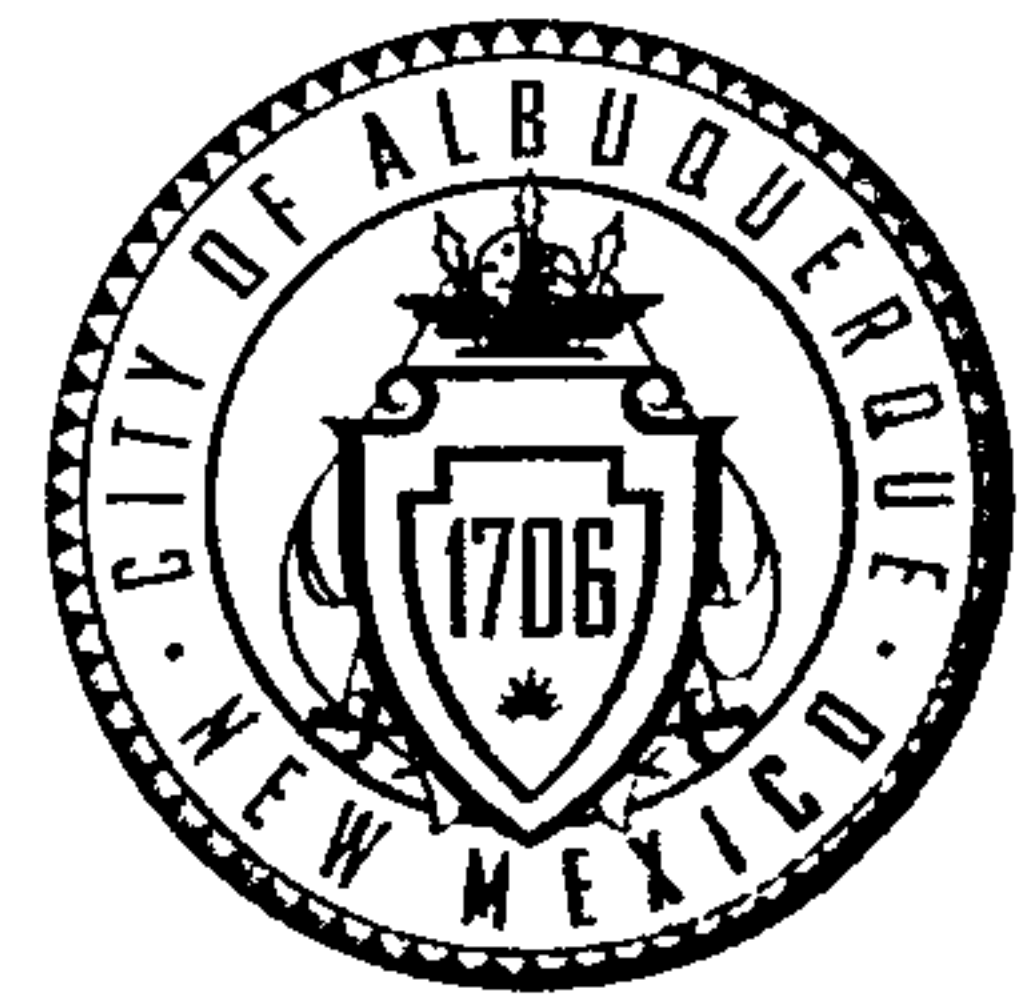


CITY OF ALBUQUERQUE



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March 25, 2016

Richard J. Berry, Mayor

James Craig Hagelgantz, P.E.
ABQ Engineering
8102 Menaul Blvd NE, Suite D
Albuquerque, NM, 87110

**RE: NMAC Building (Gym/Volleyball Courts)
Grading and Drainage Plan
Engineer's Stamp Date 1-20-2016 (File:D16D002F)**

Dear Mr. Hagelgantz:

Based upon the information provided in your submittal received 2-5-2016, the above referenced Grading and Drainage Plan is approved for Building Permit, with the following condition:

1. Increase the volume of the larger first flush pond to offset the lack of flow expected to get to the three parking lot planters (the parking lot planter depressions can be eliminated). Please show the change on the as-built set when submitting the Certification.
2. Submit an ESC Plan and an ESC Grading Permit prior to any earthwork.

Please attach a copy of this approved plan in the construction sets when submitting for the building permit. Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

If you have any questions, you can contact me at 924-3986.

Sincerely,

Abiel Carrillo, P.E.
Principal Engineer, Planning Dept.
Development Review Services

Orig: Drainage file

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City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: NMAC Building Building Permit #: T201690063 City Drainage #: D16D002F

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: Tract 10, Las Lomas Business Park

City Address: 1330 Cuesta Abajo, Albuquerque, NM 87113

Engineering Firm: ABQ Engineering Contact: Craig Hagelgantz

Address: 8102 Menaul NE, Suite D, Albuquerque, NM 87110

Phone#: 505-255-7802 Fax#: 505-255-7902 E-mail: chagelgantz@abqeng.com

Owner: NMAC Contact: Ted Alley

Address: 7120 Bellrose NE, Albuquerque, NM 87110

Phone#: 505-918-2321 Fax#: _____ E-mail: alley.ted@gmail.com

Architect: J. Kory Baker, Architect Contact: Kory Baker

Address: PO Box 254, Estancia, NM 87016

Phone#: 505-384-3112 Fax#: 505-384-1853 E-mail: j.k.baker@centurylink.net

Other Contact: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Check all that Apply:

DEPARTMENT:

