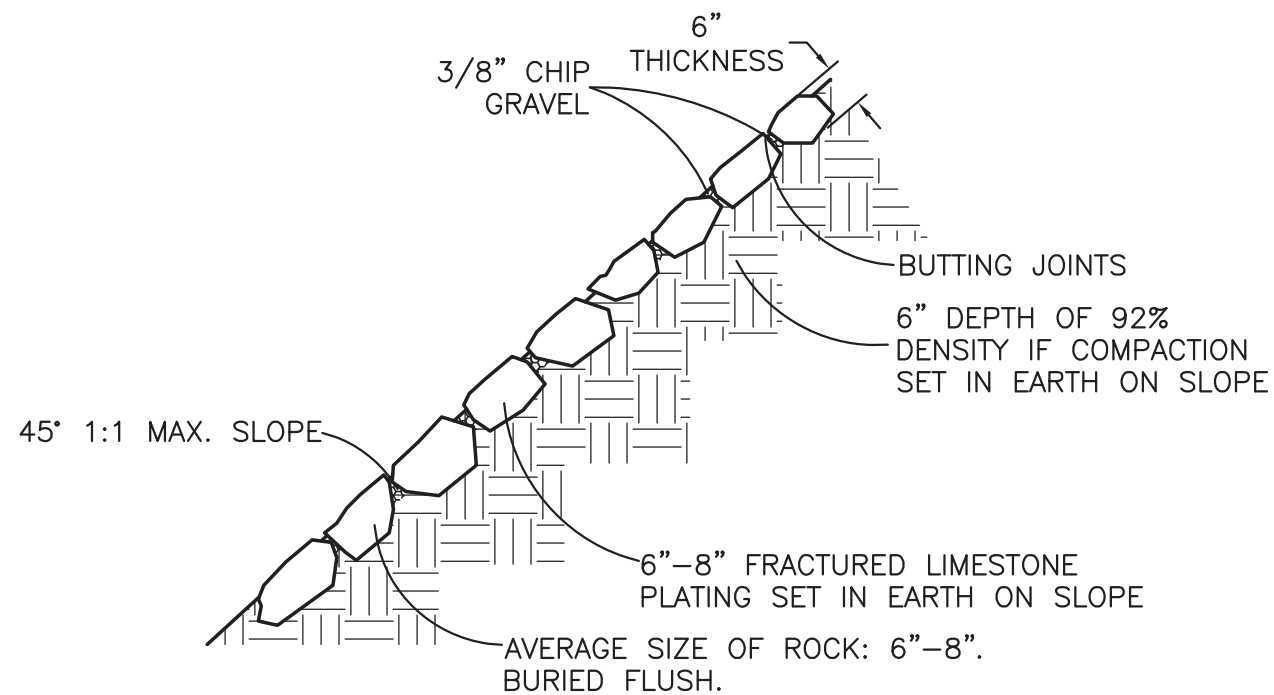
LOT 5 AND 6-A, LAS LOMITAS BUSINESS PARK

NOTES:

1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
2. ALL SLOPES SHALL BE 3:1 MAX. (UNLESS NOTED) AND GRAVEL OR NATIVE SEEDING PRIOR TO CO.
3. ANY PERIMETER WALLS MUST BE PERMITTED SEPARATELY. ALL RETAINING WALL DESIGN SHALL BE BY OTHERS.
4. SURVEY INFORMATION PROVIDED BY COMMUNITY SCIENCES CORPORATION USING NAVD DATUM 1988.
5. FLOWS FROM AMAFCA RIGHT OF WAY SHALL BE ALLOWED TO DRAIN ONTO THE SITE UNIMPEDED. SITE GRANTED FREE DISCHARGE PER D16D002
6. AN EXCAVATION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT OF WAY.
7. PARKING AREA SHALL BE MIXTURE OF ASPHALT MILLINGS AND GRAVEL. PARKING LOT SHALL NOT BE PAVED.

