

CITY OF ALBUQUERQUE



Richard J. Berry, Mayor

May 4, 2017

Martin Garcia, PE
1035 S. Bosque Loop
Bosque Farms, NM, 87123

RE: Pontilux - 1301 Cuesta Abajo Ct NE
Grading and Drainage Plan
Stamp Date: 5/4/17
Hydrology File: D16D002H

Dear Mr. Garcia:

PO Box 1293

Based upon the information provided in your re-submittal received 5/3/2017, the Grading Plan is approved for Grading Permit.

Albuquerque

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

NM 87103

Sincerely,

Renee C. Brissette

www.cabq.gov

Reneé C. Brissette, P.E.
Senior Engineer, Hydrology
Planning Department

[illegible]

THE PURPOSE OF THIS GRADING AND DRAINAGE PLAN LOCATED AT 1301 CUESTA ABAJO COURT N.E., ALBUQUERQUE, NM IS TO ACCOMMODATE A NEW WAREHOUSE AT THE SOUTH END OF THE LOT. THE LOT IS CURRENTLY UNIMPROVED AND IS BOUND TO THE NORTH BY AN EXISTING RAILROAD SPUR, TO THE EAST BY AN IMPROVED COMMERCIAL LOT, TO THE SOUTH BY CUESTA ABAJO COURT AND THE WEST BY LOS LOMITAS DRIVE.







A MASTER DRAINAGE PLAN DATED 1/18/05 WAS DEVELOPED FOR THIS TRACT WHICH IDENTIFIES THE MAXIMUM ALLOWABLE DISCHARGE ALLOWED IS 7.85 CFS. THE PROPOSED GRADING AND DRAINAGE PLAN AS SHOWN HEREON WILL GENERATE 5.95 CFS.

Hydrology Calculations				
Date: November 11, 2003				
DPM - Section 22.2				
Volume 2, January 1993				
Precipitation Zone	2			
100 Year Storm Depth, P (360)	2.35			
100 year Storm Depth, P (10 day)	3.95			
Treatment Area	A	B	C	D
Excess Precipitation Factors	0.53	0.78	1.13	2.12
Peak Discharge Factors	1.56	2.28	3.14	4.70
Land Treatment Area	Acres	Existing	Allowable	Proposed
Type "D" (Roof)		0.16	0.31	1.00
Type "C" (Unpaved Roadway)		0.00	0.36	0.00
Type "B" (Irrigated Lawns)		0.00	0.36	0.00
Type "A" (Undeveloped)		1.64	0.77	0.80
Total (Acres)		1.80	1.80	1.80
Excess Precipitaoin(in)		0.67	0.99	1.41
Volume (100), cf		4386.49	6438.60	9234.72
Volume (10),cf		2938.95	4313.86	6187.26
Volume (100,10 day), cf		5315.77	6438.60	15042.72
Q (100), cfs		3.31	4.59	5.95
Q (10), cfs		2.22	3.07	3.99

PROJECT BENCHMARK
THE PROJECT BENCHMARK FOR THIS SITE IS AN ACS BRASS MONUMENT
STAMPED "13-D16"

THE LOCAL BENCHMARK
THE LOCAL BENCHMARK IS THE STORM DRAIN MANHOLE ON
CUESTA ABAJO ROAD LOCATED AT THE DRIVEPAD

Legend

	EXISTING CONTOUR
	EXISTING EASEMENTS
	EXISTING STORM DRAIN MANHOLE
	EXISTING STORM DRAIN INLET
	NEW CONTOUR
	WATER BLOCK/HIGH POINT
FF	FINISH FLOOR
TC	TOP OF CURB
FL	FLOW LINE
TS	TOP OF SIDEWALK
TG	TOP OF GRATE

AREA TREATMENT "D" = 43560 SF

IMPERVIOUS AREA ——— $0.10 \times 43560 = 4356.0$ SF

PONDING REQUIRED — $4356.0 \times \frac{.34}{12} = 123.42$ CF

POND 1:

