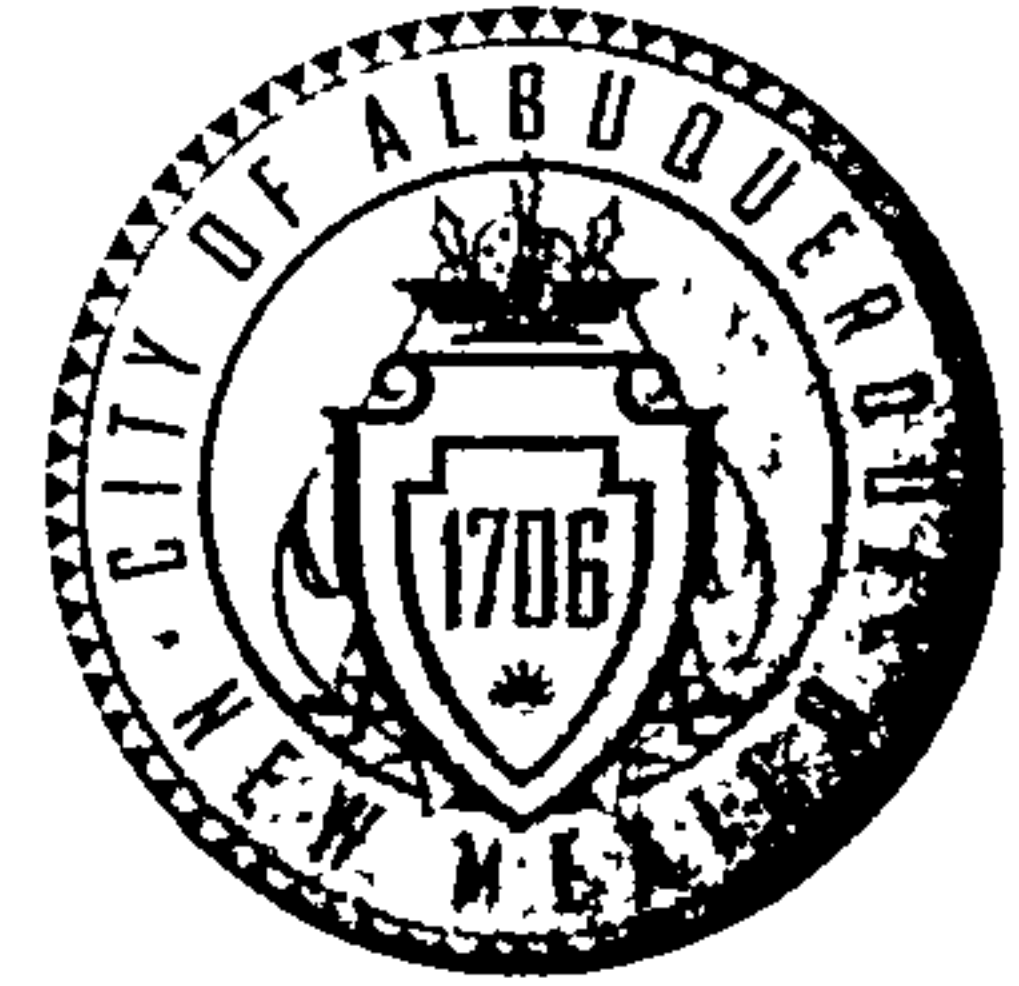


# CITY OF ALBUQUERQUE



March 4, 2009

James Benjamin Clark III, R.A.  
Masterworks Architects, Inc.  
516 11th St. NW  
Albuquerque, NM 87102

**Re: Altusa LLC, 1311 Cuesta Abajo Court NE,  
Certificate of Occupancy – Transportation Development  
Architect's Stamp dated 4-19-07 (D16-D002C)  
Certification dated 03-03-09**

Dear Mr. Clark,

PO Box 1293

Based upon the information provided in your submittal received 2-27-09, the above referenced certification is approved for release of permanent Certificate of Occupancy by Transportation Development.

Albuquerque

If you have any questions, you can contact me at 924-3991.

