

# CITY OF ALBUQUERQUE



Richard J. Berry, Mayor

April 13, 2017

Martin Garcia, PE  
1035 S. Bosque Loop  
Bosque Farms, NM, 87123

**RE: Pontilux - 1301 Cuesta Abajo Ct NE**  
**Grading and Drainage Plan**  
**Stamp Date: 4/3/17**  
**Hydrology File: D13D002H**

Dear Mr. Garcia:

Based upon the information provided in your submittal received 4/7/2017, the Grading and Drainage Plan **is not** approved for Grading Permit. The following comments need to be addressed for approval of the above referenced project:

1. This site is part of a Master Drainage Plan by Mark Goodwin and Associates engineer's stamp date of 1/18/05. Please address this in the drainage narrative for the existing conditions.
2. As part of this Master Drainage Plan, there is a maximum allowable Q that is allowed for this tract. Please note that the proposed Q is below this. Please add this maximum allowable Q in the drainage narrative.
3. Under your drainage calculations, the existing conditions needs show the existing asphalt in the shared access easement. Also, the proposed conditions needs to address this existing asphalt as well.
4. Please add the following information to the Grading Plan:
  - a. Shared access agreement along the east property line.
  - b. Existing pavement and grades on this pavement.
  - c. Existing 100 ft easement along the north property line.
  - d. Existing inlets on Cuesta Abajo Ct. There are four of them adjacent to the property. Please include the TC and FL elevations.

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- e. Existing TC and FL of the existing driveway curbing.
  - f. Please label/hatch the existing curb along Los Lomas Rd. It disappears in all of the line work.
  - g. Please label/hatch the proposed curb along Cuesta Abajo. It disappears in all of the line work.
  - h. Please show the existing ramps at the corner of Los Lomas & Cuesta Abajo and the existing driveway.
  - i. Please label/hatch the existing berm along Los Lomas.
  - j. Please label or put in the legend the water block/high point.
5. Please add a water block/high point symbol at the NW corner of the proposed pavement.
6. The proposed pavement is cutting into the existing berm. This berm was placed per the Master Drainage Plan along Los Lomas to divert the site drainage towards the inlets on Cuesta Abajo. Please show how you are going to continue this drainage pattern. Such as re-contouring the berm behind the proposed curb so no drainage will spill onto Los Lomas.

PO Box 1293

Albuquerque

New Mexico 87103

If you have any questions, please contact me at 924-3995 or [rbrissette@cabq.gov](mailto:rbrissette@cabq.gov).

[www.cabq.gov](http://www.cabq.gov)

Sincerely,

*Renee C. Brissette*

Reneé C. Brissette, P.E.  
Senior Engineer, Hydrology  
Planning Department



Vicinity Map



Drainage Narrative

THE PURPOSE OF THIS GRADING AND DRAINAGE PLAN LOCATED AT 1301 CUESTA ABAJO COURT N.E., ALBUQUERQUE, NM IS TO ACCOMMODATE A NEW WAREHOUSE AT THE SOUTH END OF THE LOT. THE LOT IS CURRENTLY UNIMPROVED AND IS BOUND TO THE NORTH BY AN EXISTING RAILROAD SPUR, TO THE EAST BY AN IMPROVED COMMERCIAL LOT, TO THE SOUTH BY CUESTA ABAJO COURT AND THE WEST BY LOS LOMITAS DRIVE.

THE SITE CURRENTLY FLOWS FROM THE NORTH TO SOUTH WITH A LOW POINT AT THE SOUTHWEST CORNER OF THE LOT WHERE THE MAJORITY OF THE RUN-OFF WILL BE DIRECTED THROUGH A CLEAR WATER POND LOCATED AT THE SOUTHWEST CORNER OF THE LOT, THEN DRAIN ONTO CUESTA ABAJO COURT AND INTO THE EXISTING STORM DRAIN. A SMALL PORTION OF THE DRAINAGE WILL FLOW DIRECTLY TO CUESTA ABAJO COURT AND INTO THE EXISTING STORM DRAIN.