- ☒ HYDROLOGY/ DRAINAGE
☒ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ ARCHITECT CERTIFICATION

☐ CONCEPTUAL G & D PLAN
☒ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☒ DRAINAGE REPORT
☐ CLOMR/LOMR

☒ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)

☐ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: ☐ Yes ☒ No

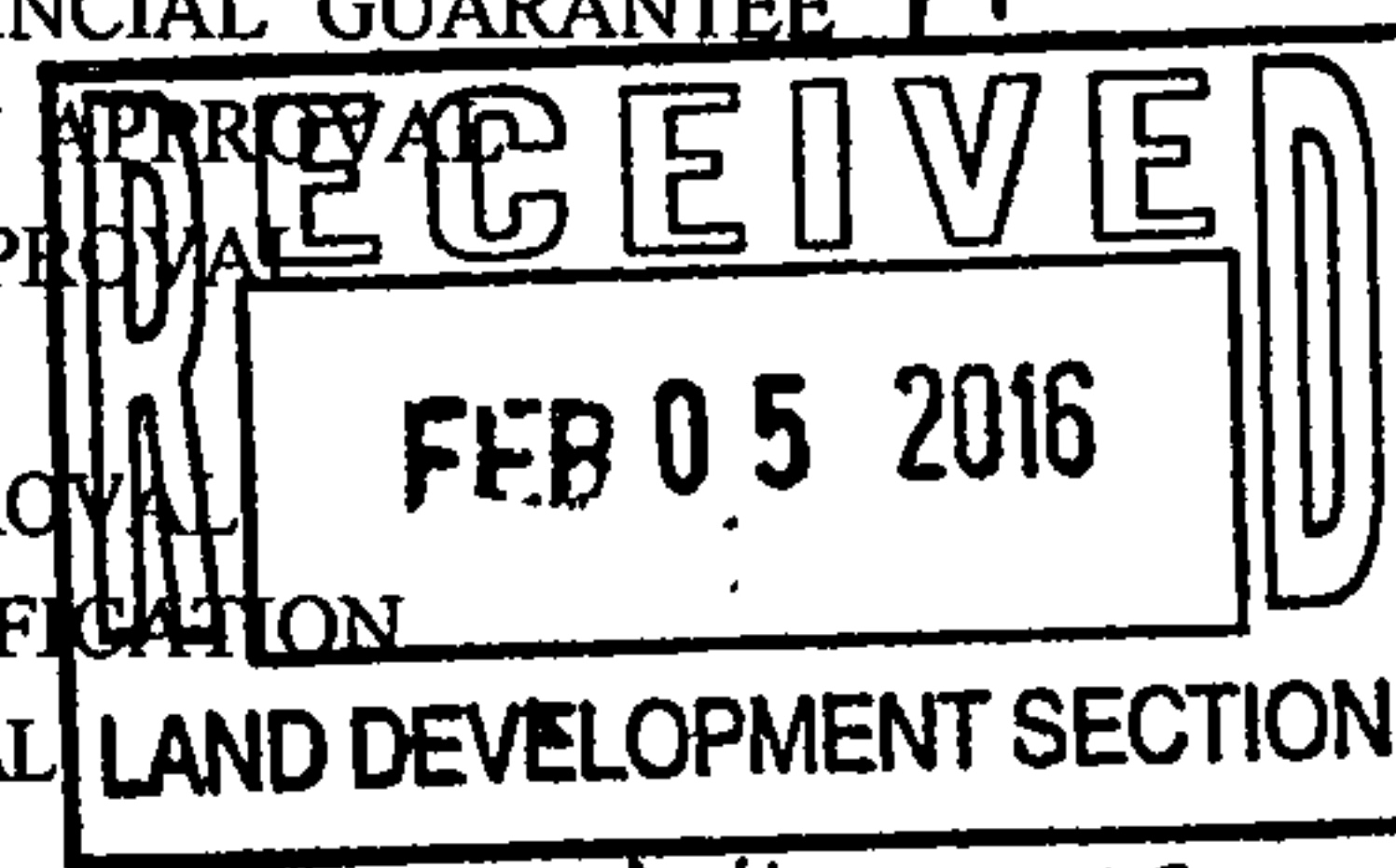
DATE SUBMITTED: 2-5-2016 By: J. Kory Baker

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY

☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR

☐ PRE-DESIGN MEETING
☐ OTHER (SPECIFY) _____



COA STAFF: _____ ELECTRONIC SUBMITTAL RECEIVED: _____

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CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT SERVICE / HYDROLOGY SECTION

DATE: _____
CONFERENCE RECAP

ZONE ATLAS PAGE NO: D14
DRAINAGE FILE: _____
ZONING: _____
DRB: _____
SUBJECT: Commercial Site
STREET ADDRESS (IF KNOWN): Lot 10 Las Lunas Business Park
SUBDIVISION NAME: _____

APPROVAL REQUESTED: BP

ATTENDANCE: Craig Hagelgantz, Curtis Chene

FINDINGS:

1. max discharge rate is 0.8 cfs from Las Lunas Industrial Park Drainage Repairs.
2. Project to stay west of slope easement without more information.
3. Provide water harvesting ponds for the first flush.
4. Pervious materials can be used in the parking lot to reduce the impervious area & help with achieving the max discharge rate and first flush volume.

THE UNDERSIGNED AGREES THAT THE ABOVE FINDINGS ARE SUMMARIZED ACCURATELY AND ARE SUBJECT TO CHANGE IF FURTHER INVESTIGATION REVEALS THAT THEY ARE NOT REASONABLE OR THAT THEY ARE BASED ON INACCURATE INFORMATION.