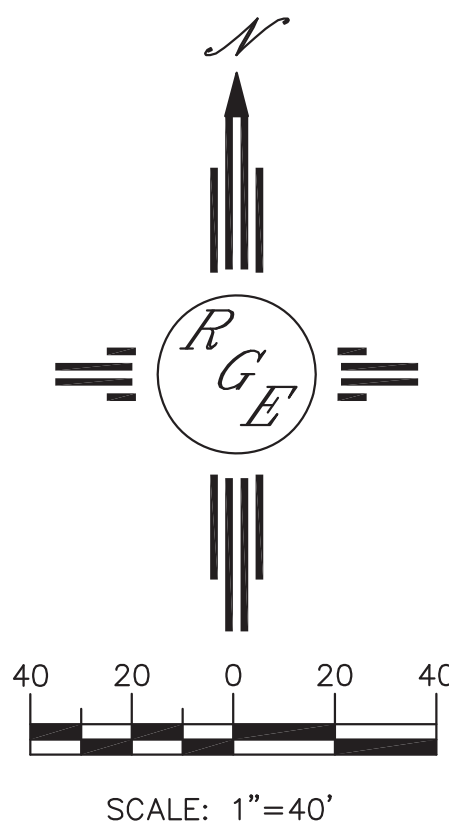
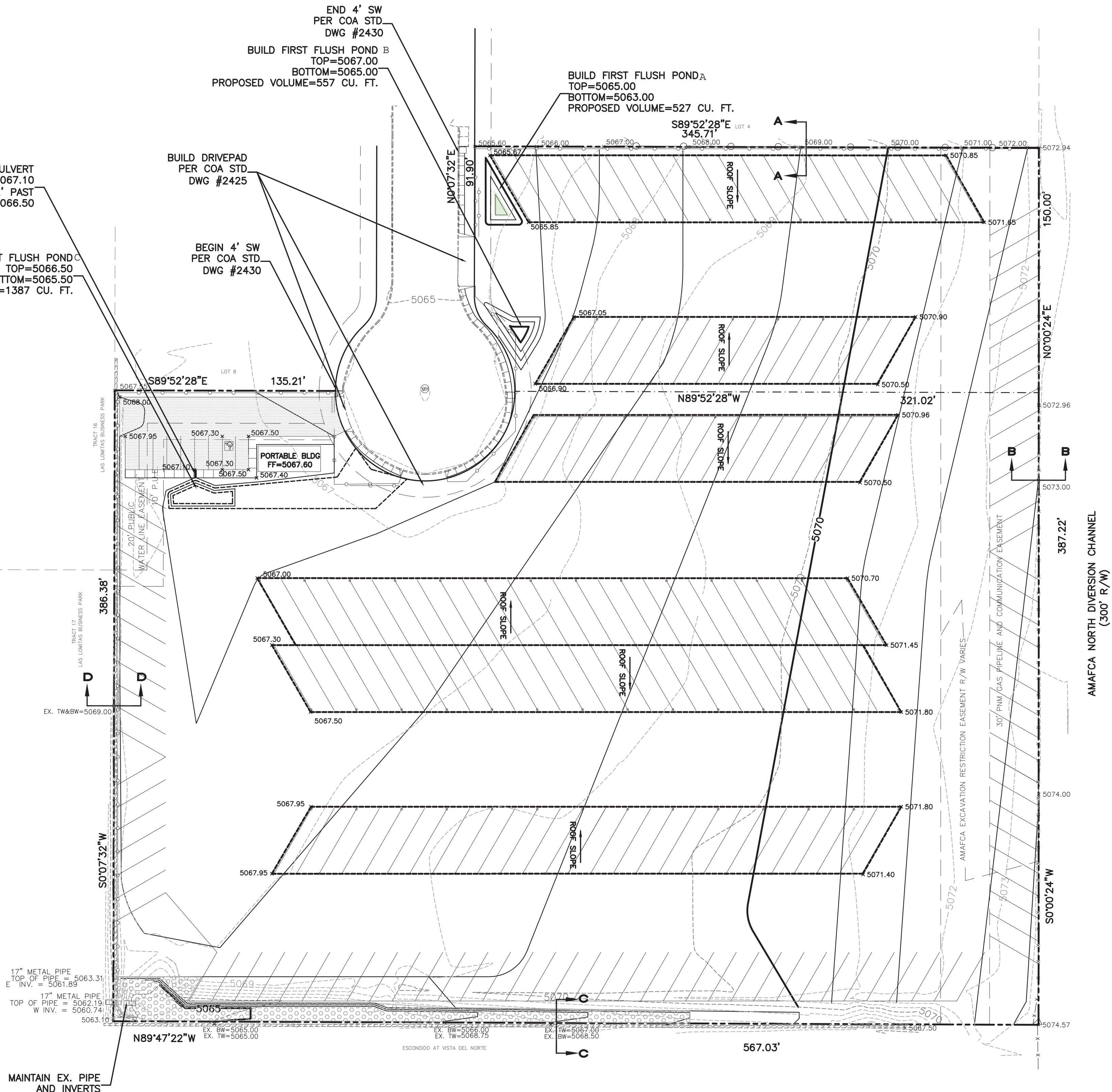
LEGEND

---	EXISTING CONTOUR
- - - -	EXISTING INDEX CONTOUR
---	PROPOSED CONTOUR
- - - -	PROPOSED INDEX CONTOUR
•	EXISTING SPOT ELEVATION
•	PROPOSED SPOT ELEVATION
---	BOUNDARY
---	CENTERLINE
---	RIGHT-OF-WAY
---	EASEMENT
---	EXISTING CURB AND GUTTER
---	PROPOSED CONCRETE SIDEWALK
---	PARKING CANOPY
---	PARKING STRIPE
---	ROCK PLATING 1:1 SLOPE MAX
---	PROPOSED ASPHALT PAVING



ROCK PLATING DETAIL
NTS

CAUTION:
EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS. SHOULD ANY CONFLICTS EXIST THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY. TWO WORKING DAYS PRIOR TO ANY EXCAVATION THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL "811" OR 505.260.1990



