

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

September 2, 2022

Verlyn Miller, P.E.
Miller Engineering Consultants, Inc.
3500 Comanche NE, Bldg F
Albuquerque, NM 87107

**Re: 1301 Cuesta Abajo Court NE
Request for Certificate of Occupancy - Permanent
Hydrology Final Inspection –Approved
Grading and Drainage Plan Stamp Date: 09/07/02021
Certification dated: 08/29/2022
Drainage File: D16D002H**

Dear Mr. Miller,

PO Box 1293

Based on the submittal received 8/29/2022 and inspection on 9/1/2022 this certification is approved for Permanent Certificate of Occupancy by Hydrology.

Albuquerque

If you have any questions, you can contact me at 505-924-3695 or dggutierrez@cabq.gov.

Sincerely,

NM 87103

David G. Gutierrez, P.E.
Senior Engineer, Planning Dept.
Development Review Services

www.cabq.gov



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2018)

Project Title: _____ **Building Permit #:** _____ **Hydrology File #:** _____

DRB#: _____ **EPC#:** _____ **Work Order#:** _____

Legal Description: _____

City Address: _____

Applicant: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Owner: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

TYPE OF SUBMITTAL: _____ PLAT (____# OF LOTS) _____ RESIDENCE _____ DRB SITE _____ ADMIN SITE

IS THIS A RESUBMITTAL?: _____ Yes _____ No

DEPARTMENT: _____ TRAFFIC/ TRANSPORTATION _____ HYDROLOGY/ DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- _____ ENGINEER/ARCHITECT CERTIFICATION
- _____ PAD CERTIFICATION
- _____ CONCEPTUAL G & D PLAN
- _____ GRADING PLAN
- _____ DRAINAGE MASTER PLAN
- _____ DRAINAGE REPORT
- _____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- _____ ELEVATION CERTIFICATE
- _____ CLOMR/LOMR
- _____ TRAFFIC CIRCULATION LAYOUT (TCL)
- _____ TRAFFIC IMPACT STUDY (TIS)
- _____ OTHER (SPECIFY) _____
- _____ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- _____ BUILDING PERMIT APPROVAL
- _____ CERTIFICATE OF OCCUPANCY
- _____ PRELIMINARY PLAT APPROVAL
- _____ SITE PLAN FOR SUB'D APPROVAL
- _____ SITE PLAN FOR BLDG. PERMIT APPROVAL
- _____ FINAL PLAT APPROVAL
- _____ SIA/ RELEASE OF FINANCIAL GUARANTEE
- _____ FOUNDATION PERMIT APPROVAL
- _____ GRADING PERMIT APPROVAL
- _____ SO-19 APPROVAL
- _____ PAVING PERMIT APPROVAL
- _____ GRADING/ PAD CERTIFICATION
- _____ WORK ORDER APPROVAL
- _____ CLOMR/LOMR
- _____ FLOODPLAIN DEVELOPMENT PERMIT
- _____ OTHER (SPECIFY) _____