SIGNED: Curtis A. Chene
NAME (PRINT): Curtis A. Chene

SIGNED: Craig Hagelgantz
NAME (PRINT): CRAIG Hagelgantz

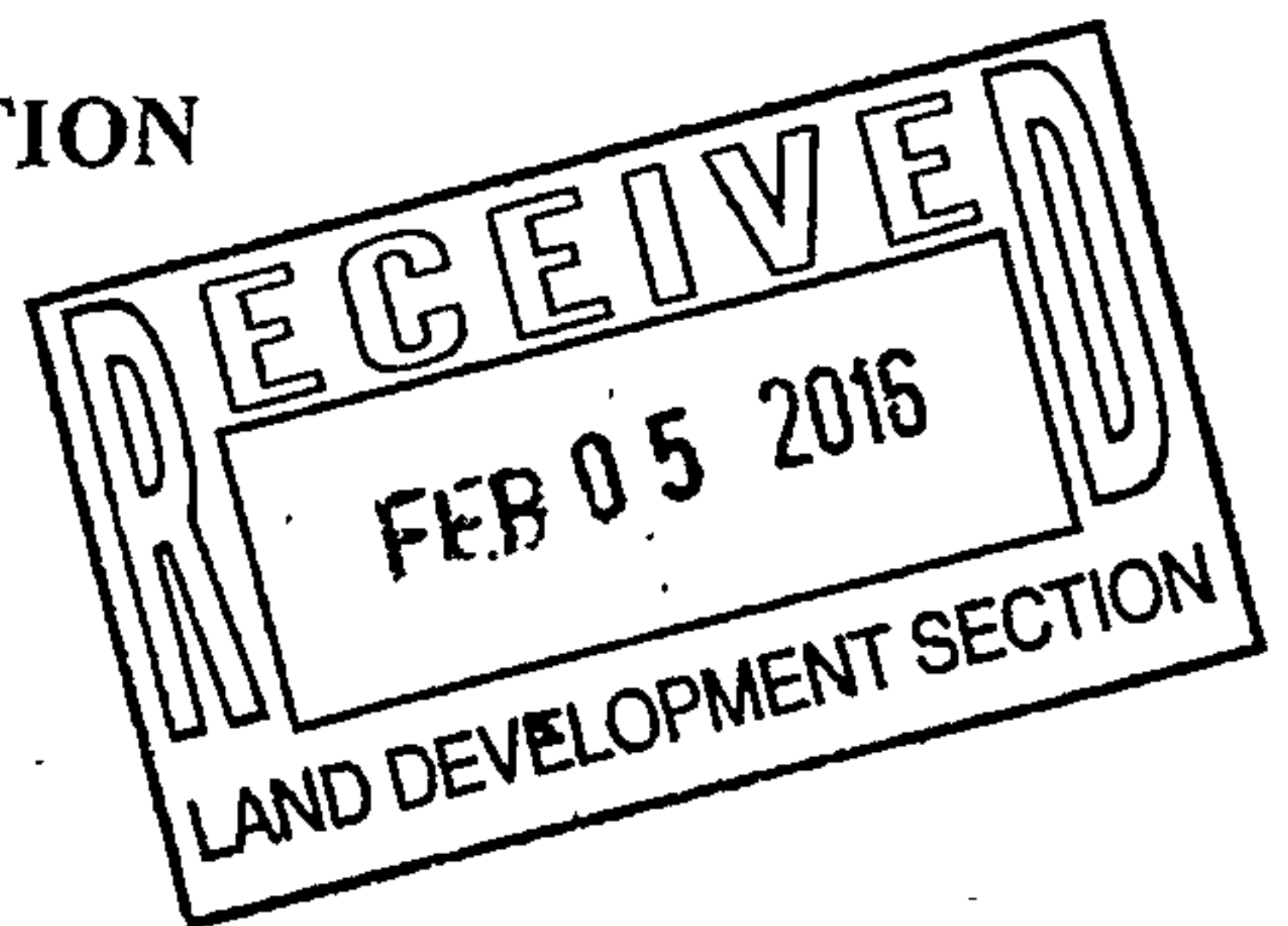
****NOTE**** PLEASE PROVIDE A COPY OF THIS RECAP WITH YOUR DRAINAGE SUBMITTAL.

FILE D16 DOO2 F

- ☐ **SCAN** letter
- ☐ **MOVE** eSubmittal to COMBINE folder
- ☐ **DELETE** eSubmittal from email
- ☐ **RENAME** letter (use naming convention)
- ☐ **EMAIL** letter
- ☐ **COMBINE** if approval (save as renamed letter)
- ☐ **MOVE** to electronic file (K: drive)
(delete unneeded files in COMBINE folder)
- ☐ **LOG & FILE** paper folder (%D, discharge)

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT SERVICE / HYDROLOGY SECTION

DATE: _____
CONFERENCE RECAP



ZONE ATLAS PAGE NO: D14

DRAINAGE FILE: _____

ZONING: _____

DRB: _____

SUBJECT: Commercial Site

STREET ADDRESS (IF KNOWN): Lot 10 Las Lunas Business Park

SUBDIVISION NAME: _____

APPROVAL REQUESTED: BP

ATTENDANCE: Craig Hagelgantz, Curtis Chene

FINDINGS:

1. Max discharge rate is 0.8 cfs from Las Lunas Industrial Park Drainage Repairs.
2. Project to stay west of slope easement without more information.
3. Provide water harvesting ponds for the first flush.
4. Previous materials can be used in the parking lot to reduce the impervious area & help with achieving the max discharge rate and first flush volume.