NM 87103

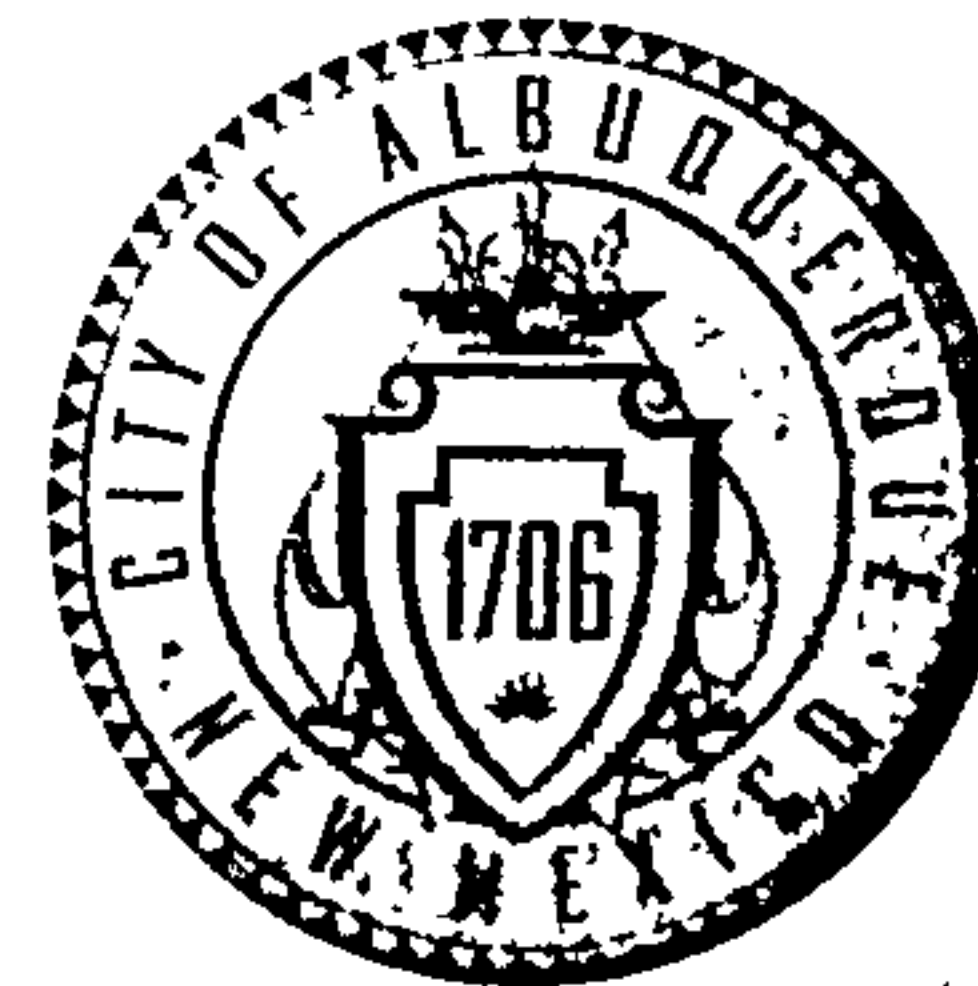
Sincerely,

Kristal D. Metro, P.E.  
Traffic Engineer, Planning Dept.  
Development and Building Services

[www.cabq.gov](http://www.cabq.gov)

C: CO Clerk  
File

# CITY OF ALBUQUERQUE



March 2, 2009

John M. MacKenzie, P.E.  
**Mark Goodwin & Associates, P.A.**  
P.O. Box 90606  
Albuquerque, NM 87199

**Re: ALTUSA-- Tract 7 Los Lomitas, 1311 Cuesta Abajo Ct. NE,  
(D-16/D002C)**

**Approval of Permanent Certificate of Occupancy,**

**Engineer's Stamp Dated: 09-06-07**

**Engineer's Certification Date: 02-13-09**

Dear Mr. MacKenzie,

Based upon the information provided by our visual inspection on 2/27/09, the above referenced certification is approved for release of Permanent Certificate of Occupancy by Hydrology.

If you have any questions, you can contact me at 924-3982.

Sincerely,

Timothy E. Sims  
Plan Checker-Hydrology, Planning Dept  
Development and Building Services

C: CO Clerk—Katrina Sigala  
file

# CITY OF ALBUQUERQUE



February 18, 2009

John M. MacKenzie, P.E.  
**Mark Goodwin & Associates, P.A.**  
P.O. Box 90606  
Albuquerque, NM 87199

**Re: Tract 7 Los Lomitas,  
Permanent Certificate of Occupancy - Not Approved  
Engineer's Stamp dated 9/06/07 (D-16/D002C)  
Certification dated: 2-13-09**

Based upon the information provided in the Certification received 2-17-09, the above referenced Certification is not approved for Permanent Certificate of Occupancy.

Before submitting for Permanent C.O.:

PO Box 1293

- A recorded drainage and cross lot access agreement will need to be provided.
- Include the address on the site.

Albuquerque

If you have any questions, you can contact me at 924-3982.

Sincerely,

NM 87103

Timothy E. Sims  
Plan Checker—Hydrology  
Development and Building Services

[www.cabq.gov](http://www.cabq.gov)

# DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: Tract 7 Los Lomas

DRB #: \_\_\_\_\_

EPC#: \_\_\_\_\_

ZONE MAP/DRG. FILE #: D-16/D2C

WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: Tract 7 Plat for Las Lomas Business park

CITY ADDRESS: Central Ave S.W 1311 CUESTA ABATO CT.

ENGINEERING FIRM: Mark Goodwin & Associates, PA

ADDRESS: PO Box 90606

CITY, STATE: Albuquerque, NM

CONTACT: John MacKenzie

PHONE: 828-2200

ZIP CODE: 87199

OWNER: Sadler Construction

ADDRESS: 720 1st Street NW

CITY, STATE: Albuquerque, NM

CONTACT: Mr. Scott Sadler

PHONE: 856-7939

ZIP CODE: 87107

ARCHITECT: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_

PHONE: \_\_\_\_\_

ZIP CODE: \_\_\_\_\_

SURVEYOR: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_

PHONE: \_\_\_\_\_

ZIP CODE: \_\_\_\_\_

CONTRACTOR: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_

PHONE: \_\_\_\_\_

ZIP CODE: \_\_\_\_\_

## CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL, **REQUIRES TCL or equal**
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☒ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

