

CITY OF ALBUQUERQUE



May 9, 2017

Bill Buckley
Bill Buckley Solar Architects
218 Camino Seis,
Elephant Butte, NM 87935

Re: Ware House
3101 Cuesta Abajo Court, NE
Traffic Circulation Layout
Architect's Stamp dated 11-14-16 (D16D002H)

Dear Mr. Buckley,

The TCL submittal received 5-8-17 is approved for Building Permit. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and a Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Racquel M. Michel, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

MA/RA via: email
C: File



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 1/2016)

Project Title: _____ **Building Permit #:** _____ **Hydrology File #:** _____

DRB#: _____ **EPC#:** _____ **Work Order#:** _____

Legal Description: _____

City Address: _____

Applicant: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Other Contact: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Check all that Apply:

DEPARTMENT:

- ☐ HYDROLOGY/ DRAINAGE
- ☐ TRAFFIC/ TRANSPORTATION
- ☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

- ☐ AS-BUILT CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ DRAINAGE MASTER PLAN
- ☐ DRAINAGE REPORT
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ NEIGHBORHOOD IMPACT ASSESMENT (NIA)
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ OTHER (SPECIFY) _____

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

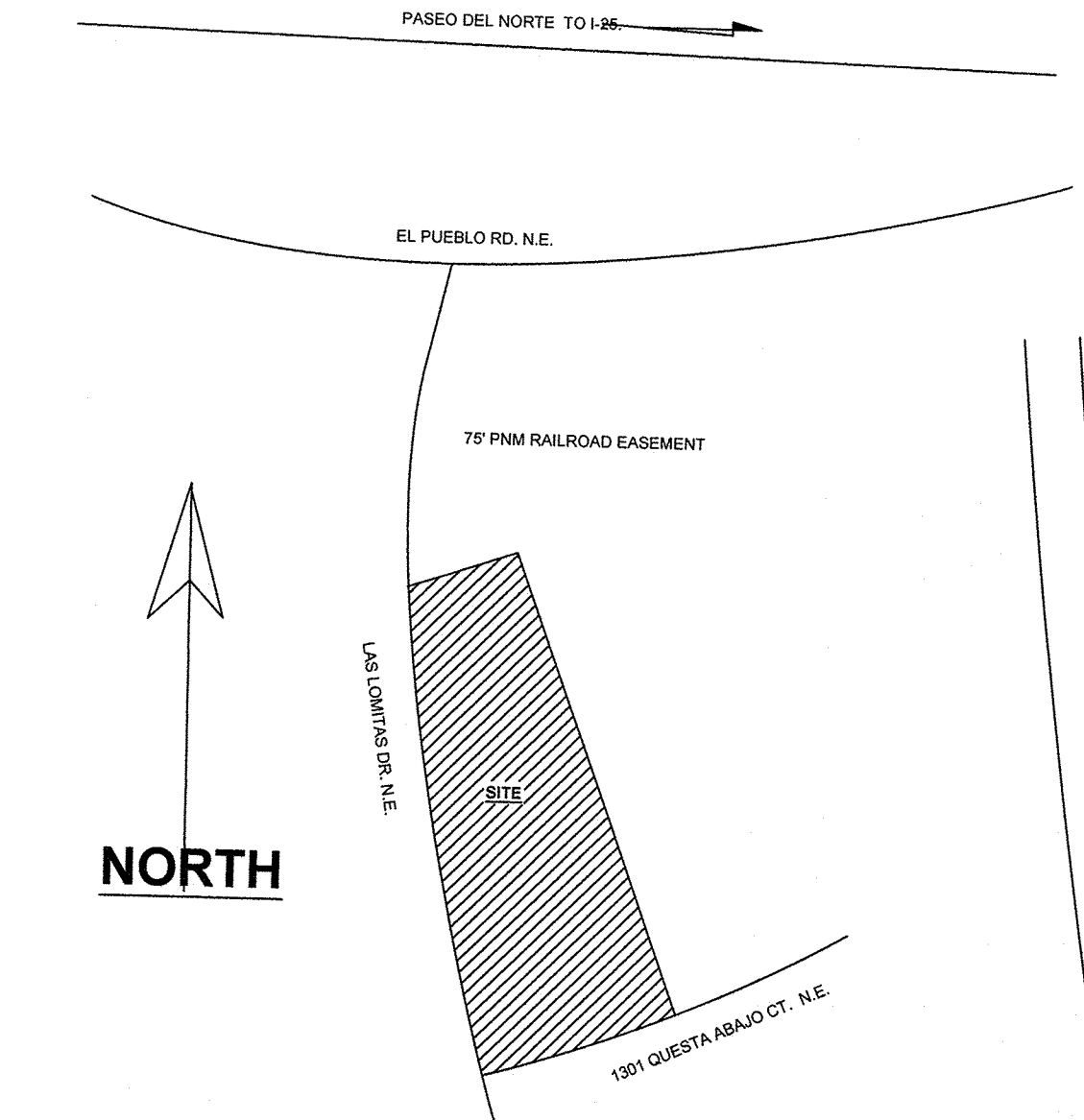
- ☐ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY
- ☐ GRADING/ESC PERMIT APPROVAL
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING/ PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ **PRE-DESIGN MEETING?**
- ☐ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: ☐ Yes ☐ No