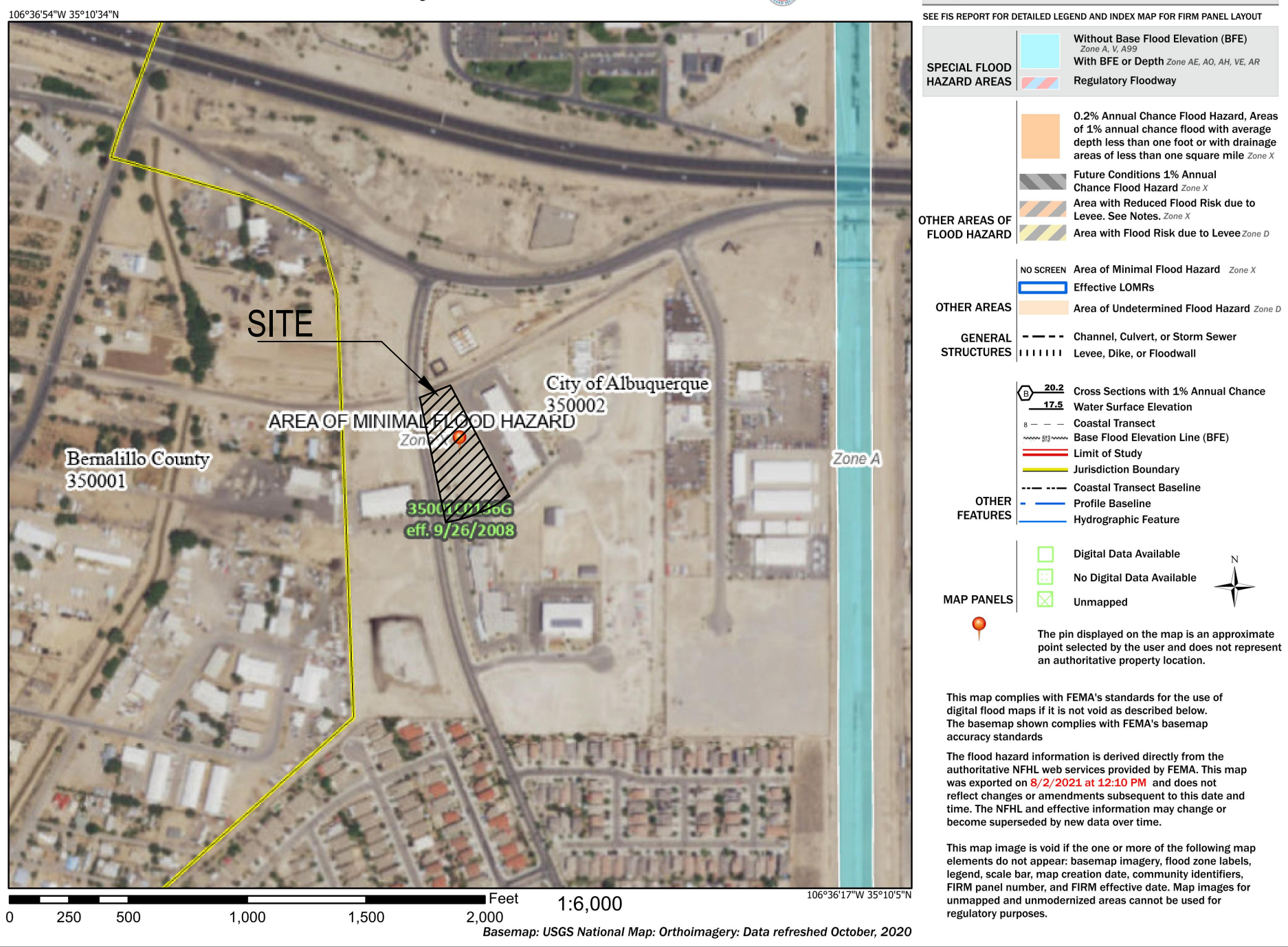
DATE SUBMITTED: _____ **By:** _____

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

National Flood Hazard Layer FIRMette



FLOOD ZONE MAP

FLOOD ZONE MAP 35001C0136G

DRAINAGE REPORT

SITE LOCATION

The existing site is an approximate 1.8-acre site located at 1301 Cuesta Abajo Ct. NE. The site is bound on the north by railroad tracks, the east side by an existing commercial development, and the south and west sides by existing City streets (see vicinity map this sheet).

EXISTING CONDITIONS

The existing site is estimated at 1.8 acres and is currently undeveloped but mostly disturbed by human activity.

The site does not lie within a 100-year FEMA floodplain (see FEMA panel on this sheet). The site is not adversely impacted by offsite flows. The site currently slopes from east to the southwest corner.

PROPOSED CONDITIONS

The proposed project will consist of a new commercial building, fire lane and associated parking lot. The site under proposed conditions will have an impervious percentage of nearly 40%. The site will be graded to drain to the southwest corner per the existing topography. A first flush ponding area will be constructed near the southwest corner of the lot to retain the first flush volume of 1098 cf. The drainage calculations for proposed conditions are indicated on this sheet.

CONCLUSIONS

When fully developed as indicated on the grading and drainage plan, the increased runoff from the site is estimated at 0.88 cfs and 0.065-acre feet during the 100-year, 24-hour event. Storm water runoff from the site will discharge to a new 1873 cubic feet first flush retention pond located at the southwest corner of the site. Overflow from the ponding facility will drain south into Cuesta Abajo Court through a concrete overflow spillway.