<div>ENGINEER'S SEAL</div> <div>DAVID SOULE NEW MEXICO 14522 REGISTERED PROFESSIONAL ENGINEER</div> <div>11/21/17</div> <div>DAVID SOULE P.E. #14522</div>	PICASSO RV	DRAWN BY WCUJ
	GRADING AND DRAINAGE PLAN	DATE 11-21-17
	<div><div>Rio Grande Engineering 1606 CENTRAL AVENUE SE SUITE 201 ALBUQUERQUE, NM 87106 (505) 872-0998</div></div>	21817-LAYOUT-10-30-17
		SHEET #
		JOB # 21817

RV PARKING

7800 & 7850 JACS LANE, NE
ALBUQUERQUE, NEW MEXICO 87113
BERNALILLO COUNTY

CODE REVIEW

Site - 7800 JACS LANE NE		Site - 7850 JACS LANE NE	
LEGAL DESCRIPTION:	7800 JACS LANE NE LOT 6A BLUE SKY BUSINESS PARK ALBUQUERQUE 87113 BERNALILLO COUNTY NEW MEXICO	LEGAL DESCRIPTION:	7800 JACS LANE NE LOT 6A BLUE SKY BUSINESS PARK ALBUQUERQUE 87113 BERNALILLO COUNTY NEW MEXICO
ZONING CLASSIFICATION:	M-2	ZONING CLASSIFICATION:	M-2
UPC#	101606344237010226	UPC#	101606346539910228
ZONING MAP:	D16	ZONING MAP:	D16
SEISMIC ZONE:	D	SEISMIC ZONE:	D
LOT AREA:	214,673 S.F. (4.9224 AC)	LOT AREA:	50,988 S.F. (1.17 AC)
LANDSCAPE AREA:	29,090 (13.6%)	LANDSCAPE AREA:	8,004 S.F. (15.7%)