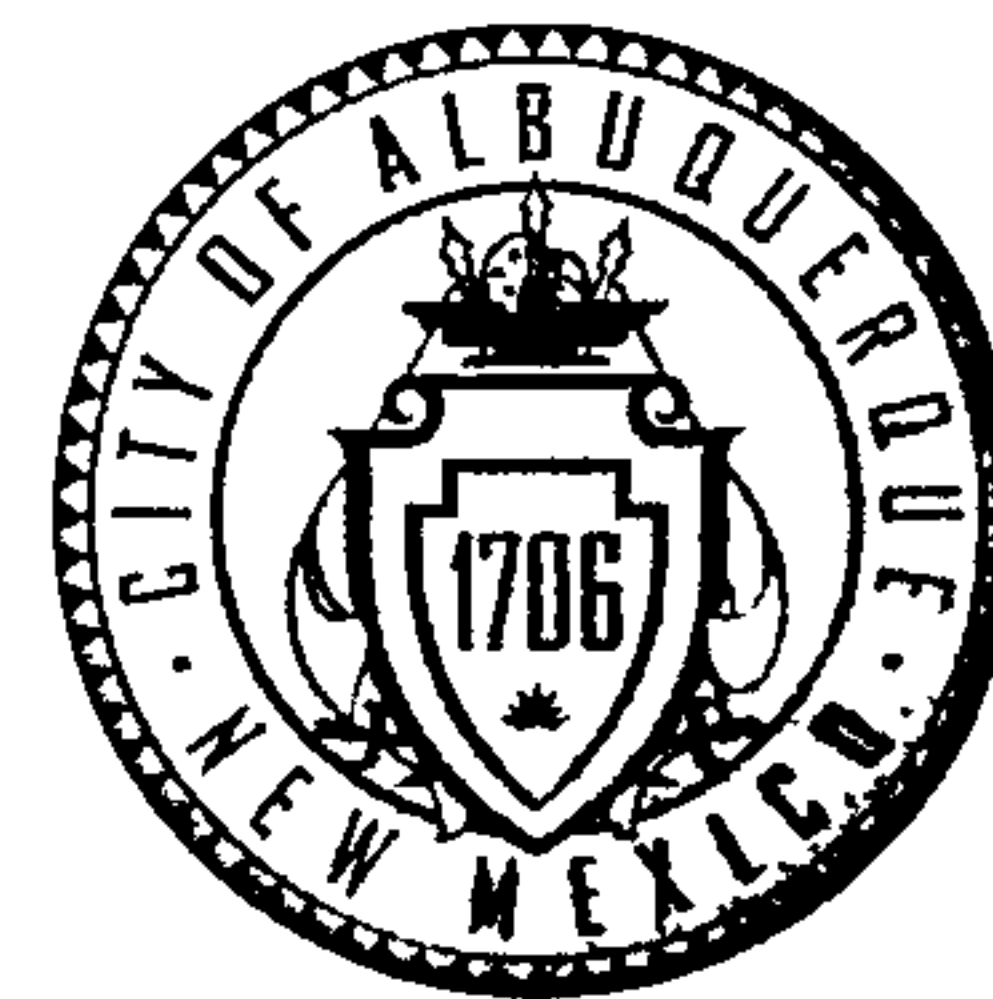
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SIGNED: Curtis A. Chene
NAME (PRINT): Curtis A. Chene

SIGNED: Craig Hagelgantz
NAME (PRINT): CRAIG Hagelgantz

****NOTE**** PLEASE PROVIDE A COPY OF THIS RECAP WITH YOUR DRAINAGE SUBMITTAL.

CITY OF ALBUQUERQUE



February 26, 2016

J. Kory Baker
PO Box 254
Estancia, NM 87016

Re: NMAC Building
1330 Cuesta Abajo
Traffic Circulation Layout
Engineer's/Architect's Stamp dated 2-25-16 (D16-D002F)

Dear Mr. Baker,

The TCL submittal received 2-26-16 is approved for Building Permit. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and a Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