GENERAL NOTES:

- EXISTING TOPOGRAPHIC SURVEY PERFORMED AND COMPILED BY PRECISION SURVEYS, INC., ALBUQUERQUE, NEW MEXICO NOVEMBER, 2019. MILLER ENGINEERING CONSULTANTS HAS UNDERTAKEN NO FIELD VERIFICATION OF THIS INFORMATION.
- PROJECT BENCHMARK IS A CITY OF ALBUQUERQUE SURVEY BRASS DISC STAMPED "ZAB-B, 1994". LOCATED ON THE I-25 EAST FRONTAGE ROAD NE., 0.13 MI ± NORTHERLY OF CENTERLINE PASEO DEL NORTE, 447± SOUTHERLY OF CENTERLINE CARMEL AVE. (MEASURED ALONG SAID FRONTAGE ROAD), 68.8 FT. NORTHERLY OF NMSHC BRASS CAP "397=96.81" ON THE I-25 EAST RIGHT-OF-WAY LINE, 24.0 FT. EASTERLY OF THE MOST EASTERLY WHITE STRIPE ON SAID FRONTAGE ROAD, 1.7 FT. WESTERLY OF THE I-25 EAST RIGHT-OF-WAY FENCE, 0.25 FT. BELOW SAID ACCESS COVER.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL TEMPORARY SEDIMENT AND EROSION CONTROL DEVICES DURING THE CONSTRUCTION PHASE.
- CONTRACTOR SHALL OBTAIN A GRADING PERMIT FROM THE CITY OF ALBUQUERQUE, PRIOR TO ANY GRADING OR CONSTRUCTION.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION CONTRACTOR MUST CONTACT LINE LOCATING SERVICE 260-1990 FOR LOCATION OF EXISTING UTILITIES.
- ALL EMBANKMENTS SHALL BE PLACED AND COMPACTED IN LIFTS OF MAXIMUM OF 8". THE EMBANKMENTS SHALL BE WETTED AND COMPACTED TO 95% OPTIMUM DENSITY PER ASTM D1557 AND 95% UNDER ALL STRUCTURES INCLUDING DRIVEWAYS AND PARKING LOTS.
- THE CONTRACTOR SHALL FIELD VERIFY LOCATION AND SIZE OF ALL UTILITIES PRIOR TO CONSTRUCTION.
- ALL WORK PERFORMED SHALL COMPLY WITH THE REQUIREMENTS OF THE CITY OF ALBUQUERQUE STORM DRAINAGE REGULATIONS. ALL WORK PERFORMED SHALL COMPLY WITH THE REQUIREMENTS OF THE CITY OF ALBUQUERQUE "GRADING AND DRAINAGE DESIGN REQUIREMENTS AND POLICIES FOR LAND DEVELOPMENT."
- THE OWNER, CONTRACTOR AND/OR BUILDER SHALL COMPLY WITH ALL APPROPRIATE LOCAL, STATE AND FEDERAL REGULATIONS AND REQUIREMENTS.
- THE CONTRACTOR SHALL TAKE ALL APPROPRIATE AND REASONABLE MEASURES TO PREVENT SEDIMENT OR POLLUTANT LADEN STORM WATER FROM EXITING THE SITE DURING CONSTRUCTION. STORMWATER MAY BE DISCHARGED IN A MANNER, WHICH COMPLIES WITH THE APPROVED GRADING AND DRAINAGE PLAN.
- THE CONTRACTOR SHALL TAKE ALL APPROPRIATE MEASURES TO PREVENT THE MOVEMENT OF CONSTRUCTION RELATED SEDIMENT, DUST, MUD, POLLUTANTS, DEBRIS, WASTE, ETC FROM THE SITE BY WIND, STORM FLOW OR ANY OTHER METHOD EXCLUDING THE INTENTIONAL, LEGAL TRANSPORTATION OF SAME IN A MANNER ACCEPTABLE BY THE CITY.
- THE CONTRACTOR SHALL NOT DISTURB AREAS OUTSIDE THE AREAS SHOWN AS "SLOPE LIMITS" ON THE GRADING AND DRAINAGE PLAN.
- SEE ARCHITECTURAL DRAWINGS FOR SIDEWALK AND HANDICAPPED RAMPS, DETAILS AROUND THE BUILDING.
- THE CONTRACTOR SHALL CONTACT THE PROJECT ENGINEER FOR CLARIFICATION IF THERE ARE ANY SPOT ELEVATIONS ON THE GRADING AND DRAINAGE PLAN WHICH APPEAR TO BE AMBIGUOUS OR DO NOT MEET THE INTENT OF THE GRADING AND DRAINAGE PLAN.
- THE CONTRACTOR SHALL CONTACT THE PROJECT ENGINEER FOR CLARIFICATION IF THERE ARE SIDEWALKS OR CONCRETE FLATWORK WHICH DOES NOT MEET ADA ACCESSIBILITY REQUIREMENTS. ALL SIDEWALKS SHALL HAVE A MAXIMUM CROSS SLOPE OF 2.0%, ALL SIDEWALKS SHALL HAVE A MAXIMUM LONGITUDINAL SLOPE OF 5.0%, AND ALL RAMPS SHALL HAVE A MAXIMUM LONGITUDINAL SLOPE OF 15:1.
- ALL SIDEWALKS AND CONCRETE FLATWORK SHALL HAVE A MINIMUM OF 0.5% SLOPE. CONTRACTOR SHALL CONTACT PROJECT ENGINEER IF THERE ARE SIDEWALKS OR CONCRETE FLATWORK WHICH DO NOT MEET THIS REQUIREMENT.
- THE CONTRACTOR SHALL SUBMIT MATERIAL SUBMITTALS, CUT SHEETS AND SHOP DRAWINGS FOR ALL CIVIL RELATED ITEMS FOR REVIEW PRIOR TO CONSTRUCTION.
- THIS PROJECT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE 2014 EDITION OF THE NEW MEXICO STATE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAY AND BRIDGE CONSTRUCTION (GREY BOOK).
- ALL EXISTING MANHOLES, VALVES AND METERS SHALL BE ADJUSTED TO NEW FINISH GRADE.
- THE CONTRACTOR SHALL SUBMIT A SEED MIX DESIGN TO THE OWNER FOR REVIEW AND APPROVAL PRIOR TO STARTING THE SEEDING ON THE PROJECT. THE SEED MIX DESIGN SHALL BE A SEED MIX RECOMMENDED BY NRCS FIELD OFFICE REPRESENTATIVE APPROPRIATE FOR PROJECT LOCATION.