## CHECK TYPE OF APPROVAL SOUGHT:

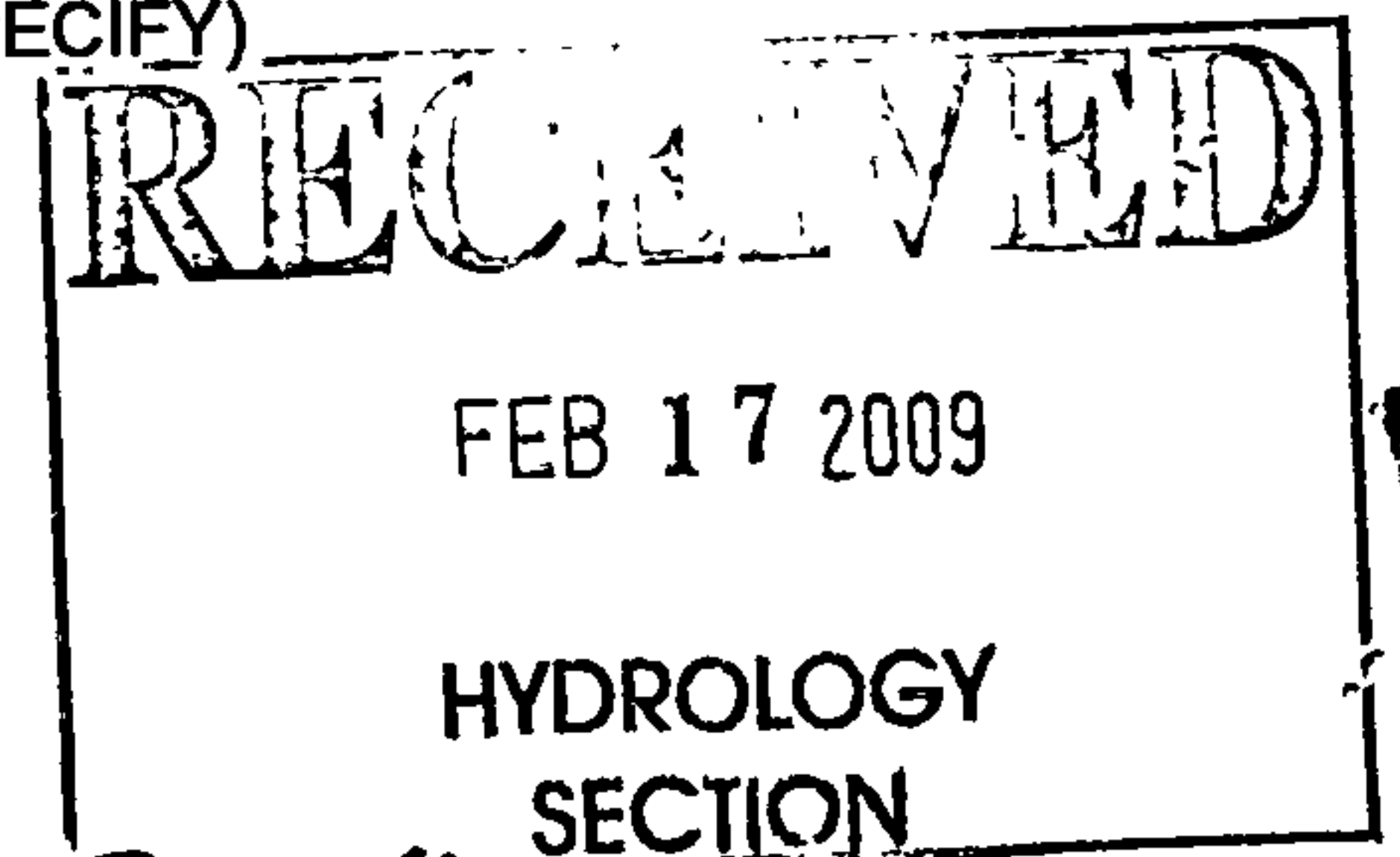
- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

## WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☒ NO
- ☐ COPY PROVIDED

DATE SUBMITTED: February 12 2009

BY: John MacKenzie



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.

2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five

(5)

acres.



# CITY OF ALBUQUERQUE



September 11, 2007

James Benjamin Clark III, R.A.  
Masterworks Architects, Inc.  
4200 Wyoming Blvd. NE  
Albuquerque, NM 87111

Re: Altusa LLC, 1311 Cuesta Abajo Ct NE, Traffic Circulation Layout  
Architect's Stamp dated 4-19-07 (D16-D002C)

Dear Mr. Clark,

The TCL submittal received 9-11-07 is approved for Building Permit. The plan is stamped and signed as approved. A copy of this plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation. **Public infrastructure or work done within City Right-of-Way shown on these plans is for information only and is not part of approval. A separate DRC and/or other appropriate permits are required to construct these items.**

**Prior to Certificate of Occupancy approval, a recorded copy of your shared access agreement with the adjacent property owner must be submitted for our files.**

If a temporary CO is needed, a copy of the original TCL that was stamped as approved by the City will be needed. This plan must include a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance," as well as the signed and dated stamp of a NM registered architect or engineer. Submit this TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

A handwritten signature in black ink, appearing to read "Kristal D. Metro", with a long horizontal line extending to the right.