Drainage Calculations

Hydrology Calculations				
Date: November 11, 2003				
DPM - Section 22.2				
Volume 2, January 1993				
Precipitation Zone	2			
100 Year Storm Depth, P (360)	2.35			
100 year Storm Depth, P (10 day)	3.95			
Treatment Area	A	B	C	D
Excess Precipitation Factors	0.53	0.78	1.13	2.12
Peak Discharge Factors	1.56	2.28	3.14	4.70
Land Treatment Area	Acres	Existing	Allowable	Proposed
Type "D" (Roof)		0.00	0.31	0.85
Type "C" (Unpaved Roadway)		0.00	0.36	0.00
Type "B" (Irrigated Lawns)		0.00	0.36	0.00
Type "A" (Undeveloped)		0.96	0.77	0.11
Total (Acres)		1.80	1.80	0.96
Excess Precipitaion(in)		0.28	0.99	1.94
Volume (100), cf		1846.94	6438.60	6752.89
Volume (10),cf		1237.45	4313.86	4524.44
Volume (100,10 day), cf		1846.94	6438.60	11689.69
Q (100), cfs		1.50	4.59	4.17
Q (10), cfs		1.00	3.07	2.79
Flush Pond D*(0.34/12)	37,026 sf	x	0.34in/1ft/12in	= 1049 cf

Pond Volume

AREA TREATMENT "D" = 37026 SF

IMPERVIOUS AREA — 0.10 x 37026 = 3702.6 SF

PONDING REQUIRED —  $3702.6 \times \frac{34}{12} = 104.90$  CF

POND 1:  
A36.50 = 584.11 SF  
A36.00 = 234.31 SF

VOL 3 & 4:  $584.11 + 234.31 = \frac{818.42}{2} \times 0.5 = 204.60$  CF

POND VOLUME PROVIDED: 204.60 CF

DEPTH OF WATER  $\frac{104.90}{204.60} = 0.52 \times 0.5 = 0.26$

WATER SURFACE ELEV = 5036.00 + .26 = 5036.26

Project Benchmark

PROJECT BENCHMARK  
THE PROJECT BENCHMARK FOR THIS SITE IS AN ACS BRASS MONUMENT STAMPED "13-D16"