ALL DISTURBED AREAS, NOT ADDRESSED BY ARCHITECTURAL LANDSCAPE PLAN WITH SLOPES OF LESS THAN 3:1 SHALL RECEIVE CLASS "A" SEEDING. ANY SLOPES THAT ARE 3:1 OR STEEPER SLOPES SHALL RECEIVE STEEP SLOPE SEEDING. THE STEEP SLOPE SEEDING SHALL CONSIST OF SEEDING IN CONJUNCTION WITH A 100% COCONUT FIBER BLEND EROSION BLANKET (NORTH AMERICAN GREEN C125) OR APPROVED EQUAL.

DPM HYDROLOGY CALCULATIONS

Precipitation Zone 2 - 100-year Storm				P(360) = 2.35 in		P(1440) = 2.75 in			
Basin	Basin Area (Ac)	Land Treatment Factors				Ew (in)	V(100-6) (af)	V(100-24) (af)	Q(100) (cfs)
		A	B	C	D				
Existing Conditions									
Site	1.800	0.000	0.000	1.640	0.160	1.218	0.183	0.188	5.902
Total	1.800							0.188	5.902
Proposed Conditions									
Site	1.800	0.000	0.000	1.080	0.720	1.53	0.229	0.253	6.775
Total	1.800							0.253	6.775

FIRST FLUSH CALCULATIONS

FIRST FLUSH =(0.42/12" * 31,363 SF) = 1098 CF

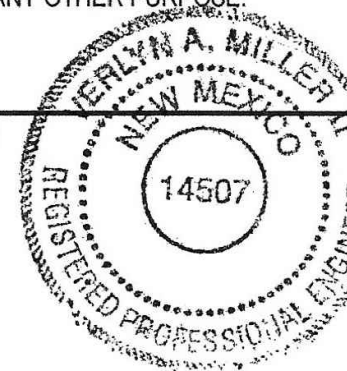
WATER HARVEST AREA

WATER HARVEST AREA				
Pond Rating Table				
Side Slope				
Elev. (ft)	Area (sq ft)	Volume (ac-ft)	Cum Volume (ac-ft)	Cum Volume (cu-ft)
35	1398	0.032	0	0
36	2359	0.054	0.043	1873
37	2987	0.069	0.104	4530