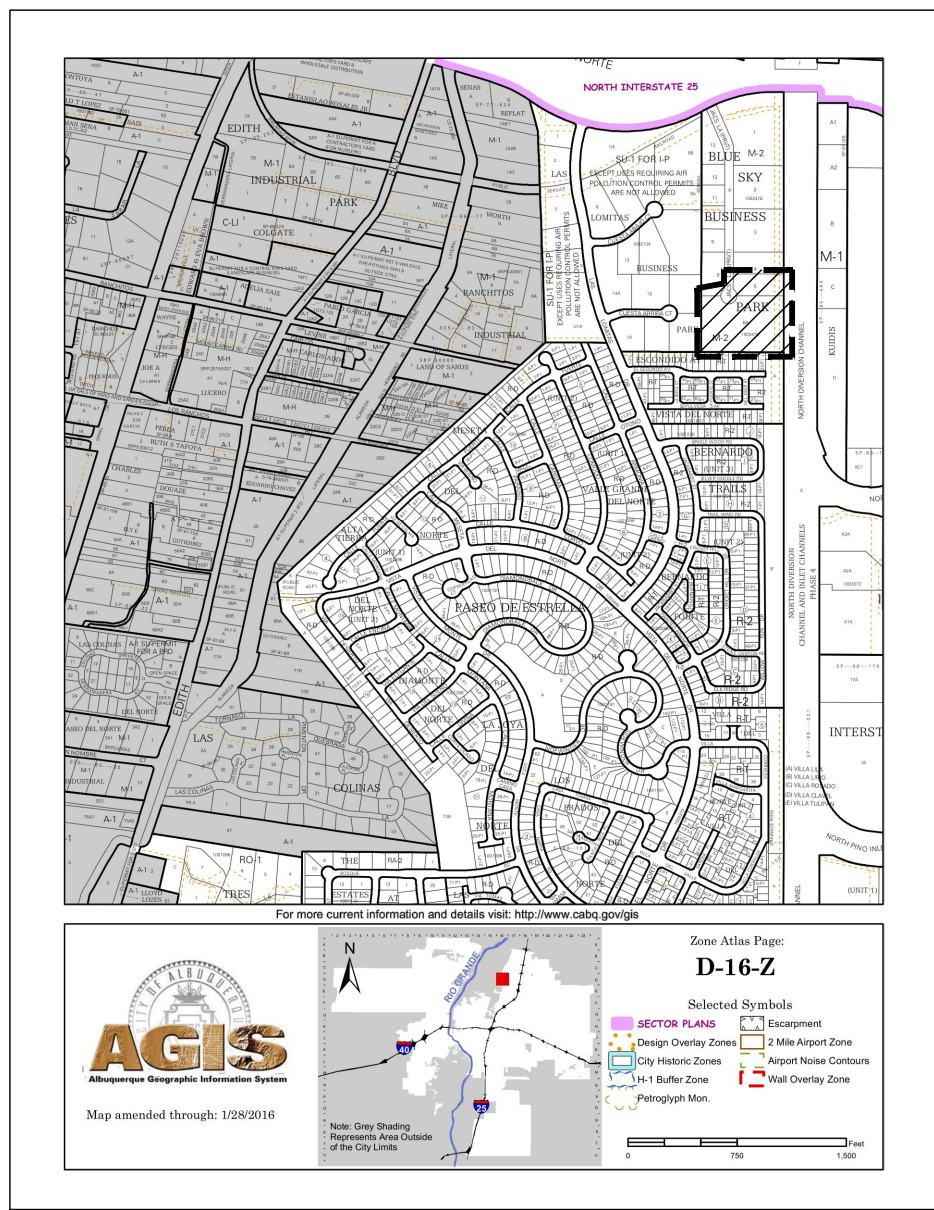
01 GENERAL REQUIREMENTS

- ALL CONSTRUCTION SHALL COMPLY WITH CURRENT ADOPTED VERSIONS OF THE FOLLOWING CODES:
2015 INTERNATIONAL BUILDING CODE
2012 UNIFORM MECHANICAL CODE
2012 UNIFORM PLUMBING CODE
2014 NATIONAL ELECTRICAL CODE
2009 INTERNATIONAL ENERGY CODE
2009 INTERNATIONAL FIRE CODE
- ALL PRODUCTS LISTED BY ICBO / N.E.R. NUMBERS SHALL BE INSTALLED PER THE REPORT AND MANUFACTURERS WRITTEN INSTRUCTIONS. PRODUCT SUBSTITUTIONS SHALL HAVE ICBO APPROVED REPORT OR BE APPROVED BY U.L. OR OTHER RECOGNIZED NATIONAL TESTING LABORATORY.
- CONTRACTOR RESPONSIBLE FOR NOTES ON THIS SHEETS AS WELL AS ALL SHEETS.
- IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR, SUBCONTRACTORS, AND SUPPLIERS TO NOTIFY THE ARCHITECT OF ANY DISCREPANCIES AND / OMISSIONS IN THE CONSTRUCTION DOCUMENTS DURING THE BIDDING PROCESS TO ALLOW THE ARCHITECT TO PROVIDE ADDENDUM FOR THOSE ITEMS. ANY ITEMS CLAIMED TO BE OMISSIONS / DISCREPANCIES AFTER THE BID WILL BE THE RESPONSIBILITY OF THE SUBCONTRACTOR AND / OR SUPPLIER FOR THOSE ITEMS. SUBSTITUTIONS ARE ALLOWED AT THE APPROVAL OF THE ARCHITECT / OWNER.
- REFERENCE OTHER 8 1/2 X 11 SHEETS THAT MAY OR MAY NOT BE ATTACHED TO THIS SET OF DRAWINGS; THESE SHEETS ARE ADDITIONAL SPECIFICATIONS AND ARE PART OF THE CONSTRUCTION DOCUMENTS AND THE RESPONSIBILITY OF THE GC TO APPLY TO THE PROJECT.
- SEISMIC ZONE FOR THIS PROJECT IS "D".

BUILDING SCOPE

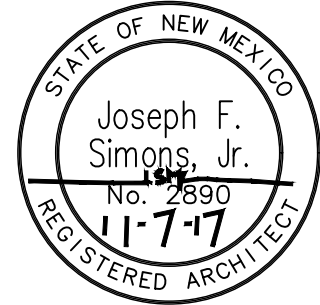
THIS IS A OUTDOOR RV STORAGE
THERE ARE NO BUILDINGS IN THIS PERMIT

VICINITY MAP



INDEX OF DRAWINGS

A0	COVER
C1	GRADING AND DRAINAGE
FIRE 1	FIRE SITE PLAN
A1.1	SITE PLAN / TCL NOTE PLAN
A1.2	SITE PLAN / TCL DIMENSION PLAN
U1.1	UTILITY SITE PLAN



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albq, n.m., 87193-7408
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joe@simonsarchitecture.com