N=1518996.001  
E=1534181.325  
ELEV=5073.471

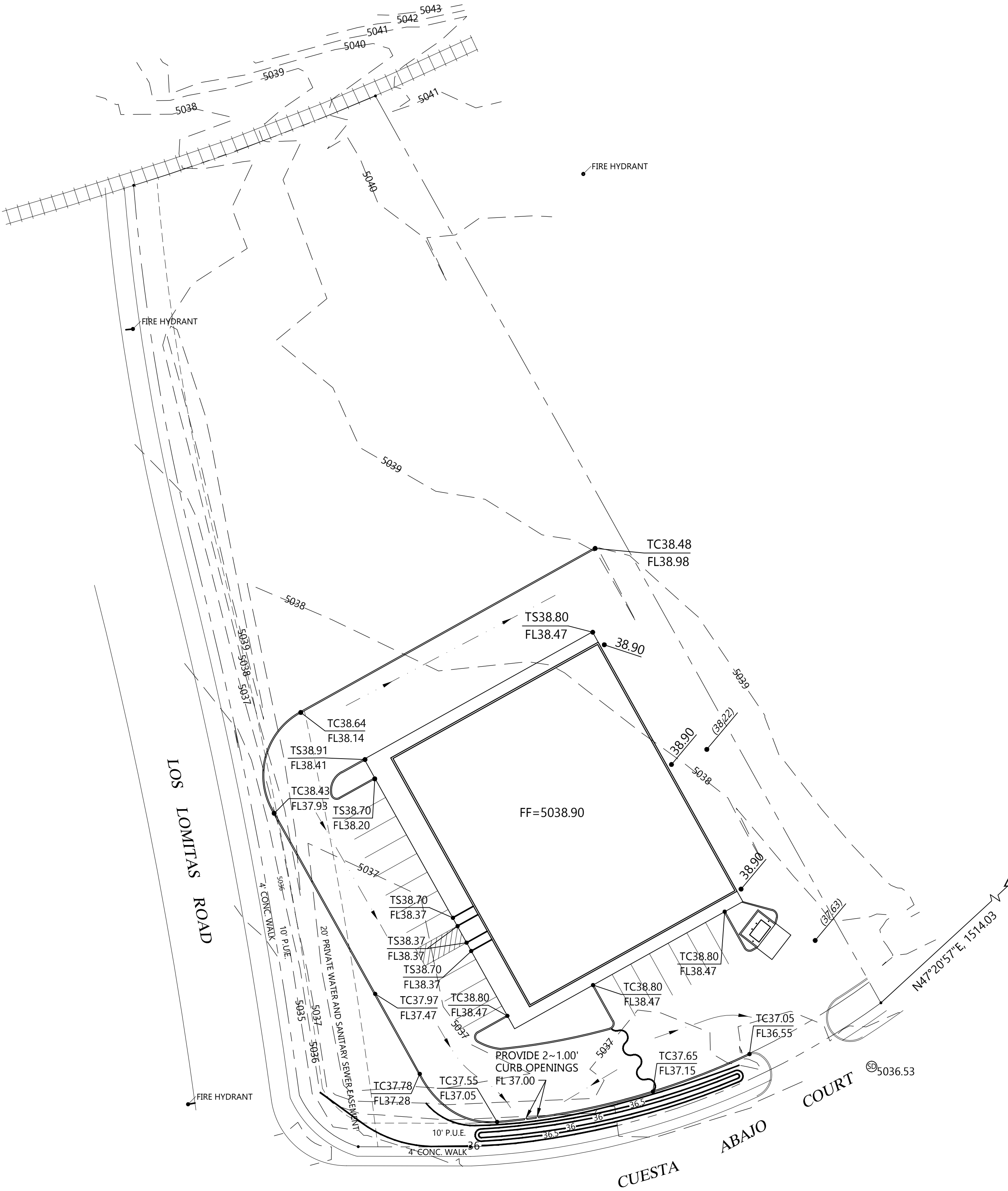
THE LOCAL BENCHMARK

THE LOCAL BENCHMARK IS THE STORM DRAIN MANHOLE ON CUESTA ABAJO ROAD LOCATED AT THE DRIVEPAD

ELEV=5036.53

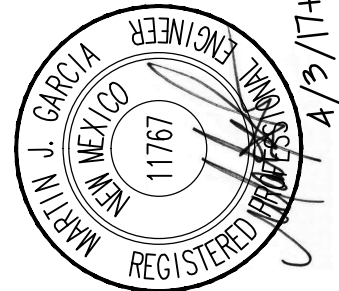
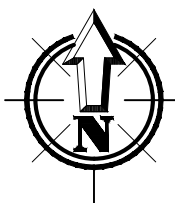
Legend

- 4805 — EXISTING CONTOUR
- 05 — NEW CONTOUR
- FF FINISH FLOOR
- TC TOP OF CURB
- FL FLOW LINE
- TS TOP OF SIDEWALK



GRADING AND DRAINAGE PLAN

SCALE: 1" = 30'



PROJECT NO.	DATE	NO.	COMMENTS
16-054	4.03.2017		
DRAWN BY:	CHECKED BY:		
F. PHILLIPS	M. GARCIA		
SCALE			
1" = 30'			

PROJECT NO.	16-054
DATE:	4.03.2017
DRAWN BY:	F. PHILLIPS
CHECKED BY:	M. GARCIA
SCALE	1" = 30'

PROJECT TITLE	12,000 SQ. FT. WAREHOUSE 1301 CUESTA ABAJO COURT, NE ALBUQUERQUE, NEW MEXICO 87113
SHEET TITLE	GRADING AND DRAINAGE PLAN

SHEET

C1