I, VERLYN A. MILLER, NMPE 14507, OF THE FIRM MILLER ENGINEERING CONSULTANTS, INC., HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED CONSTRUCTION DRAWINGS DATED 09/7/2021. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL HAS BEEN OBTAINED BY ANTHONY HARRIS OF HARRIS SURVEYING. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISTED THE PROJECT SITE ON 8/26/2022 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR A FINAL CERTIFICATE OF OCCUPANCY FROM THE CITY OF ALBUQUERQUE.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING & DRAINAGE ASPECTS OF THE DRAWINGS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

VERLYN A. MILLER 8/29/22 DATE



MILLER ENGINEERING CONSULTANTS
Engineers • Planners
3500 COMANCHE, NE
ALBUQUERQUE, NM 87109
(505) 888-7500
(505) 888-3800 (FAX)
WWW.MECNM.COM



VICINITY MAP

ZONE MAP E-16-Z

MICK RICH CONTRACTORS 8401 FIRESTONE LANE, ALBUQUERQUE NM, 87198

JOB # 20-18

DATE 07.27.21

HYDROLOGY PLAN A NEW FACILITY FOR APPLE CANYON GOURMET FOODS 2021 ALBUQUERQUE NEW MEXICO

HYDROLOGY PLAN

SHEET NO. C-100

KEYED NOTES:

1. PROPOSED CONCRETE VALLEY GUTTER AND FILLETS. SEE DETAIL SHEET C-502.
2. PROPOSED DRAINAGE SWALE. SEE DETAIL SHEET C-501.
3. PROPOSED WATER HARVEST AREA. INV.=35.5 SEE DETAIL SHEET C-501.
4. PROPOSED 7" WIDE CONCRETE SPILLWAY. SEE DETAIL SHEET C-501.
5. 2 - 24" SIDEWALK CULVERTS. SEE DETAIL SHEET C-501.
6. 5' TRANSITION FROM 7" TO 4.75" TO MATCH SIDEWALK CULVERT OPENING.
7. 4' WIDE x 12" DEEP RIP-RAP RUNDOWN. SEE DETAIL SHEET C-501.
8. 12' x 12" CONCRETE TRASH CONTAINER PAD. SEE ARCHITECTURAL DRAWINGS.
9. PROPOSED LOADING DOCK PUMP AND FORCE MAIN. SEE MECHANICAL DRAWINGS.
10. EXISTING CONCRETE CURB.
11. EXISTING ASPHALT PAVING.
12. PROPOSED ASPHALT PAD.
13. PROPOSED CONCRETE LOADING DOCK. SEE ARCHITECTURAL DRAWINGS.
14. PROPOSED CONCRETE CURB AND GUTTER. SEE DETAIL SHEET C-502.
15. PROPOSED CONCRETE EDGING TO ASPHALT PAD. SEE ARCHITECTURAL DRAWINGS.
16. PROPOSED BIKE RACK. SEE ARCHITECTURAL DRAWINGS.
17. EXISTING CURB AND GUTTER.
18. EXISTING RAILROAD TRACKS.

19. EXISTING FIRE HYDRANTS.
20. PROPOSED BUILDING. SEE ARCHITECTURAL DRAWINGS.
21. EXISTING DRAINAGE INLETS.
22. PROPOSED SIDEWALK RAMP.
23. PROPOSED BUILDING SETBACK.
24. PROPOSED AREA ENCLOSURE DRAIN. SEE DETAIL SHEET C-502.
25. WHEN ABUTTING NEW ASPHALT TO EXISTING ASPHALT, SAW CUT 12" OF EXISTING ASPHALT TO A NEAT STRAIGHT LINE TO NEW ASPHALT DEPTH. MATCH EXISTING ELEVATION.
26. HIGH POINT GRADE BREAK.