PO Box 1293

Albuquerque

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

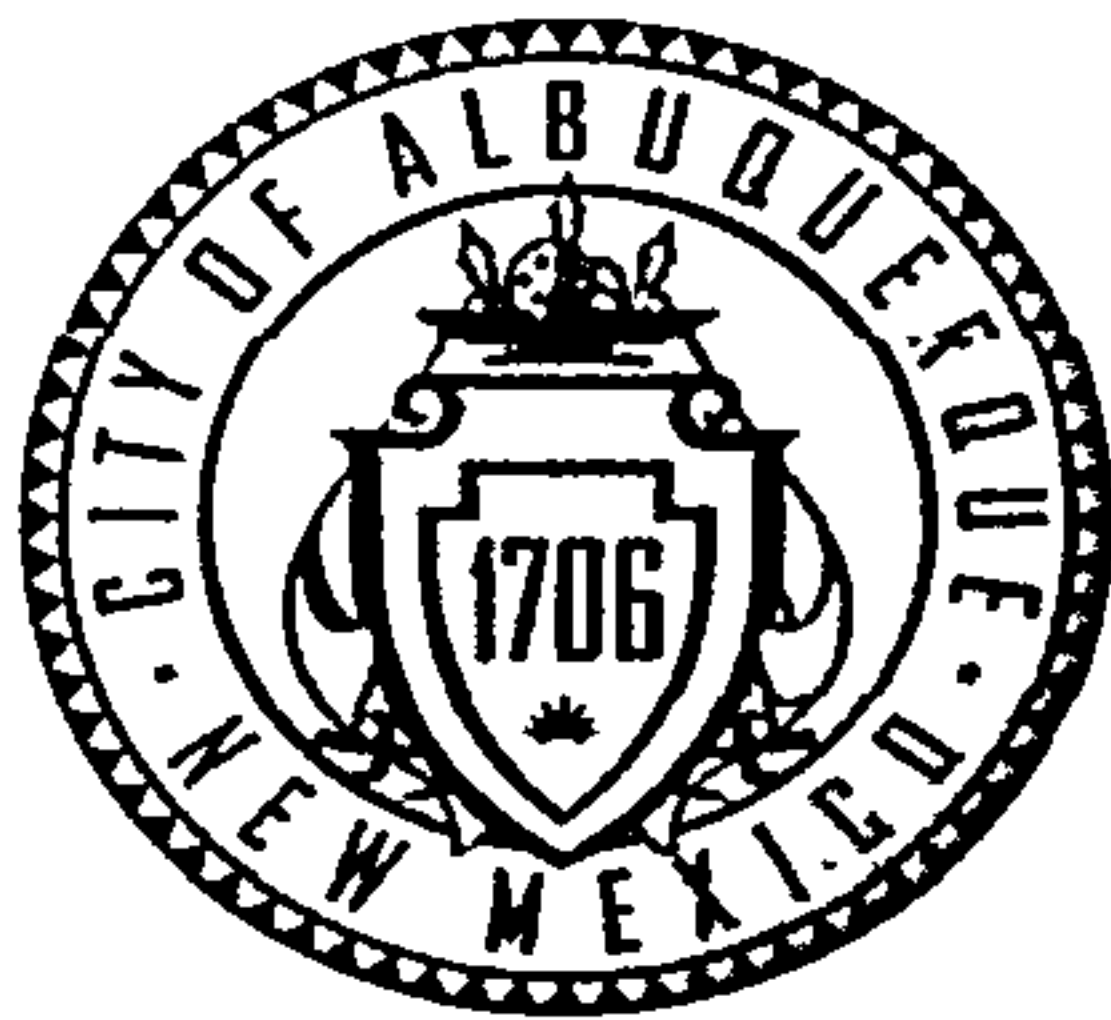
New Mexico 87103

Sincerely,

www.cabq.gov

Racquel M. Michel, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

\gs via: email
C: CO Clerk, File



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 1/2016)

Project Title: NMAC BUILDING Building Permit #: T201690063 Hydrology File #: D16D002F

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: TRACT 10, LAS COMITAS BUSINESS PARK

City Address: 1330 CHESTA ABAJO, ALB. NM 87113

Applicant: J. KORY DAKER ARCHITECT Contact: KORY

Address: PO Box 254, ESTANCA, NM 87016

Phone#: 505-384-3112 Fax#: 505-384-1853 E-mail: j.k.daker@centurylink.net

Other Contact: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Check all that Apply:

DEPARTMENT:

- ☐ HYDROLOGY/ DRAINAGE
☒ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

- ☐ AS-BUILT CERTIFICATION
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR
☒ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ NEIGHBORHOOD IMPACT ASSESMENT (NIA)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
☐ OTHER (SPECIFY) _____

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY
☐ GRADING/ESC PERMIT APPROVAL
☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR
☐ PRE-DESIGN MEETING?
☐ OTHER (SPECIFY) _____

