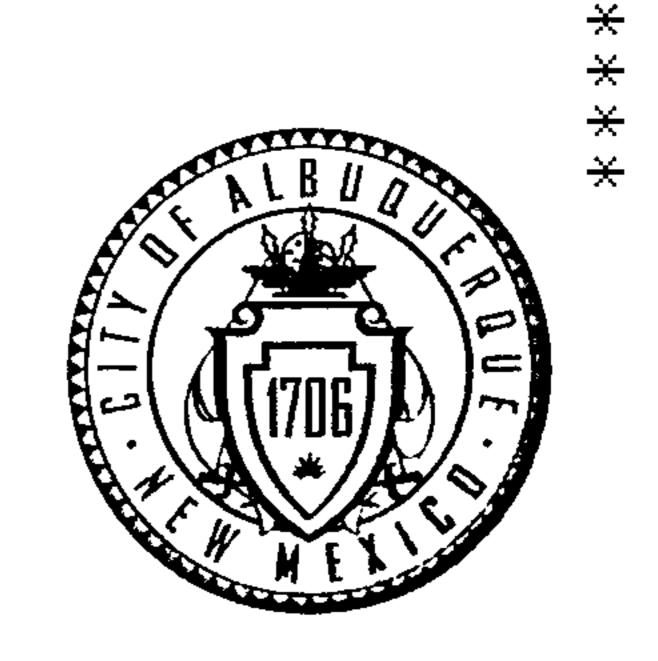
CITY OF ALBUQUERQUE

March 25, 2016



Richard J. Berry, Mayor

James Craig Hagelgantz, P.E. ABQ Engineering 8102 Menaul Blvd NE, Suite D Albuquerque, NM, 87110

RE: NMAC Building (Gym/Volleyball Courts)

Grading and Drainage Plan

Engineer's Stamp Date 1-20-2016 (File:D16D002F)

Dear Mr. Hagelgantz:

Based upon the information provided in your submittal received 2-5-2016, the above referenced Grading and Drainage Plan is approved for Building Permit, with the following condition:

1. Increase the volume of the larger first flush pond to offset the lack of flow expected to get to the three parking lot planters (the parking lot planter depressions can be eliminated). Please show the change on the as-built set when submitting the Certification.

PO Box 1293

2. Submit an ESC Plan and an ESC Grading Permit prior to any earthwork.

Albuquerque

Please attach a copy of this approved plan in the construction sets when submitting for the building permit. Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

If you have any questions, you can contact me at 924-3986.

New Mexico 87103

www.cabq.gov

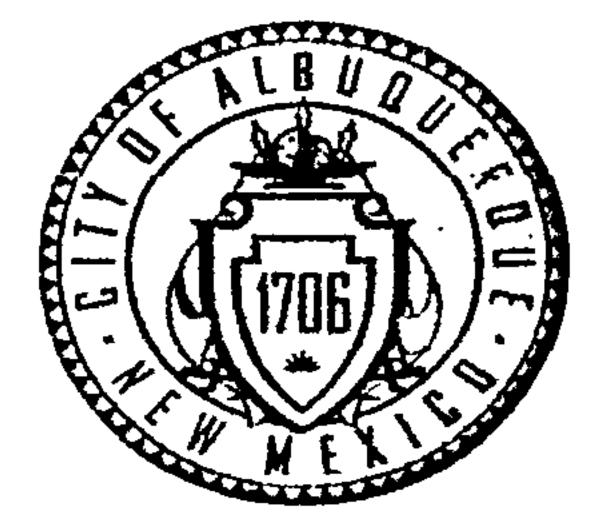
Abiel Carrillo, P.E.

Sincerely,

Principal Engineer, Planning Dept. Development Review Services

Orig: Drainage file





City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: NMAC Building	Building Permit #: T201690063 City Drainage #: 10160
DRB#: EPC#:	Work Order#:
Legal Description: Tract 10, Las Lomitas Business Park	•
City Address: 1330 Cuesta Abajo, Albuquerque, NM 87113	
Engineering Firm: ABQ Engineering	Contact: Craig Hagelgantz
Address: 8102 Menaul NE, Suite D, Albuquerque, NM 87110	
Phone#: 505-255-7802 Fax#: 505-2	E-mail: chagelgantz@abqeng.com
Owner: NMAC	Contact: Ted Alley
Address: 7120 Bellrose NE, Albuquerque, NM 87110	
Phone#: 505-918-2321 Fax#:	E-mail: alley.ted@gmail.com
	Contact: Kory Baker
Architect: J. Kory Baker, Architect Address: PO Box 254, Estancia, NM 87016	Contact. Roly baker
	E-mail; j.k.baker@centurylink.net
Phone#: 505-384-3112 Fax#: 505-3	15-man, j.n.banci@ccitalyinin.net
Other Contact:	Contact:
Address:	
Phone#: Fax#:	E-mail:
Check all that Apply: DEPARTMENT:	CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:
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EROSION & SEDIMENT CONTROL PLAN (ESC)	CLOMR/LOMR PRE-DESIGN MEETING CLOMR/LOMR
OTHER (SPECIFY)	PRE-DESIGN MEETING
IS THIS A RESUBMITTAL?: YesXNo	OTHER (SPECIFY)
DATE SUBMITTED: 2-5-2016	Bv: J. Kory Baker
DATE SUBMITTED: 2-5-2016	By: J. Kory Baker