Private Drainage Facilities within City Right-of-Way
Notice to Contractor
(Special Order 19" "50-19")

1. Build sidewalk culvert per COA STD DWG 2236.
2. Contact Storm Drain Maintenance at (505) 857-8033 to schedule a meeting prior to forming.
3. An excavation permit will be required before beginning any work within City Right-Of-Way.
4. All work on this project shall be performed in accordance with applicable federal, state and local laws, rules and regulations concerning construction safety and health.
5. Two working days prior to any excavation, the contractor must contact **New Mexico One Call**, dial "811" [or (505) 260-1990] for the location of existing utilities.
6. Prior to construction, the contractor shall excavate and verify the locations of all obstructions. Should a conflict exist, the contractor shall notify the engineer so that the conflict can be resolved with a minimum amount of delay.
7. Backfill compaction shall be according to traffic/street use.
8. Maintenance of the facility shall be the responsibility of the owner of the property being served.
9. Work on arterial streets may be required on a 24-hour basis.
10. Contractor must contact Storm Drain Maintenance at (505) 857-8033 to schedule a construction inspection. For excavating and barricading inspections, contact Construction Coordination at (505) 924-3416.

GENERAL NOTES:

1. TWO WORKING DAYS PRIOR TO ANY EXCAVATION CONTRACTOR MUST CONTACT LINE LOCATING SERVICE 260-1990 FOR LOCATION OR EXISTING UTILITIES.
2. BACKFILL AND COMPACTION FOR SITEWORK SHALL BE ACCORDING TO THE GEOTECHNICAL REPORT FOR THE PROJECT.
3. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER(S) OF THE PROPERTY SERVED.
4. THE CONTRACTOR SHALL FIELD VERIFY LOCATION AND SIZE OF ALL UTILITIES PRIOR TO CONSTRUCTION.
5. ALL DISTURBED AREAS SHALL RECEIVE LANDSCAPE FABRIC WITH SEEDING, SEE GENERAL NOTES.
6. CONTRACTOR SHALL FIELD VERIFY THE FINISH FLOOR ELEVATIONS ON THE EXISTING BUILDINGS AND NOTIFY THE PROJECT ENGINEER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
7. CONTRACTOR SHALL CONTACT THE PROJECT ENGINEER IF THERE IS A CONFLICT BETWEEN THE STORM DRAIN LINES AND EXISTING UTILITIES, SO THAT THE PROPER ADJUSTMENTS CAN BE MADE PRIOR TO CONSTRUCTION.

LEGEND:

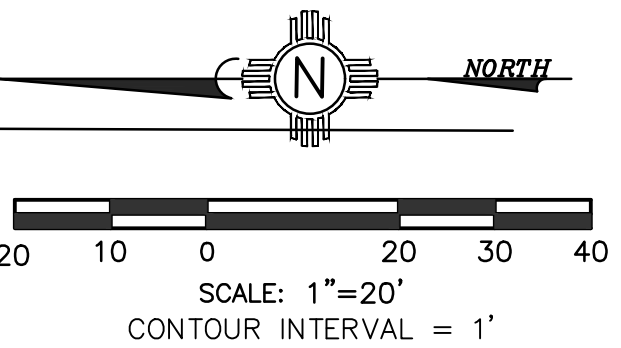
- | | | | |
|------------------|-------------------------------------------|------|------------------------|
| 38.00
FG | PROPOSED SPOT ELEVATIONS (FINISHED GRADE) | == | GRADE BREAK-HIGH POINT |
| MATCH
(95.19) | MATCH EXISTING ELEVATIONS | --- | SWALE |
| TC ON | TOP OF CONCRETE | SD | STORM DRAIN LINE |
| FL | FLOW LINE, CURB | 5895 | PROPOSED MAJOR CONTOUR |
| INV | INVERT | --- | PROPOSED MINOR CONTOUR |
| FG | FINISH GRADE | --- | EXISTING MAJOR CONTOUR |
| TBC | TOP OF BASE COURSE | --- | EXISTING MINOR CONTOUR |
| TC | TOP OF CURB | --- | TOP OF CUT SLOPE |
| TG | TOP OF GRATE | --- | AS-BUILT POINT |
| TA | TOP OF ASPHALT | | |
| → | FLOW ARROW | | |

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VERLYN A. MILLER
DATE 8/29/22
14507
REGISTERED PROFESSIONAL ENGINEER
NEW MEXICO

A1 GRADING AND DRAINAGE PLAN
SCALE: 1" = 20'



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WWW.MECNM.COM

MICK RICH CONTRACTORS 8401 FIRESTONE LANE, ALBUQUERQUE NM, 87198

JOB #
20-18

DATE
07.27.21

A NEW FACILITY
FOR
APPLE CANYON GOURMET FOODS
ALBUQUERQUE 2021 NEW MEXICO

GRADING AND
DRAINAGE
PLAN

SHEET NO.
C-101