RV STORAGE
7800 & 7850 JACS LANE NE
ALBUQUERQUE, NM 87113
BERNALILLO COUNTY

JOB NUMBER
VER-002
DATE
11.7.17

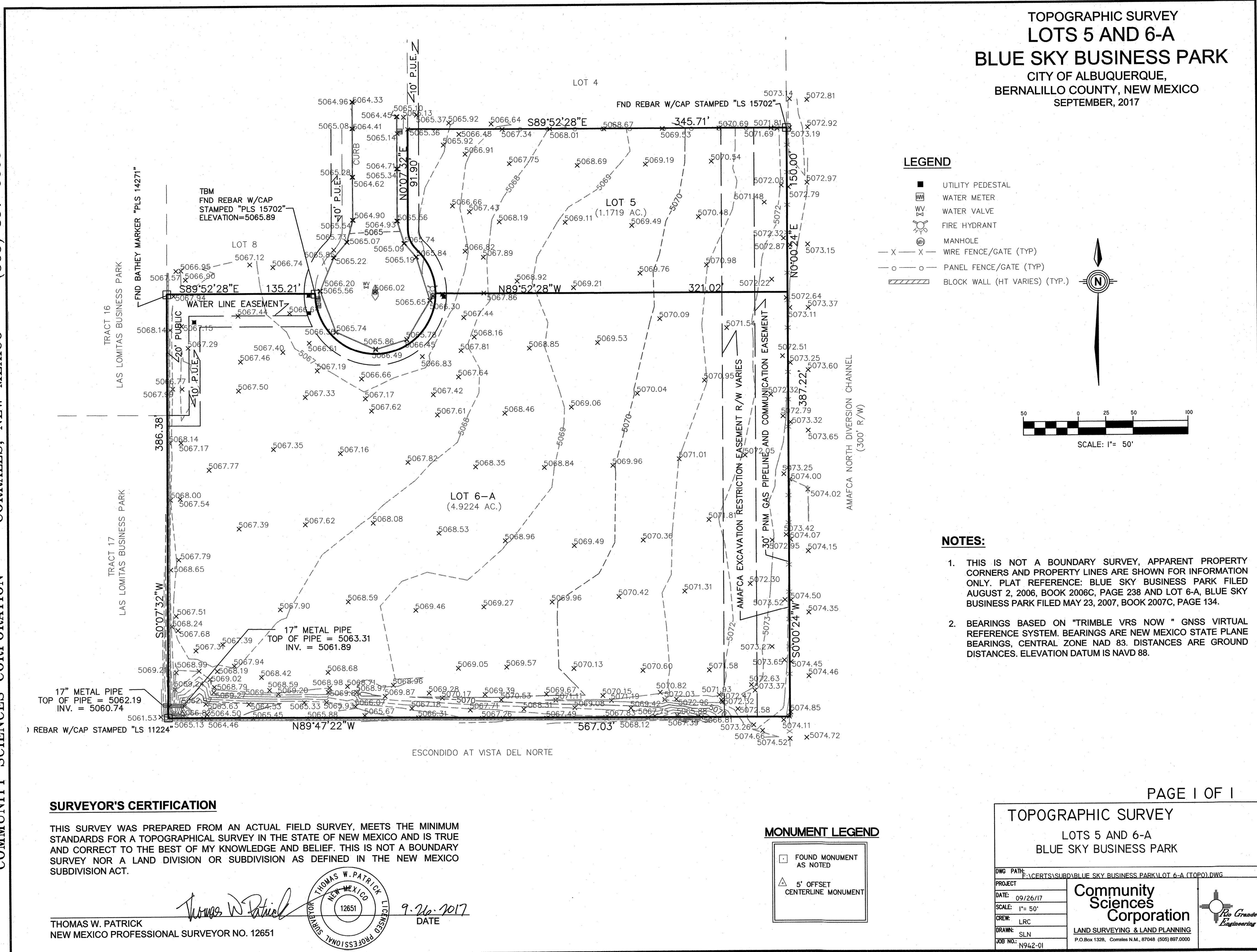
REVISIONS

DESIGNED & DRAWN BY
JFS

A0 COVER SHEET

A0

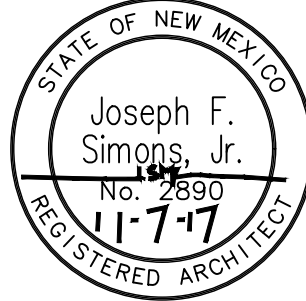
COMMUNITY SCIENCES CORPORATION - CORRALES, NEW MEXICO - (505) 897-0000



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7800 & 7850 JACS LANE NE
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SIMONS ARCHITECTURE

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THIS SURVEY WAS PREPARED FROM AN ACTUAL FIELD SURVEY, MEETS THE MINIMUM STANDARDS FOR A TOPOGRAPHICAL SURVEY IN THE STATE OF NEW MEXICO AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS IS NOT A BOUNDARY SURVEY NOR A LAND DIVISION OR SUBDIVISION AS DEFINED IN THE NEW MEXICO SUBDIVISION ACT.

EROSION CONTROL NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.



LEGAL DESCRIPTION:


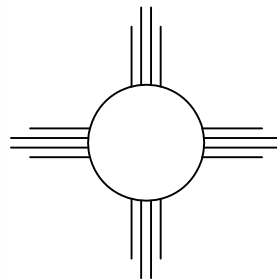
LOT 5 AND 6-A, LAS LOMITAS BUSINESS PARK