Kristal D. Metro, P.E.  
Senior Engineer, Planning Dept.  
Development and Building Services

C: File

# CITY OF ALBUQUERQUE



September 10, 2007

James Benjamin Clark III, R.A.  
Masterworks Architects, Inc.  
4200 Wyoming Blvd. NE  
Albuquerque, NM 87111

**Re: Altusa LLC, 1311 Cuesta Abajo Ct NE, Traffic Circulation Layout  
Architect's Stamp dated 4-19-07 (D16-D002C)**

Dear Mr. Clark,

Based upon the information provided in your submittal received 9-05-07, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. List the number of parking spaces required by the zoning code as well as the proposed number of parking spaces.
2. Your plan indicates that you will be building new sidewalk and wheelchair ramps along the entirety of Cuesta Abajo Court as well as a portion of Las Lomas Drive. I believe the majority of this area has already had sidewalk and ramps built under a recent work order. Please amend your plan to clearly differentiate between proposed and existing items.
3. The angled parking spaces shown east of Building I seem to be at a 45-degree angle. As such, they should be 20.1 feet in length. If a 2-foot overhang is allowed, the spaces must be 18.7 feet in length. - *Removed*
- ~~4.~~ What is the distance between the angled parking spaces and the refuse bin? - *Refuse apprv.*
5. Detail 6 calls out a 1:48 max cross slope. This cross slope must be 1:50, or you can remove this detail and refer to City Standard 2426.
6. Please include a copy of your shared access agreement with the adjacent property owner. A copy of this easement must be on file prior to building permit approval.

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

9/11/07

If you have any questions, you can contact me at 924-3981.

Per RD, make this  
a condition of CO

Sincerely,

A handwritten signature in black ink, appearing to read "Kristal D. Metro".

Kristal D. Metro, P.E.  
Senior Engineer, Planning Dept.  
Development and Building Services

C: File

# CITY OF ALBUQUERQUE



September 11, 2007

John M. Mackenzie, P.E.  
Mark Goodwin & Associates, P.A.  
PO Box 90606  
Albuquerque, NM 87199

Re: Tract 7 of the Las Lomas Industrial Park  
Engineer's Stamp dated 9-6-07 (D16/D2C)

Dear Mr. Mackenzie,

Upon review of the information provided in your submittal received on September 7, 2007, the above referenced plan is approved for Grading, Paving, and Building Permits. Please attach a copy of this letter and the approved plan to the construction sets to obtain sign-off by Hydrology.

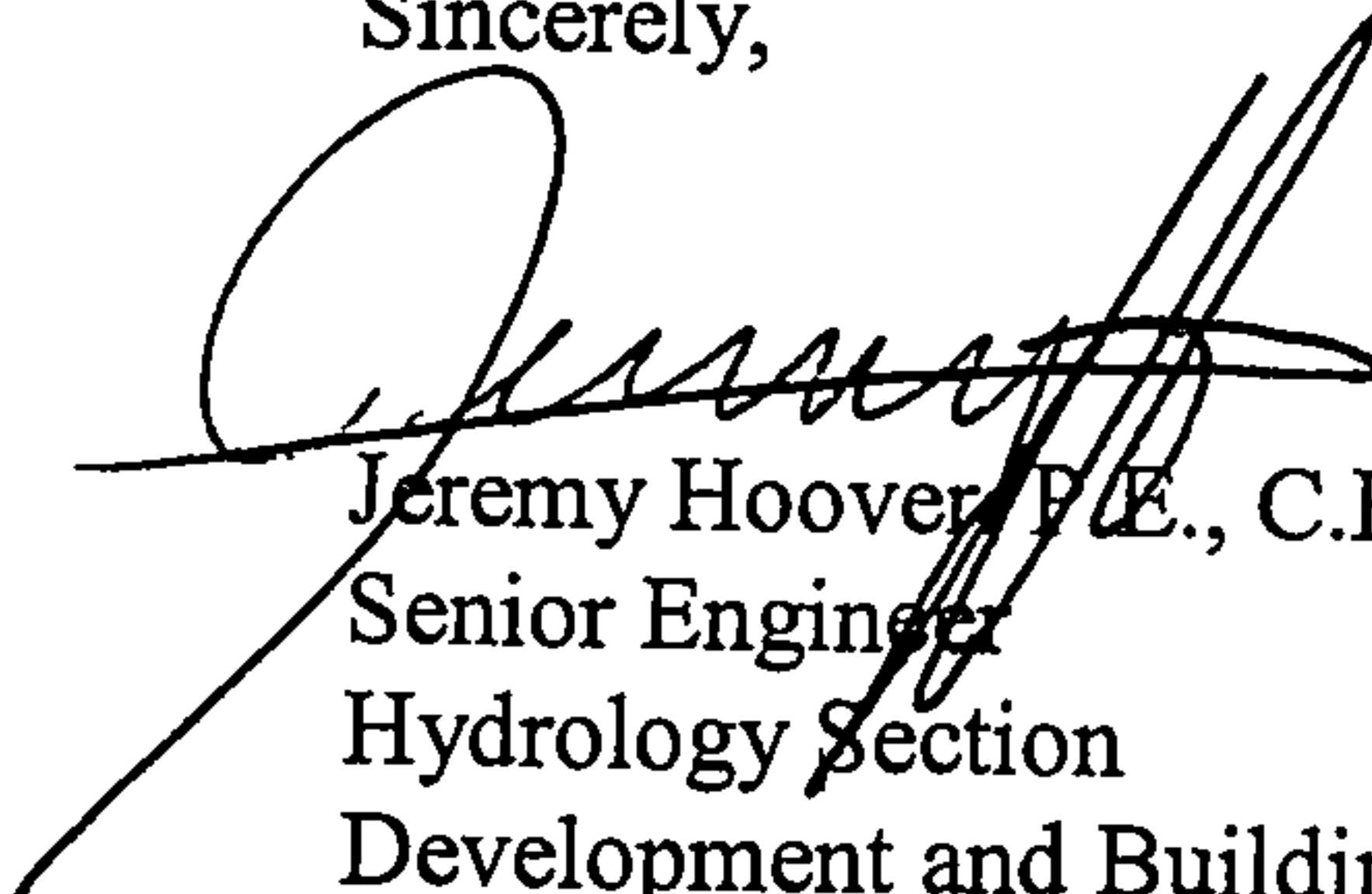
Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist **as well as completion of the public work order for the Cuesta Abajo improvements and modifications** will be required.