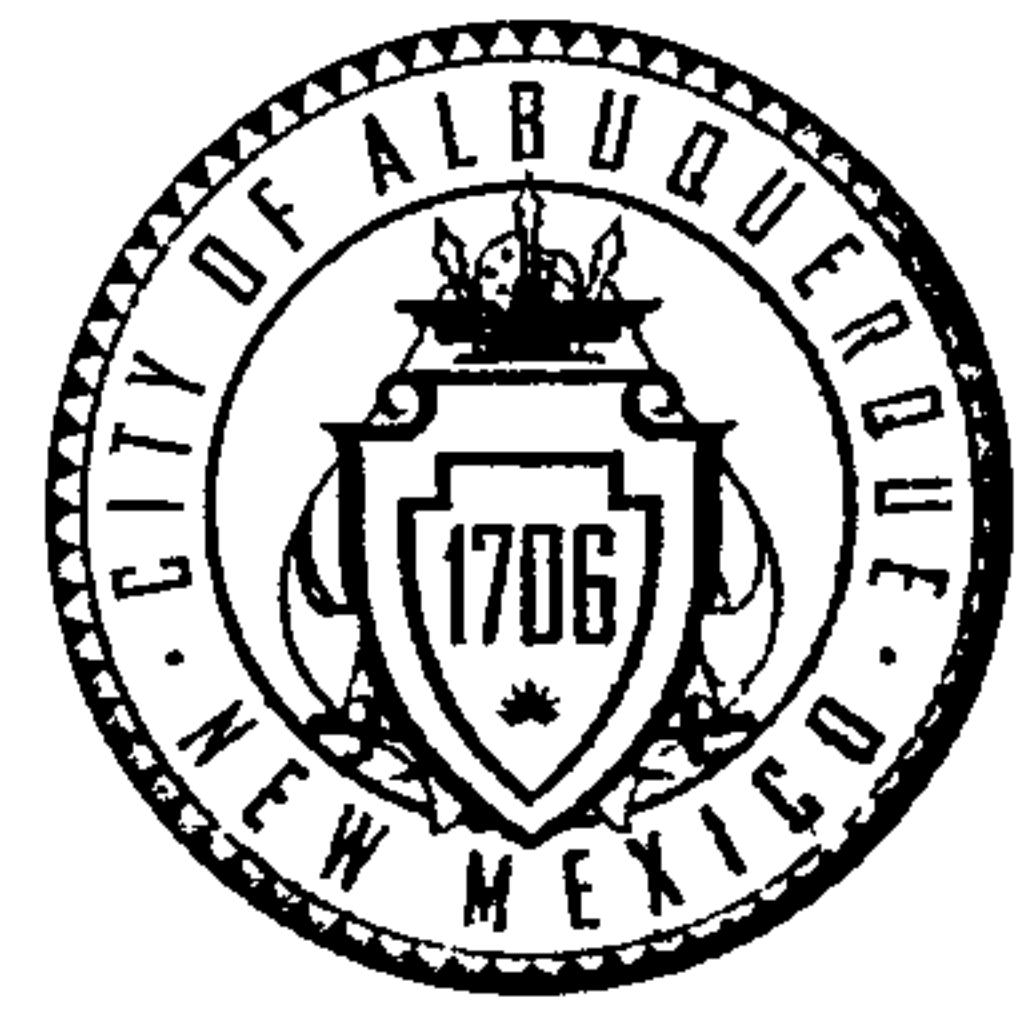
IS THIS A RESUBMITTAL?: ☒ Yes ☐ No

DATE SUBMITTED: 2.26.16 By: J. Kory Daker

COA STAFF: ELECTRONIC SUBMITTAL RECEIVED: _____

FEE RECEIVED: _____

CITY OF ALBUQUERQUE



February 12, 2016

J. Kory Baker, Architect
PO Box 254
Estancia, NM 87016

Re: NMAC Building
1330 Cuesta Abajo
Traffic Circulation Layout
Engineer's/Architect's Stamp dated 1-20-16 (D16-D02F)

Dear Mr. Baker,

Based upon the information provided in your submittal received 2-5-16, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Please identify all existing sidewalks, curbs, drive pads on Cuesta Abajo Ct. and anything that influences the parking and circulation on the site.
2. Identify the right of way width, medians, curb cuts, and street widths on Cuesta Abajo Ct.
3. Please list the width and length for all parking spaces. Detail parking overhang into landscape and pedestrian walkways.
4. Label the compact parking spaces by placing the words "**COMPACT**" on the pavement of each space.
5. Parking is not permitted in front of the Fire Department Connection (FDC) and there shall be no obstructions within 15 ft. of a fire hydrant. The section of the site plan that calls out for a planter and the two adjacent parking spaces will need to be reconfigured, along with the parking calculations.
6. Per the DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the public sidewalk to the building entrances. Please clearly show this pathway and provide details of ADA approved ramps from Cuesta Abajo Ct.
7. All sidewalks along streets should be placed at the property line.
8. Provide a min 6" or max 8" high concrete barrier curb or other acceptable barrier between landscaping and parking areas and/or drive aisles. Please call out curb detail.
9. Design delivery vehicle route needs to be shown.
10. Service vehicle and/or refuse vehicle maneuvering must be contained on-site; provide a copy of refuse approval.
11. All broken or cracked sidewalk must be replaced with sidewalk and curb & gutter. A build note must be provided referring to the appropriate City Standard drawing.

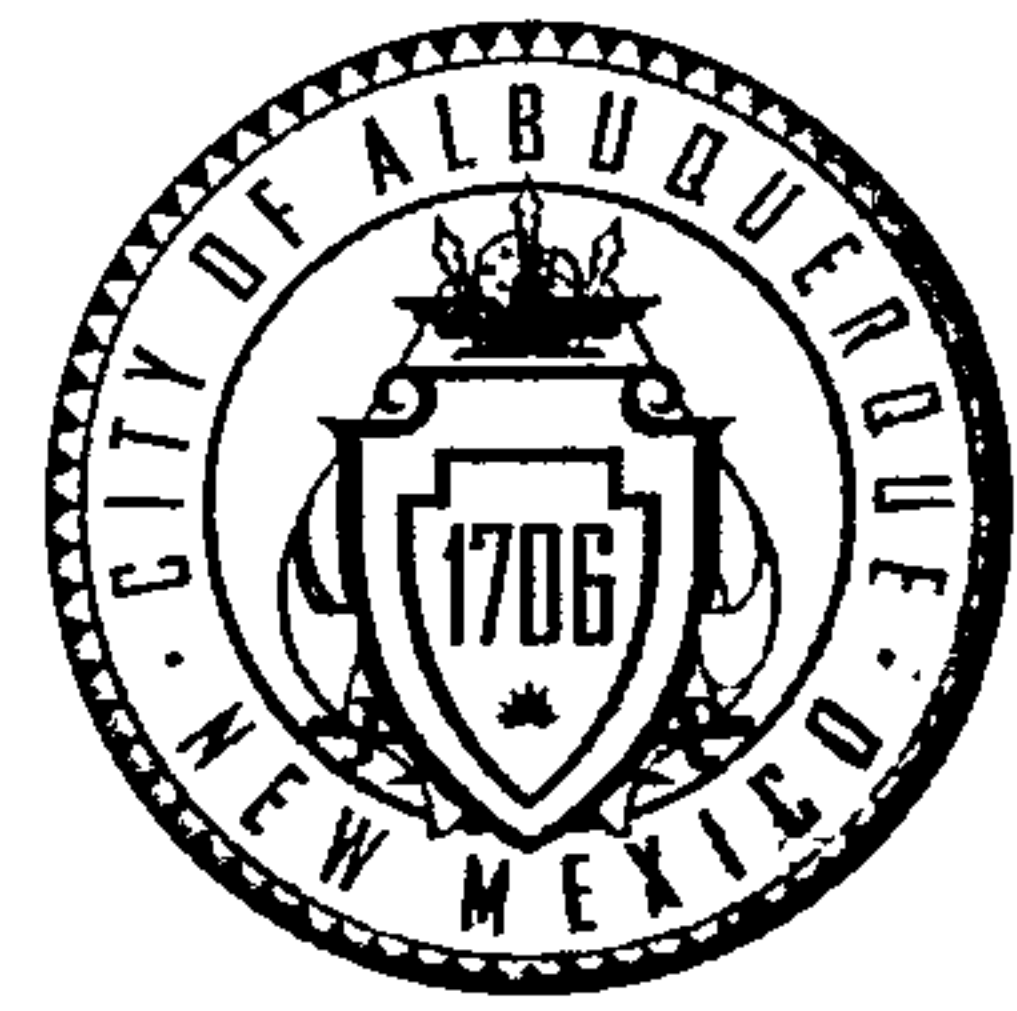
PO Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