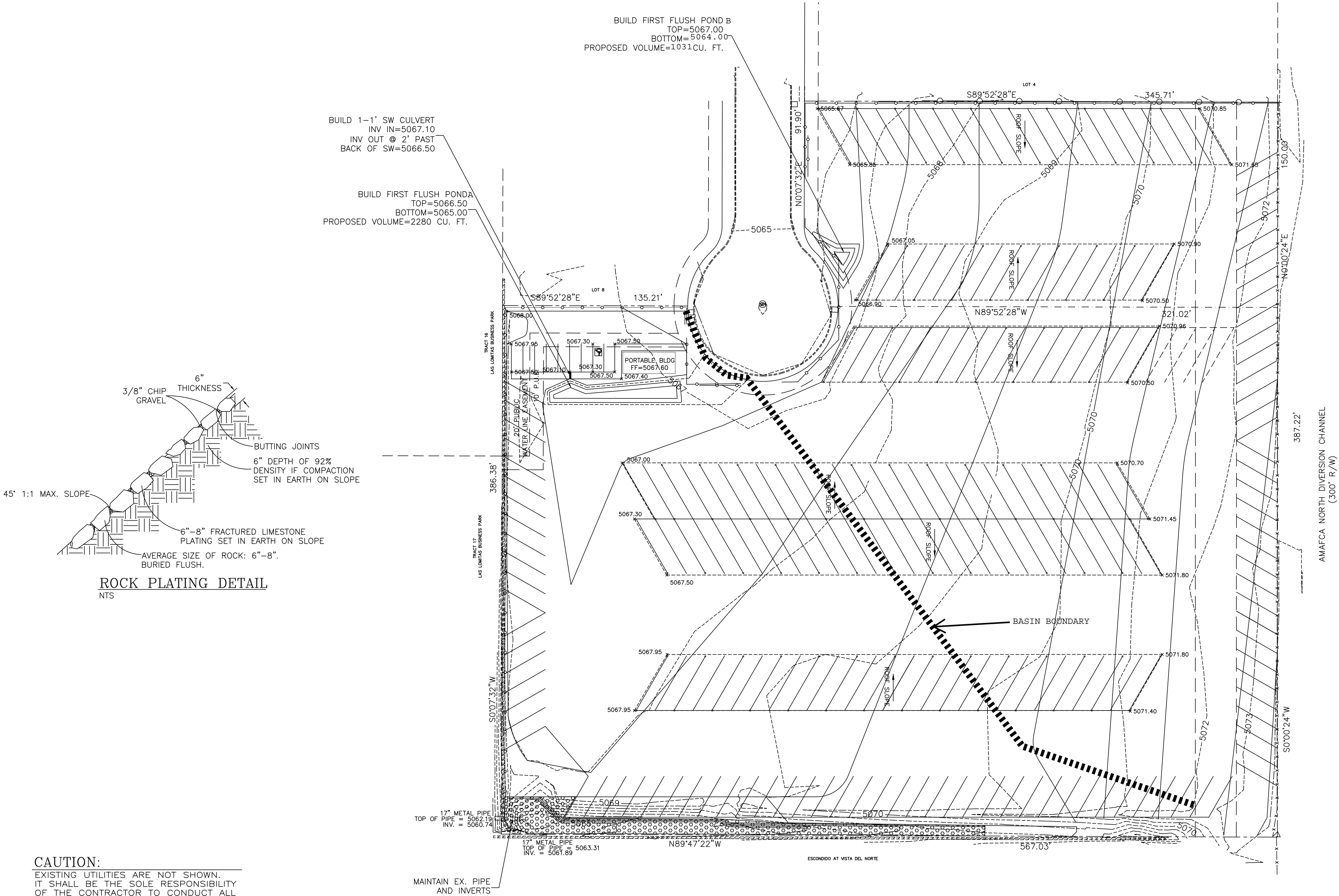
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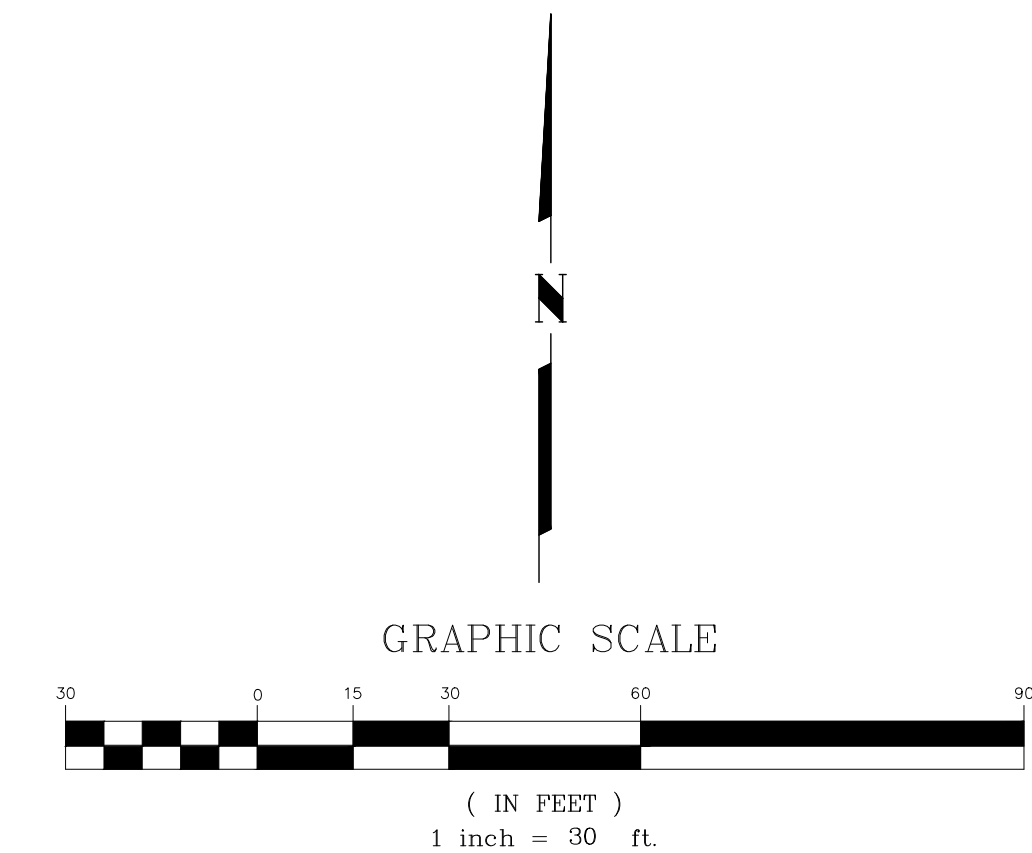
1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
2. ALL SLOPES SHALL BE 3:1 MAX. (UNLESS NOTED) AND GRAVEL OR NATIVE SEEDING PRIOR TO CO.
3. ANY PERIMETER WALLS MUST BE PERMITTED SEPARATELY. ALL RETAINING WALL DESIGN SHALL BE BY OTHERS.
4. SURVEY INFORMATION PROVIDED BY COMMUNITY SCIENCES CORPORATION USING NAVD DATUM 1988.