This project will also require a National Pollutant Discharge Elimination System (NPDES) permit. Inquiries regarding this permit should be directed to Sertil Kandar at 768-3645. In addition to submitting an NOI to the EPA and preparing a SWPPP, please send a copy of the SWPPP on a CD in .pdf format to Kathy Verhage with the Department of Municipal Development Storm Drainage Division at the following address.

Department of Municipal Development  
Storm Drainage Division  
P.O. Box 1293, One Civic Plaza, Rm. 301  
Attn: Kathy Verhage  
Albuquerque, NM 87103

If you have any questions, you can contact me at 924-3990.

Sincerely,



Jeremy Hoover, P.E., C.F.M.  
Senior Engineer  
Hydrology Section  
Development and Building Services

cc: file D16/D2C



# CITY OF ALBUQUERQUE



August 28, 2007

John M. Mackenzie, P.E.  
Mark Goodwin & Associates, P.A.  
PO Box 90606  
Albuquerque, NM 87199

Re: Tract of the Las Lomas Industrial Park  
Engineer's Stamp dated 8-16-07 (D16/D2C)

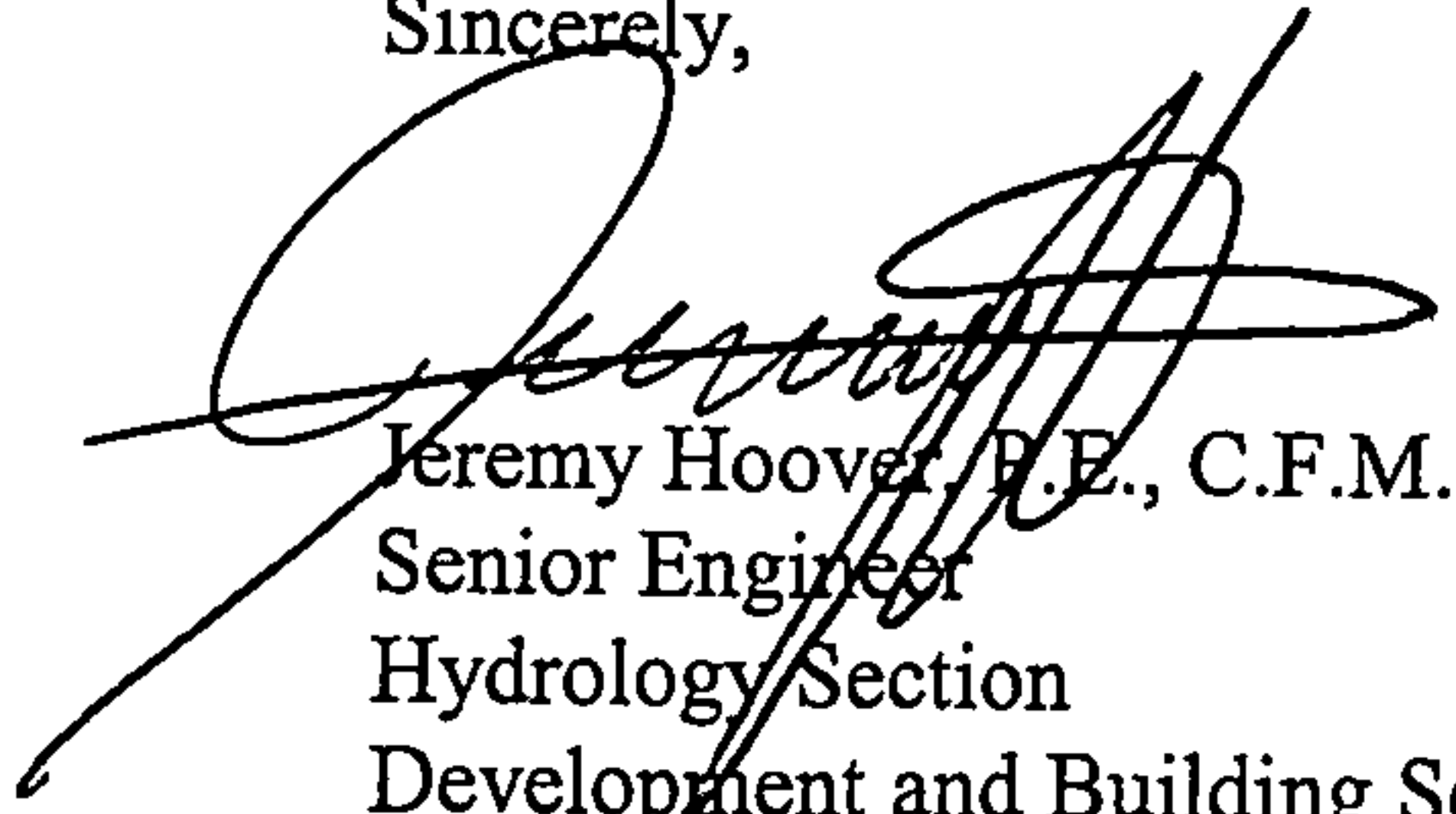
Dear Mr. Mackenzie,

Upon review of the information provided in your submittal received on August 16, 2007, there are additional items that must be included prior to permit approval. Those items are as follows.