A36.50 = 584.11 SF

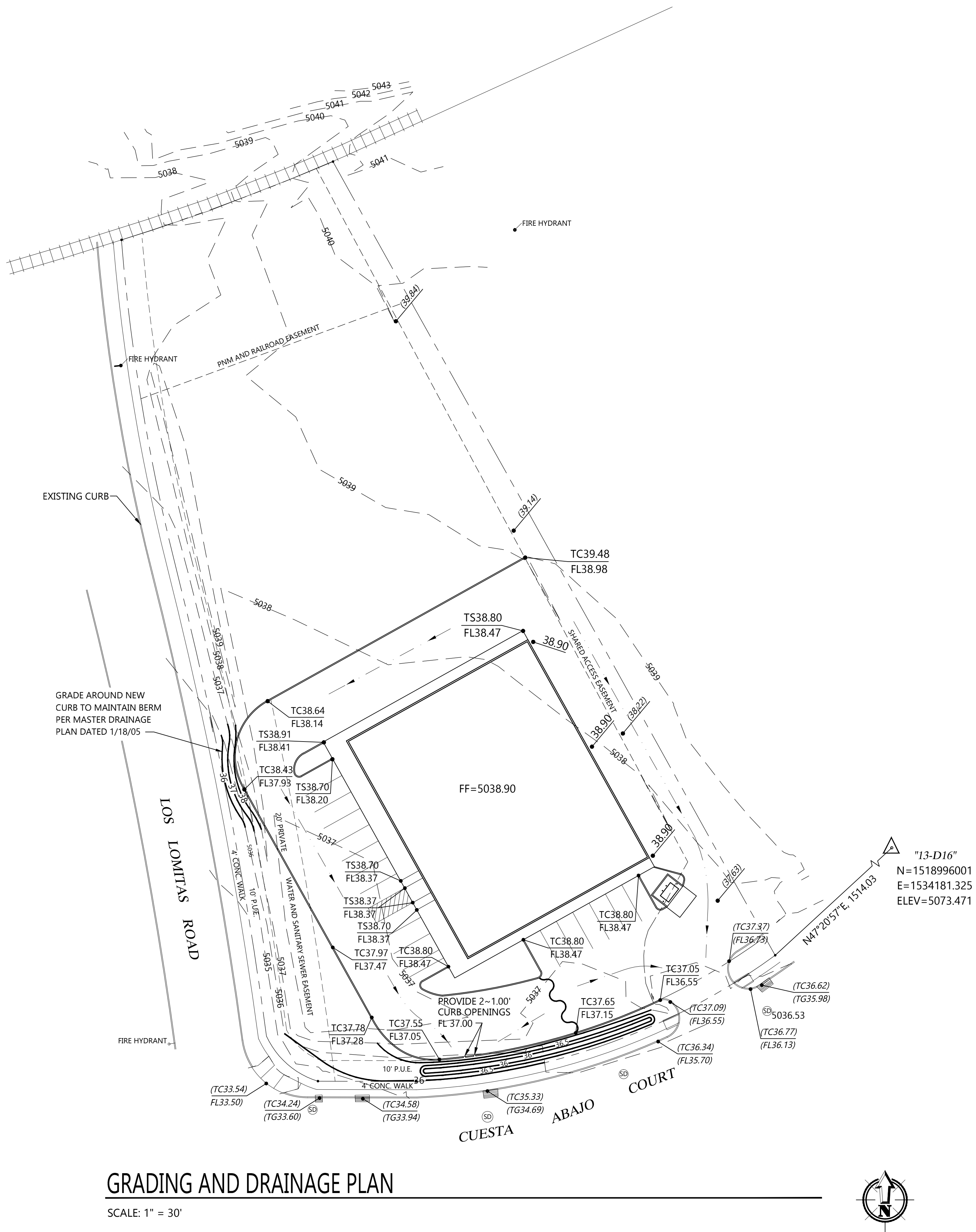
A36.00 = 234.31 SF

VOL 3 & 4: $584.11 + 234.31 = \frac{818.42}{2} \times 0.5 = 204.60$ CF

POND VOLUME PROVIDED: 204.60 CF

DEPTH OF WATER $\frac{123.42}{204.60} = 0.6 \times 0.5 = 0.30$

WATER SURFACE ELEV = 5036.00 + .30 = 5036.30

[illegible]

PROJECT NO.	16-054
DATE:	5.4.2017
DRAWN BY:	F PHILLIPS
CHECKED BY:	M GARCIA
SCALE:	1" = 30'

PROJECT TITLE	12,000 SQ. FT. WAREHOUSE 1301 CUESTA ABAJO COURT, NE ALBUQUERQUE, NEW MEXICO 87113
SHEET TITLE	GRADING AND DRAINAGE PLAN

SHEET

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