LEGEND

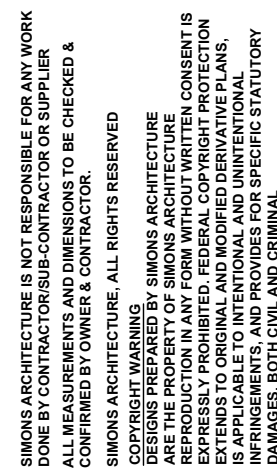
- XXXX----- EXISTING CONTOUR
- XXXX----- EXISTING INDEX CONTOUR
- XXXX----- PROPOSED CONTOUR
- XXXX----- PROPOSED INDEX CONTOUR
- ▲ SLOPE TIE
- XXXX EXISTING SPOT ELEVATION
- XXXX PROPOSED SPOT ELEVATION
- BOUNDARY
- CENTERLINE
- RIGHT-OF-WAY
- ===== EXISTING CURB AND GUTTER
- ===== ROCK PLATTING 1:1 SLOPE MAX

<div>ENGINEER'S SEAL</div> <div></div> <div>10/31/17</div> <div>DAVID SOULE P.E. #14522</div>	PICASSO RV	DRAWN BY WCVJ
	GRADING AND DRAINAGE PLAN	DATE 10-30-17
	 <div>Rio Grande Engineering 1606 CENTRAL AVENUE SE SUITE 201 ALBUQUERQUE, NM 87106 (505) 872-5999</div>	21817-LAYOUT-10-30-17
		SHEET # —
		JOB # 21817