DATE SUBMITTED: _____ **By:** _____

COA STAFF: _____ **ELECTRONIC SUBMITTAL RECEIVED:** _____

FEE RECEIVED: _____



VICINITY MAP (D-16)
NOT TO SCALE

CURVE TABLE					
CURVE	LENGTH	RADIUS	CHORD BRNG	CHORD	DELTA
C1	186.77'	275.00'	N70°39'50"E	183.21'	38°54'51"
C2	35.85'	25.00'	S48°47'43"E	32.86'	82°10'24"
C3	229.87'	2034.00'	N10°36'59"W	229.75'	06°28'31"
C4	159.82'	966.00'	S09°28'51"E	159.64'	09°28'46"
C5	108.61'	1145.92'	N69°41'14"E	108.56'	05°25'49"

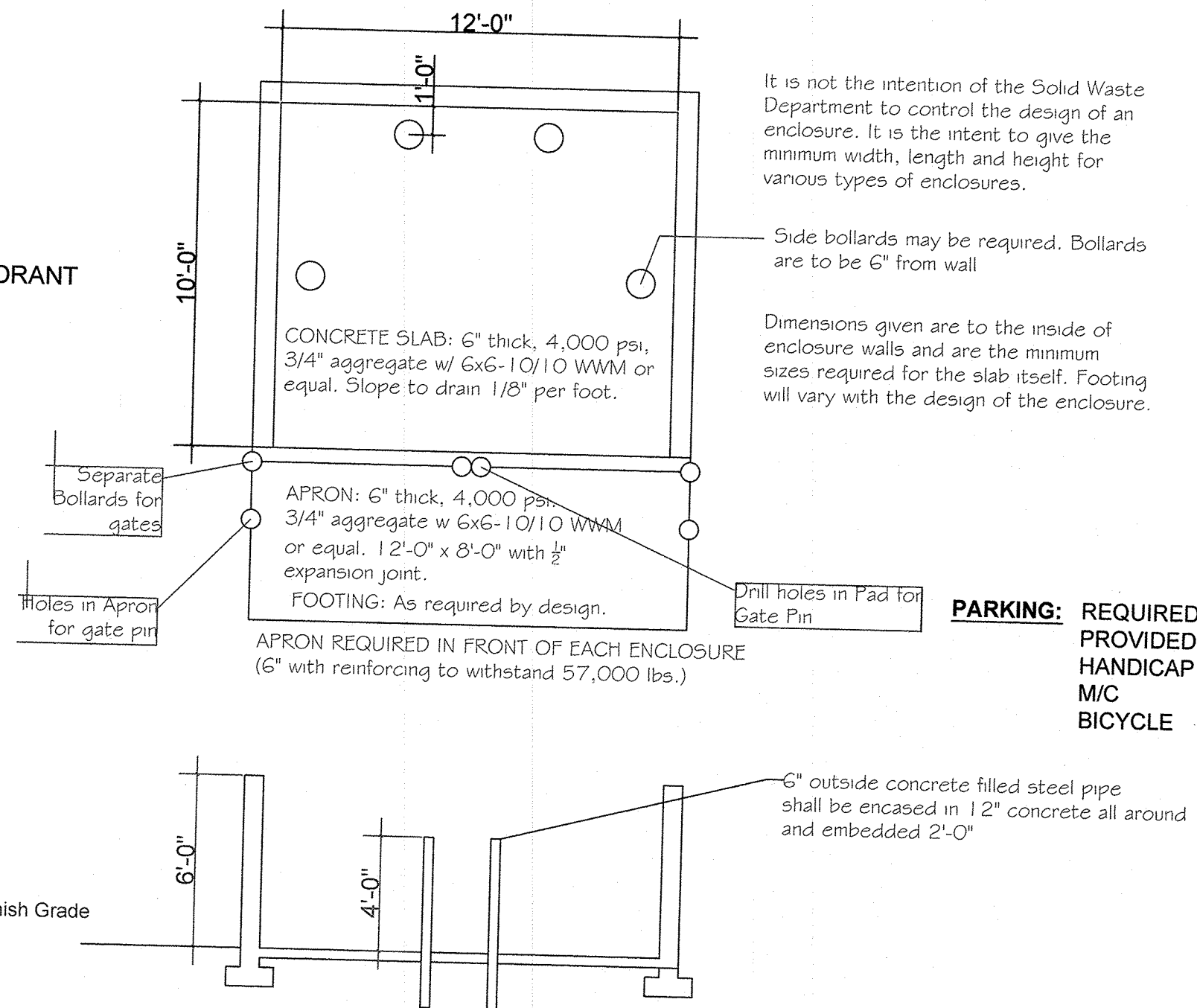
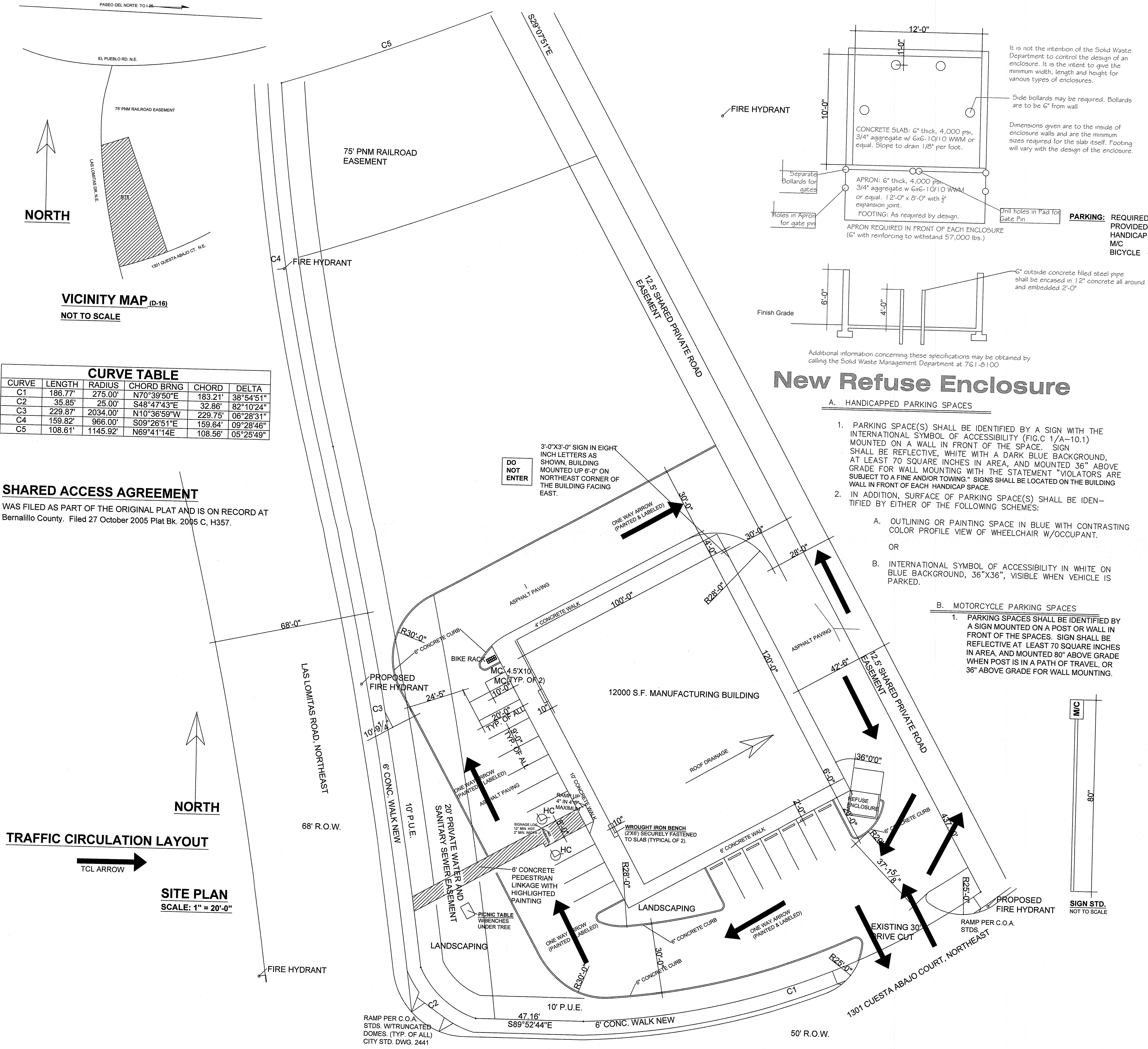
SHARED ACCESS AGREEMENT

WAS FILED AS PART OF THE ORIGINAL PLAT AND IS ON RECORD AT Bernalillo County. Filed 27 October 2005 Plat Bk. 2005 C, H357.