CITY OF ALBUQUERQUE



12. Please include two copies of the traffic circulation layout at the next submittal.

Resubmit acceptable package along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. If you have any questions, please contact Gary Sandoval (505) 924-3675 or me at 924-3991.

Sincerely,

A handwritten signature in black ink, appearing to read 'R Michel'.

Racquel M. Michel, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

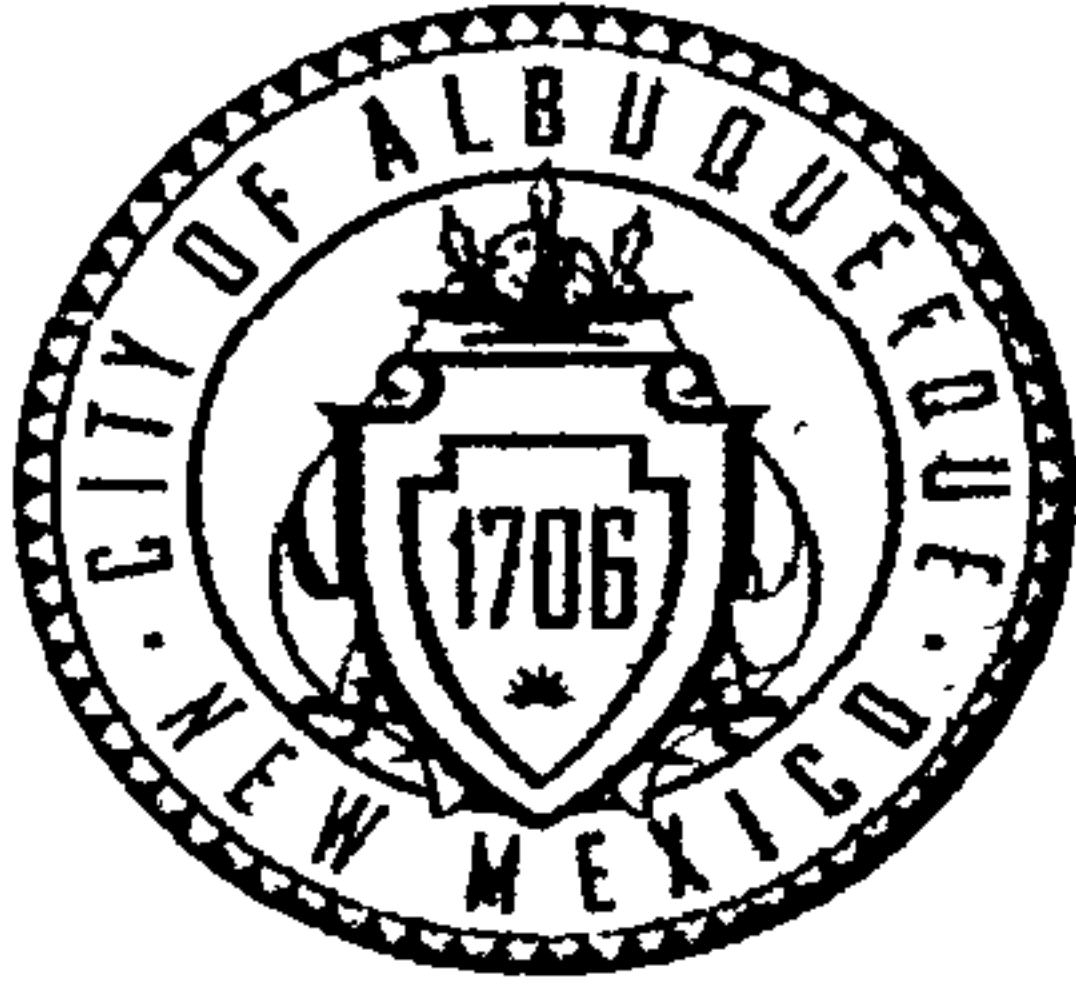
\gs via: email
C: CO Clerk, File

PO Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: NMAC Building Building Permit #: T201690063 City Drainage #: D16D002F
DRB#: _____ EPC#: _____ Work Order#: _____
Legal Description: Tract 10, Las Lomas Business Park
City Address: 1330 Cuesta Abajo, Albuquerque, NM 87113