A
A1.1



**SIMONS
ARCHITECTURE**

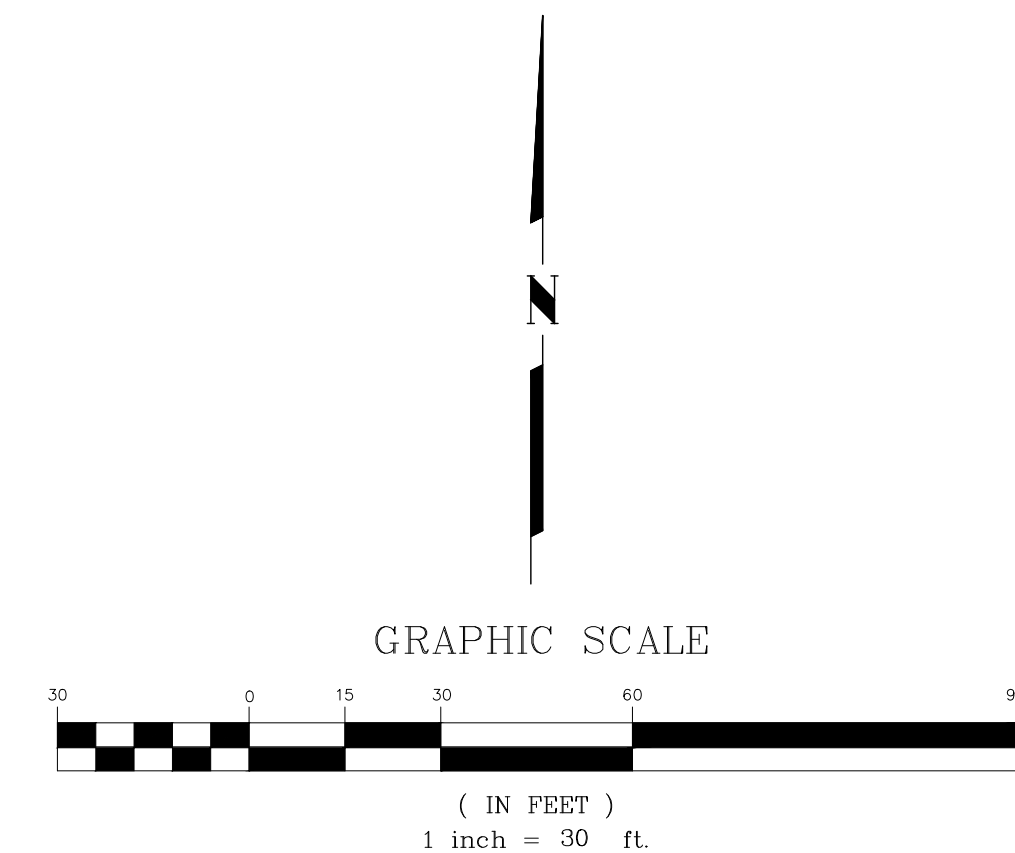
JOB NUMBER
VER-002

DATE
11.7.17

REVISIONS

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A1.1 TCL



RV STORAGE
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BERANILLO COUNTY

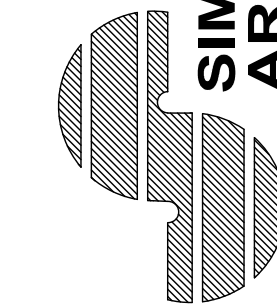
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REVISIONS

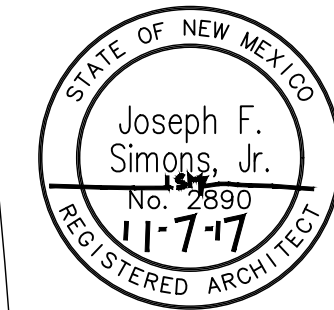
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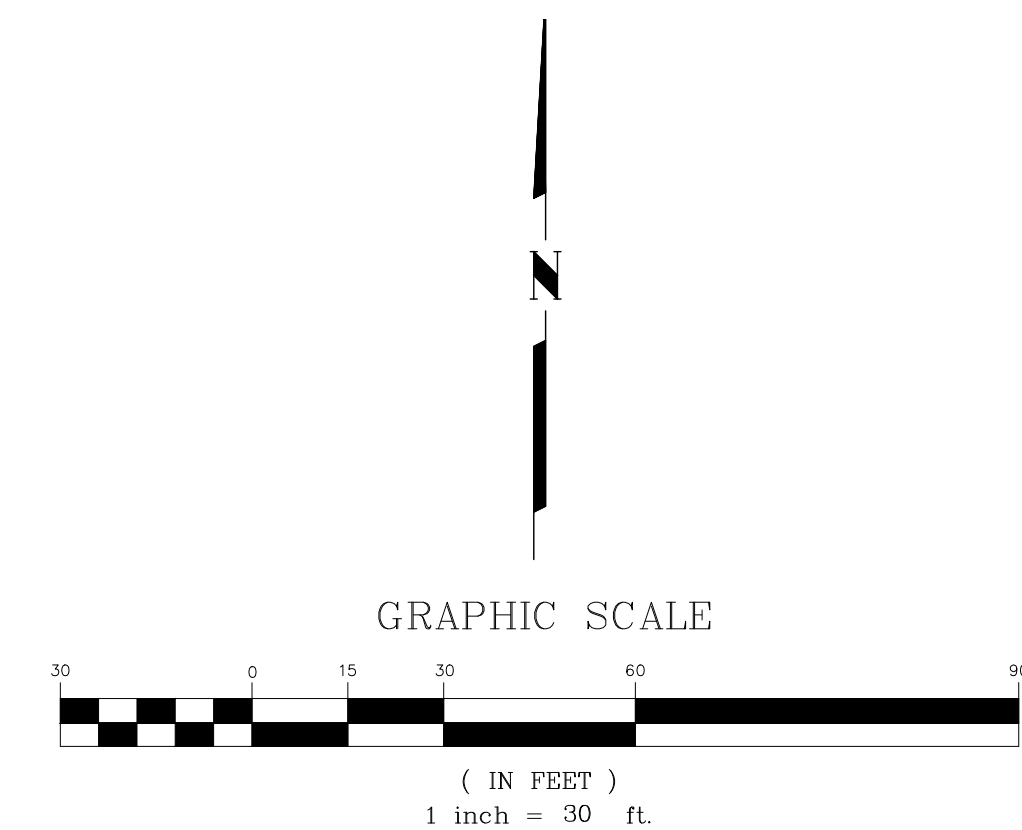
FIRE 1



j 11

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A
U1.1