TRAFFIC CIRCULATION LAYOUT



SITE PLAN
SCALE: 1" = 20'-0"



Additional information concerning these specifications may be obtained by calling the Solid Waste Management Department at 761-8100

New Refuse Enclosure

A. HANDICAPPED PARKING SPACES

- PARKING SPACE(S) SHALL BE IDENTIFIED BY A SIGN WITH THE INTERNATIONAL SYMBOL OF ACCESSIBILITY (FIG.C 1/A-10.1) MOUNTED ON A WALL IN FRONT OF THE SPACE. SIGN SHALL BE REFLECTIVE, WHITE WITH A DARK BLUE BACKGROUND, AT LEAST 70 SQUARE INCHES IN AREA, AND MOUNTED 36" ABOVE GRADE FOR WALL MOUNTING WITH THE STATEMENT "VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING". SIGNS SHALL BE LOCATED ON THE BUILDING WALL IN FRONT OF EACH HANDICAP SPACE.
- IN ADDITION, SURFACE OF PARKING SPACE(S) SHALL BE IDENTIFIED BY EITHER OF THE FOLLOWING SCHEMES:
 - OUTLINING OR PAINTING SPACE IN BLUE WITH CONTRASTING COLOR PROFILE VIEW OF WHEELCHAIR W/OCCUPANT.
 - INTERNATIONAL SYMBOL OF ACCESSIBILITY IN WHITE ON BLUE BACKGROUND, 36"x36", VISIBLE WHEN VEHICLE IS PARKED.

B. MOTORCYCLE PARKING SPACES

- PARKING SPACES SHALL BE IDENTIFIED BY A SIGN MOUNTED ON A POST OR WALL IN FRONT OF THE SPACES. SIGN SHALL BE REFLECTIVE AT LEAST 70 SQUARE INCHES IN AREA, AND MOUNTED 80" ABOVE GRADE WHEN POST IS IN A PATH OF TRAVEL, OR 36" ABOVE GRADE FOR WALL MOUNTING.

DESIGN NOTES:

CONSTRUCTION OF NEW BUILDING. BUILDING TO BE BUSINESS AND WAREHOUSE SHELL ONLY. SPACE TO BE DESIGNED AS NEEDED FOR LEASING CLIENT. ALL PLUMBING FOR RESTROOM WILL BE ROUGHED IN. BUILDING CODE ANALYSIS - 2009 IBC

OCCUPANCY GROUP:	
PROPOSED	B/F1
CONSTRUCTION TYPE:	IIB
OCCUPANCY SEPARATION:	1HR
SEISMIC AREA	C2
ZONING: SU-1 IP	ZONE ATLAS PAGE D16
LIVE ROOF LOAD:	20 PSF
WIND LOAD:	90 MPH
28 DAY CONCRETE STRENGTH	3500 PSI
OCCUPANT LOAD:	
OFFICE	= 1400/200 = 7
F1 MANUFACTURING	= 10600/1000 = 11

TOTAL OCCUPANCY	
BUILDING AREA ACTUAL:	12,000 S.F.
BUILDING AREA ALLOWABLE:	15,500 S.F.

AREA MODIFICATIONS IBC 506:	
FRONTAGE INCREASE 100%	15,500 S.F.
AUTOMATIC FIRE SPRINKLER 200%	0 S.F.
TOTAL INCREASED ALLOWABLE S.F.	31,000 S.F.

NUMBER OF STORIES ACTUAL:	1
NUMBER OF STORIES ALLOWABLE:	2

AREA SEPARATION	1 HR - REQUIRED
FIRE SPRINKLER	1 HR - PROVIDED
	NOT REQUIRED

OTHER FIRE RATINGS:	
CORRIDORS	NONE REQUIRED
MECHANICAL / ELECTRICAL ROOMS	NONE REQUIRED

WATER CLOSETS:	
WATER CLOSETS:	IBC TAB. 2002.1
LAVATORIES REQUIRED:	1 PER 25 FOR THE FIRST 50
REQUIRED: OCCUPANCY LESS THAN 15	1 PER 40 FOR THE FIRST 80
DRINKING FOUNTAINS REQUIRED:	15 ONE RESTROOM REQUIRED
	1 PER 100