- ✓ • Please provide a signed and stamped copy of the calculations described in your narrative.
- ✓ • Values taken from the NOAA atlas, until formally adopted and incorporated into the DPM, will not be accepted by this office. The precipitation amounts described in table A-2 of the DPM chapter 22 must be used.
- ✓ • Show the existing inlets on both sides of as well as the manholes in Cuesta Abajo Court.
- ✓ • Give the quarter point elevations for the new drive entrances.
- ✓ • The modifications to the Cuesta Abajo Court storm drain system must be performed under City Work Order. Is the intention to change-order these infrastructure revisions into the Las Lomas Industrial Park project (CPN 6665.83)? It is my understanding that closeout of that work order is pending as of the date of this letter.
- ✓ • Remove the information pertaining to an SO-19 permit, as that procedure will not be applicable for the proposed development.
- ✓ • The plan drawings for Las Lomas Industrial Park project indicate that the inlets at the lot 6 / 7 boundary consist of a double 'A' and a double 'C.'
- ✓ • Your plan shows two (2) existing storm drain inlets to be removed and replaced with one (1) relocated double 'A' inlet. Will there be sufficient capacity with your revisions? Please provide excerpts from the original report to indicate the design flow in Cuesta Abajo Court.
- ✓ • Where is the low point on the north side of Cuesta Abajo Court? Will the relocation / abandonment of the inlets result in a standing water condition?

If you have any questions, you can contact me at 924-3990.