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CITY OF ALBUQUERQUE PLANNING DEPARTMENT DEVELOPMENT SERVICE / HYDROLOGY SECTION

DATE:
CONFERENCE RECAP

ZONE ATLAS PAGE NO: DIL DRAINAGE FILE:
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APPROVAL REQUESTED: B
ATTENDANCE: Craig Hagelgarte, Curts Cher
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2. Project to Stay west of Stope easement without
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3. Privile water horists pands for the first flush.
4. Pervious majorials can be used in the parking Lot to reduce the imprevious over the help with achieving the max discharge rate and first flush volumes. THE UNDERSIGNED AGREES THAT THE ABOVE FINDINGS ARE SUMMARIZED ACCURATELY AND ARE SUBJECT TO CHANGE THE UNDERSIGNED AGREES THAT THE ABOVE FINDINGS ARE SUMMARIZED ACCURATELY AND ARE SUBJECT TO CHANGE THE UNDERSIGNED AND ARE SUBJECT TO CHANGE
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SIGNED: Cut a Chi
SIGNED: SIGNED: SIGNED: SIGNED: NAME (PRINT): CHAIG Hayegantz

^{**}NOTE** PLEASE PROVIDE A COPY OF THIS RECAP WITH YOUR DRAINAGE SUBMITTAL.

SCAN letter MOVE eSubmittal to COMBINE folder DELETE eSubmittal from email RENAME letter (use naming convention) **EMAIL** letter COMBINE if approval (save as renamed letter) MOVE to electronic file (K: drive) (delete unneeded files in COMBINE folder) LOG & FILE paper folder (%D, discharge)

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT SERVICE / HYDROLOGY SECTION

DATE: CONFERENCE RECAP FEB 0 5 2016
ZONE ATLAS PAGE NO: DIL DRAINAGE FILE: ZONING: DRB:
SUBJECT: Communical Site STREET ADDRESS (IF KNOWN): Lot 10 Las lanihas Busines park SUBDIVISION NAME:
APPROVAL REQUESTED: B
ATTENDANCE: Crain Hugylgarty, Curts Cher
FINDINGS:
1. Mox dischare rok 15. 8,8 cfs fin las lander
Industrial Park Draina Mal.
2. Project to Stay west of Stope easement without.
more information.
3. Provide water horsestes pands for the first flush.
4. Pervious materials can be USA in The parking Lot to reduce the imprevious area to help with achieving the max
reduce the imprevious were to help with achieving the max
THE UNDERSIGNED AGREES THAT THE ABOVE FINDINGS ARE SUMMARIZED ACCURATELY AND ARE SUBJECT TO CHANGE IF FURTHER INVESTIGATION REVEALS THAT THEY ARE NOT REASONABLE OR THAT THEY ARE BASED ON INACCURATE INFORMATION.
SIGNED: Cut a Chu SIGNED
NAME (PRINT): Curtis A. Cherne NAME (PRINT): CHAIG Hayegantz

NOTE PLEASE PROVIDE A COPY OF THIS RECAP WITH YOUR DRAINAGE SUBMITTAL.



February 26, 2016

J. Kory Baker PO Box 254 Estancia, NM 87016

Re:

NMAC Building

1330 Cuesta Abajo

Traffic Circulation Layout

Engineer's/Architect's Stamp dated 2-25-16 (D16-D002F)

Dear Mr. Baker,

The TCL submittal received 2-26-16 is approved for Building Permit. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and a Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed <u>Drainage and Transportation Information Sheet</u> to front counter personnel for log in and evaluation by Transportation.

PO Box 1293

Albuquerque

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

New Mexico 87103

Sincerely,

www.cabq.gov

Racquel M. Michel, P.E.

Traffic Engineer, Planning Dept. Development Review Services

/as

via: email

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CO Clerk, File



COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: ____

City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 1/2016)

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Project Title: MMAC Bailons	_ Building Permit	#: <u>T 2016 70063</u> Hydrology File #: D16DC
DRB#:	EPC#:	Work Order#:
Legal Description: Teat 10, LA	5 COMITA	5 BUSINESS PARK
City Address: 1330 Cuesta	•	_
Applicant: J. HORY DAKER Address: Po Box 254, Es	ARCHITE STANCIA,	Contact: <u>Kory</u> 777 87016
		384-1853 E-mail: j.k.byker @ Centurylink.ne
Other Contact:		Contact:
Address:		
Phone#:	Fax#:	E-mail:
Check all that Apply:		
DEPARTMENT:		TYPE OF APPROVAL/ACCEPTANCE SOUGHT:
HYDROLOGY/ DRAINAGE TRAFFIC/ TRANSPORTATION		MATERIAL PROVAL BUILDING PERMIT APPROVAL
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IS THIS A RESUBMITTAL?: X YesN	Jo	OTHER (SPECIFY)
DATE SUBMITTED: 2.25./6	By:	.6m/8-