Engineering Firm: ABQ Engineering Contact: Craig Hagelgantz
Address: 8102 Menaul NE, Suite D, Albuquerque, NM 87110
Phone#: 505-255-7802 Fax#: 505-255-7902 E-mail: chagelgantz@abqeng.com

Owner: NMAC Contact: Ted Alley
Address: 7120 Bellrose NE, Albuquerque, NM 87110
Phone#: 505-918-2321 Fax#: _____ E-mail: alley.ted@gmail.com

Architect: J. Kory Baker, Architect Contact: Kory Baker
Address: PO Box 254, Estancia, NM 87016
Phone#: 505-384-3112 Fax#: 505-384-1853 E-mail: j.k.baker@centurylink.net

Other Contact: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

Check all that Apply:

DEPARTMENT:

☒ HYDROLOGY/ DRAINAGE
☒ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

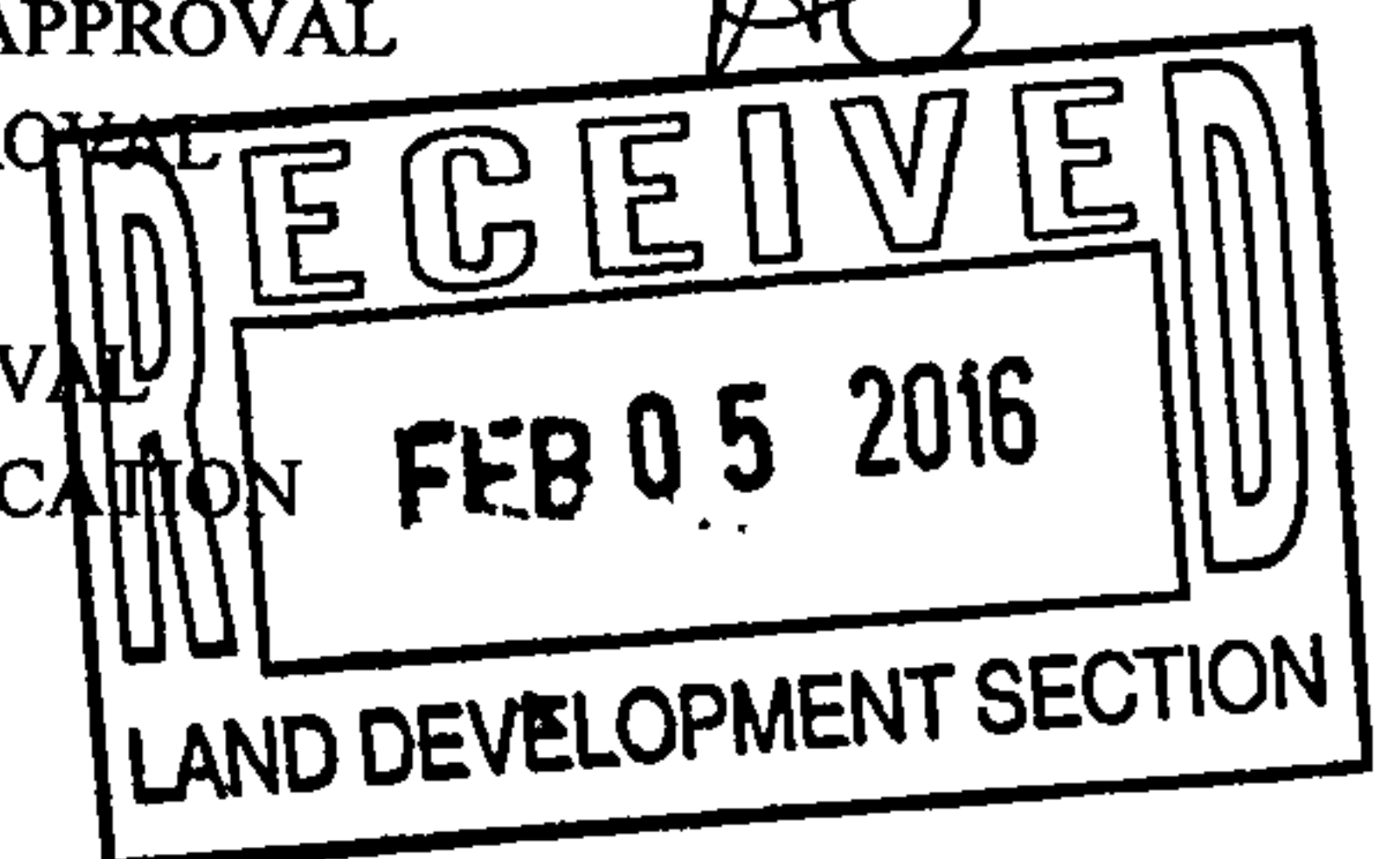
☐ ENGINEER/ ARCHITECT CERTIFICATION
☐ CONCEPTUAL G & D PLAN
☒ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☒ DRAINAGE REPORT
☐ CLOMR/LOMR
☒ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
☐ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: ☐ Yes ☒ No

DATE SUBMITTED: 2-5-2016 By: J. Kory Baker

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY
☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR
☐ PRE-DESIGN MEETING
☐ OTHER (SPECIFY) _____



COA STAFF: _____ ELECTRONIC SUBMITTAL RECEIVED: _____