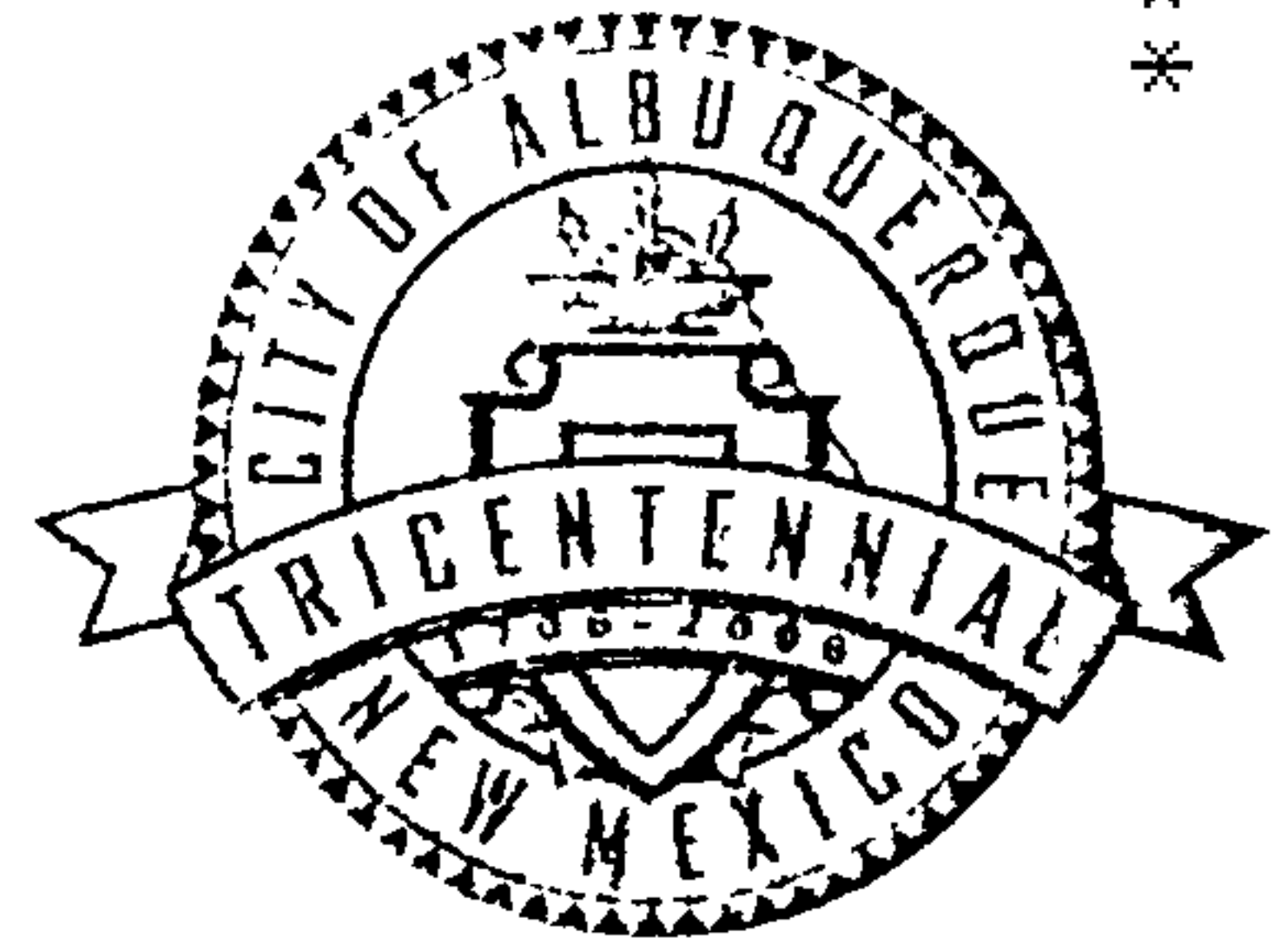
Sincerely,

  
Jeremy Hoover, P.E., C.F.M.  
Senior Engineer  
Hydrology Section  
Development and Building Services

cc: file D16/D2C



# CITY OF ALBUQUERQUE



March 1, 2007

Pavan K. Toleti,  
Mark Goodwin & Associates, PA  
PO Box 90606  
Albuquerque, NM 87199

**Re: Los Lomas Industrial Park, Central Ave SW**  
**Grading and Drainage Plan**  
**Engineer's Stamp dated x-xx-xx (D16-D014)**

Dear Mr. Toleti,

Based upon the information provided in your submittal received 2-16-07, the above referenced plan cannot be approved for Site Development Plan for Building Permit, Building Permit and Grading Permit until the following comments are addressed:

P.O.Box 1293

Albuquerque

New Mexico 87103

1. The plans need to be stamped, dated and signed by a professional Engineer in the state of New Mexico.
2. The AHYMO calculations need to be bound, sealed and signed according to the DPM procedures manual.

If you have any questions, you can contact me at 924-3977.

[www.cabq.gov](http://www.cabq.gov)

Sincerely,

Rudy E. Rael  
Associate Engineer, Planning Dept.  
Development and Building Services

C: file

# CITY OF ALBUQUERQUE



August 30, 2007

James Benjamin Clark III, R.A.  
Masterworks Architects, Inc.  
4200 Wyoming Blvd. NE  
Albuquerque, NM 87111

**Re: Altusa LLC, 1311 Cuesta Abajo Ct NE, Traffic Circulation Layout  
Architect's Stamp dated 4-19-07 (D16-D002C)**

Dear Mr. Clark,

Based upon the information provided in your submittal received 8-23-07, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Provide build notes for all proposed driveways, referring to the appropriate City Standard by standard number.
2. The necessary information for a Traffic Circulation Layout should be placed on one plan if possible. Therefore, parking calculations, dimensions, vicinity map, build notes, and details should all be included on one sheet, to be referred to as the Traffic Circulation Layout.
3. List radii for all curves shown.
4. Please list the width and length for all parking spaces.
5. Is there existing sidewalk along Cuesta Abajo Court NE? If not, sidewalk must be built with this project.
6. The note located in the upper left corner of sheet A2 lists, "Confirmation from Hydrology, supporting this requirement, will be needed prior to approval of TCL by Transportation." What does this note mean? I know of no requirement to this effect.
7. Please refer to all applicable city standards.
8. Show details for all wheelchair ramps.
9. Please include a copy of your shared access agreement with the adjacent property owner.
10. All wheelchair ramps located within the public right of way must have truncated domes.
11. Parking spaces cannot cross over the lot lines.
12. Call out all aisle widths.
13. A 'Do Not Enter' sign must be provided where the traffic circulation is restricted to one direction.

If you have any questions, you can contact me at 924-3981.

Sincerely,

Kristal D. Metro, P.E.  
Senior Engineer, Planning Dept.  
Development and Building Services

C: File



\*  
\*  
\*  
\*  
\*

**DRAINAGE AND TRANSPORTATION INFORMATION SHEET**  
(Rev. 12/05)

PROJECT TITLE: Altusa LLC ZONE MAP/DRG. FILE # D-116  
DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: TRACT 7 Las Comitas ~~Blk~~ BUSINESS PARK  
CITY ADDRESS: 1311 CUESTA ABAJO CT

ENGINEERING FIRM: Gordon & Associates  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: John Mackinsy  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

OWNER: Altusa LLC  
ADDRESS: 8 Calle Cacho  
CITY, STATE: Placitas NM

CONTACT: Paul Tucker  
PHONE: 867 8776  
ZIP CODE: \_\_\_\_\_

ARCHITECT: Masterworks  
ADDRESS: 4200 Wyoming  
CITY, STATE: Albq NM

CONTACT: \_\_\_\_\_  
PHONE: 242 1866  
ZIP CODE: 87111

SURVEYOR: Surveys Sur  
ADDRESS: Comas  
CITY, STATE: Albq NM

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: 87102

CONTRACTOR: SADLER Construction  
ADDRESS: 720 1st St  
CITY, STATE: Albq NM

CONTACT: SIOT SADLER  
PHONE: 505 321 6352  
ZIP CODE: 87102

**TYPE OF SUBMITTAL:**

- ☐ DRAINAGE REPORT  
☐ DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL  
☐ DRAINAGE PLAN RESUBMITTAL  
☐ CONCEPTUAL G & D PLAN  
☐ GRADING PLAN  
☐ EROSION CONTROL PLAN  
☐ ENGINEER'S CERT (HYDROLOGY)  
☐ CLOMR/LOMR  
☒ ~~TRAFFIC~~ TRAFFIC CIRCULATION LAYOUT  
☐ ENGINEER/ARCHITECT CERT (TCL)  
☐ ENGINEER/ARCHITECT CERT (DRB S.P.)  
☐ ENGINEER/ARCHITECT CERT (AA)  
☐ OTHER (SPECIFY) \_\_\_\_\_

