

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

September 15, 2022

Roger Lengyel
Lengyel & Associates
3241 Siringo Rd.
Santa Fe, NM 87507

**RE: Apple Canyon Gourmet
1301 Cuesta Abajo Ct. NE
Permanent CO – Accepted
Traffic Circulation Layout Approval Date: 10/6/21
Architect Stamp Date (rev): 9/15/2022
Transportation File: D16D002H**

Dear Mr. Lengyel:

PO Box 1293

Albuquerque

Based upon the information provided in your revised submittal received 9/15/2022 and site visit on 9/15/2022, Transportation Development has no objection to the Permanent Certificate of Occupancy based. This letter serves as a “green tag” from Transportation Development for Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

NM 87103

If you have any questions, please contact me at 924-3986 or earmijo@cabq.gov.

Sincerely,

www.cabq.gov

Ernest Armijo, P.E.
Principal Engineer, Planning Dept.
Development Review Services

City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: Facility for Apple Canyon Gourmet **Building Permit #:** _____ **Hydrology File #:** _____

DRB#: _____ **EPC#:** _____ **Work Order#:** _____

Legal Description: TR 6 Plat for Las Lamitas Business Park Subdivision

City Address: 1301 Cuesta Abajo Ct. NE

Applicant: Lengyel & Associates **Contact:** Roger lengyel

Address: 3241 Siringo Rd, Santa Fe, NM 87507

Phone#: 505-471-3443 **Fax#:** _____ **E-mail:** rogerlengyel@aol.com

Other Contact: Apple Canyon Gourmet **Contact:** Greg Shawver

Address: 1301 Cuesta Abajo Court NE, Albuquerque, NM 87113

Phone#: 505-332-3000 **Fax#:** _____ **E-mail:** greg@applecanyon.com

TYPE OF DEVELOPMENT: _____ PLAT (# of lots) _____ RESIDENCE _____ DRB SITE ☒ ADMIN SITE

IS THIS A RESUBMITTAL? _____ Yes ☒ No

DEPARTMENT ☒ TRANSPORTATION _____ HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE MASTER PLAN
- ☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ STREET LIGHT LAYOUT
- ☐ OTHER (SPECIFY) _____
- ☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING/ PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOODPLAIN DEVELOPMENT PERMIT
- ☐ OTHER (SPECIFY) _____

DATE SUBMITTED: 8/24/2022

By: 