FEE RECEIVED: ____

CITY OF ALBUQUERQUE



February 12, 2016

J. Kory Baker, Architect PO Box 254 Estancia, NM 87016

Re: NMAC Building

1330 Cuesta Abajo

Traffic Circulation Layout

Engineer's/Architect's Stamp dated 1-20-16 (D16-D02F)

Dear Mr. Baker,

Based upon the information provided in your submittal received 2-5-16, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

- 1. Please identify all existing sidewalks, curbs, drive pads on Cuesta Abajo Ct. and anything that influences the parking and circulation on the site.
- 2. Identify the right of way width, medians, curb cuts, and street widths on Cuesta Abajo Ct.
- 3. Please list the width and length for all parking spaces. Detail parking overhang into landscape and pedestrian walkways.
- 4. Label the compact parking spaces by placing the words "COMPACT" on the pavement of each space.
- 5. Parking is not permitted in front of the Fire Department Connection (FDC) and there shall be no obstructions within 15 ft. of a fire hydrant. The section of the site plan that calls out for a planter and the two adjacent parking spaces will need to be reconfigured, along with the parking calculations.
- 6. Per the DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the public sidewalk to the building entrances. Please clearly show this pathway and provide details of ADA approved ramps from Cuesta Abajo Ct.
- 7. All sidewalks along streets should be placed at the property line.
- 8. Provide a min 6" or max 8" high concrete barrier curb or other acceptable barrier between landscaping and parking areas and/or drive aisles. Please call out curb detail.
- Design delivery vehicle route needs to be shown.
- 10. Service vehicle and/or refuse vehicle maneuvering must be contained on-site; provide a copy of refuse approval.
- 11. All broken or cracked sidewalk must be replaced with sidewalk and curb & gutter. A build note must be provided referring to the appropriate City Standard drawing.

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New Mexico 87103

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12. Please include two copies of the traffic circulation layout at the next submittal.

Resubmit acceptable package along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. If you have any questions, please contact Gary Sandoval (505) 924-3675 or me at 924-3991.

Sincerely,

Racquel M. Michel, P.E.

Traffic Engineer, Planning Dept. Development Review Services

las

via: email

C.

CO Clerk, File

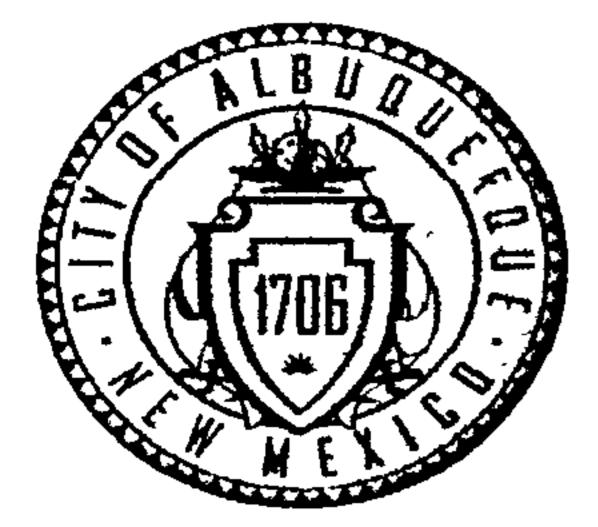
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Albuquerque

New Mexico 87103

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City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: NMAC Building		I	Building Permit #: T2	01690063	City Drainage #: 1000
DRB#:	EPC#:			Work Or	
Legal Description: Tract 10, Las Lomitas Business	Park				
City Address: 1330 Cuesta Abajo, Albuquerque, NI	M 87113				
Engineering Firm: ABQ Engineering				Contact:	Craig Hagelgantz
Address: 8102 Menaul NE, Suite D, Albuquerque,	NM 87110)			
Phone#: 505-255-7802	Fax#:	505-255-7902		E-mail:	chagelgantz@abqeng.com
Owner: NMAC				Contact:	Ted Alley
Address: 7120 Bellrose NE, Albuquerque, NM 871	10	- -			•
Phone#: 505-918-2321	Fax#:			E-mail:	alley.ted@gmail.com
Architect: J. Kory Baker, Architect				Contact:	Kory Baker
Address: PO Box 254, Estancia, NM 87016			•		
Phone#: 505-384-3112	Fax#:	505-384-1853		E-mail:	j.k.baker@centurylink.net
Other Contact:				Contact:	
Address:			· · · · · · · · · · · · · · · · · · ·	- : 	
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