PROVIDED: WATER CLOSETS	LAVATORIES
MALE: 2 REQUIRED 2 PROVIDED	2 REQUIRED 2 PROVIDED
FEMALE: 2 REQUIRED 2 PROVIDED	2 REQUIRED 2 PROVIDED
WATER FOUNTAINS: 1 REQUIRED 1 PROVIDED	

FIRE MARSHALL REQUIREMENTS	
FIRE EXTINGUISHERS	(5) TYPE 2A10BC

CODE ANALYSIS

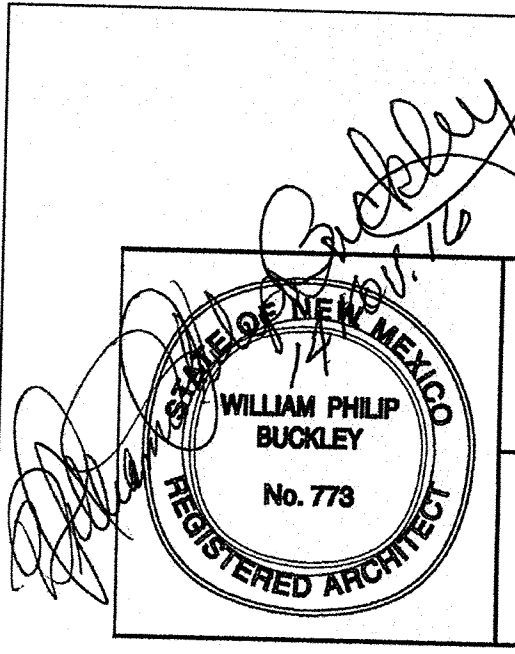
2009 INTERNATIONAL BUILDING CODE
2009 EXISTING BUILDING CODE
2009 FIRE CODE
2009 NEW MEXICO BUILDING CODE
2012 UNIFORM MECHANICAL CODE
2012 UNIFORM PLUMBING CODE
2014 NATIONAL ELECTRICAL CODE

DRAWING INDEX

T1	COVER SHEET, CODE ANALYSIS, SITE PLAN
A2	PROPOSED FLOOR PLAN
A3	ELEVATIONS
P1	PLUMBING PLAN
M1	MECHANICAL PLAN
E1	ELECTRICAL PLAN

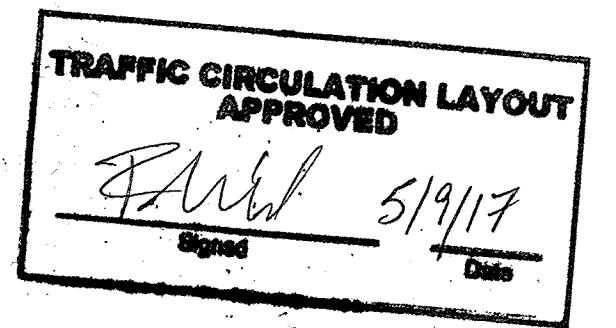
GENERAL NOTES:

- PERMITS AND CODES:
- CONTRACTOR IS RESPONSIBLE FOR ALL STATE AND LOCAL PERMITS AND SUBMITTAL REQUIREMENTS. THIS INCLUDES BUT IS NOT LIMITED TO STRUCTURAL, ELECTRICAL, MECHANICAL AND UTILITY HOOK-UPS. CONTRACTOR IS RESPONSIBLE FOR FOLLOWING GUIDELINES SET FORTH IN THE 2012 IBC, ANSI 117.1-2003 AND LOCAL CODES FOR BERNALILLO COUNTY.
 - ELECTRICAL, WIRING METHODS AND MATERIALS SHALL MEET THE PROVISIONS OF THE 2014 NATION ELECTRICAL CODE AND 2014 NEW MEXICO ELECTRICAL CODE AND OTHER APPLICABLE CODES OR STANDARDS.
 - PLUMBING SHALL MEET ALL PROVISIONS OF THE 2012 UNIFORM PLUMBING CODE, 2012 UNIFORM MECHANICAL CODE, THE 2012 NEW MEXICO PLUMBING AND MECHANICAL CODE AND OTHER APPLICABLE CODES OR STANDARDS.



bill buckley solar architects
218 camino seis, elephant butte, nm 87935
billbuckley1@netscape.net 505-263-1960

12,000 SQ. FT. WAREHOUSE
1301 CUESTA ABAJO COURT, NE
ALBUQUERQUE, NEW MEXICO 87113
SHT. T-1



ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.