**CHECK TYPE OF APPROVAL SOUGHT:**

- ☐ SIA/FINANCIAL GUARANTEE RELEASE  
☐ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D APPROVAL  
☐ S. DEV. FOR BLDG. PERMIT APPROVAL  
☐ SECTOR PLAN APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ FOUNDATION PERMIT APPROVAL  
☒ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY (PERM)  
☐ CERTIFICATE OF OCCUPANCY (TEMP)  
☐ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ WORK ORDER APPROVAL  
☒ OTHER (SPECIFY) TRANSPORTATION

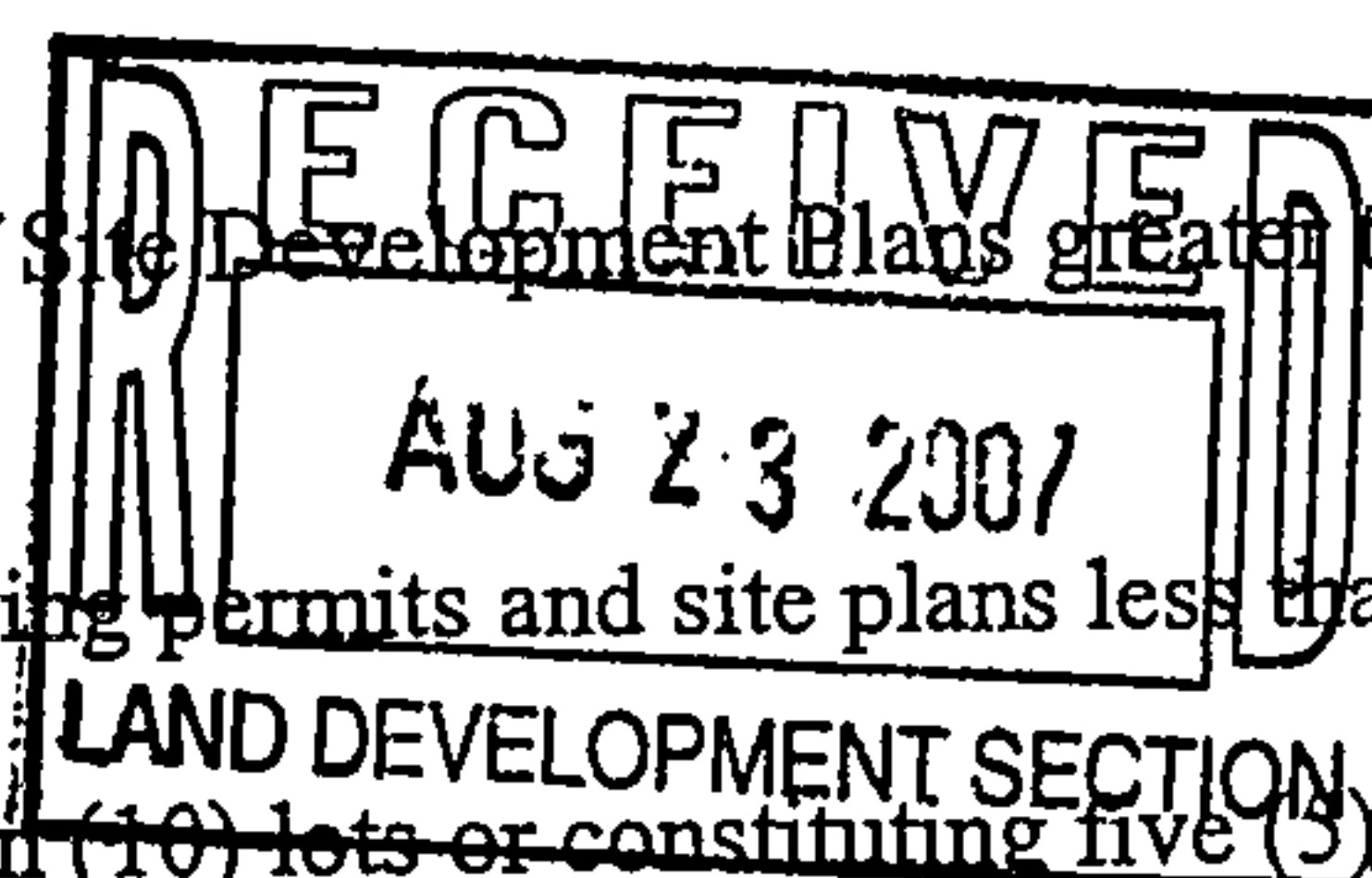
WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☒ YES  
☐ NO  
☐ COPY PROVIDED

SUBMITTED BY: [Signature] DATE: 8/23/07

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

- Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
- Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
- Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.





\*All on one plan - plan must include dimensions, parking spaces, etc

Copy of shared access easement

Build note for driveways - ref City Std

Sidewalk along Cuesta Abajo Ct?

Need wheelchair ramps

- details

Call out aisle widths

'Do Not Enter' sign

Call out all radii values

Explain Note - what about conf. from Hydrology?