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____



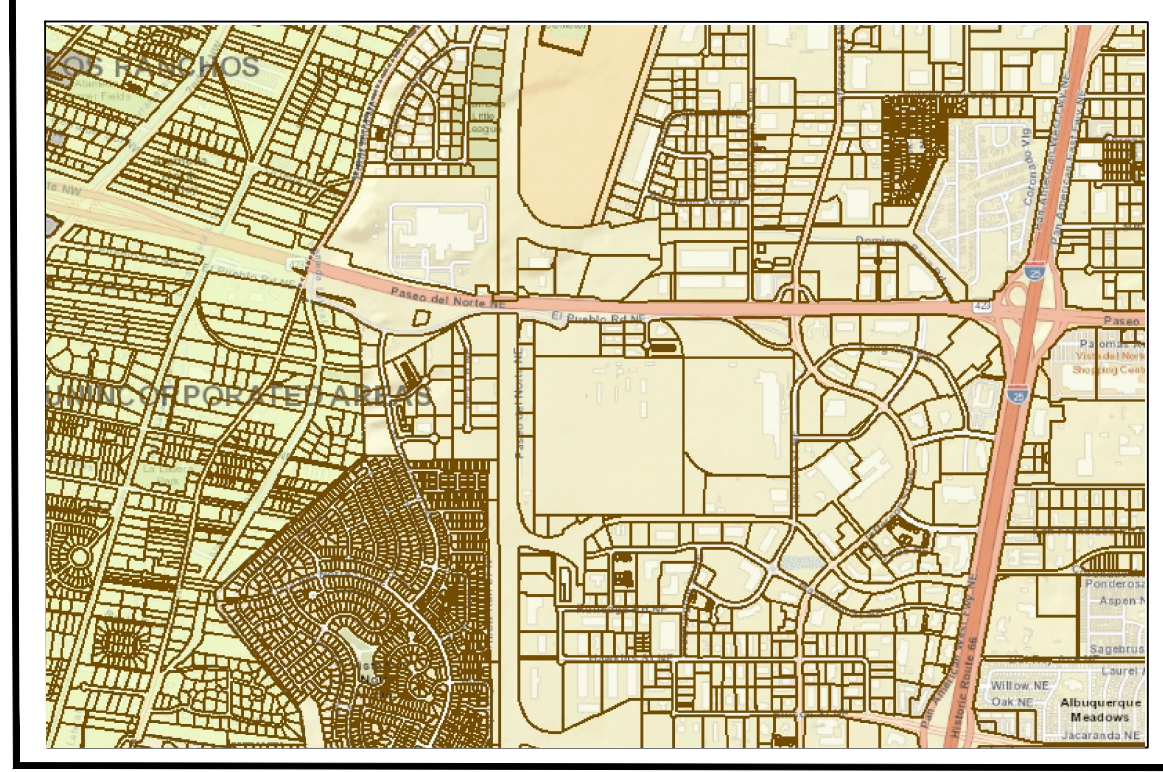
TRAFFIC CERTIFICATION

ROGER W. LENGYEL NMRA 781, OF THE FIRM *LENGYEL & ASSOCIATES*, HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 08.24.22. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY *ROGER W. LENGYEL* OF THE FIRM OF *LENGYEL & ASSOCIATES*. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON *AUGUST 9, 2022* AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR AN *OCCUPANCY CERTIFICATE*.

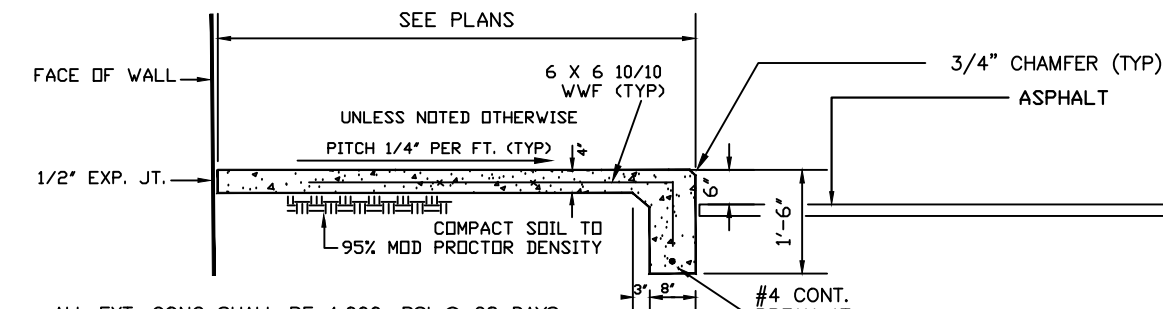
THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.


Signature of Architect

9/15/22
Date



VICINITY MAP



SIDEWALK DETAIL

SITE DATA

LOT SIZE:	78560 SQ. FT. (1.8 ACRES)	OFF-STREET PARKING GROSS FLOOR AREA:	13,128 SF.
BUILDING SETBACKS:		CARS:	1: 1000 SQ. FT. = 1 SPACE + 1 HC
FRONT:	20' (INTERNAL ROAD)	MOTORCYCLES:	1:25 SPACES = 1 SPACE
INTERIOR SIDE:	10'	BICYCLES:	3-BIKES W/ 4 BIKE RACK
STREET SIDE:	75' (FACING LOS LOMITAS)	TOTAL PARKING SPACES REQUIRED:	= 14
REAR:	35'	TOTAL PARKING SPACES PROVIDED:	= 14
LOT COVERAGE:	50% (39,280 SQ. FT.)	LANDSCAPING:	
GROSS LOWER FLOOR AREA:	12,000 SQ. FT.	15% ON LOT MINUS BUILDING AREA (PHASE 1) = 78,560 SF - 12,000 SF = 66,560 SF X 15% = 9,984 SQ. FT.	
BUILDING HEIGHT:		SIDEWALKS:	
BUILDING HEIGHT (ALLOWABLE):	26'	ALONG STREETS - EXISTING	
BUILDING HEIGHT (ACTUAL):	23'	AT BUILDING FRONT:	10' WIDE ALONG BUILDINGS FRONT; TREES AT 25' O.C. +/- IN PLANTERS.
OCCUPANT LOAD:			
BY CODE:	= 65 OCCUPANTS		
ACTUAL STAFF AND MANAGEMENT OCCUPANT LOAD:	= 9 OCCUPANTS		

PAVING LEGEND

	EXISTING PAVEMENT AT SHARED ACCESS EASEMENTS FOR LOT 6 & LOT 7
	FIRE LANE & SEMI TRUCK/TRAILER PAVING: 3" ASPHALT OVER 4" ABC OVER 8" COMPACTED SUBGRADE (SEE GEOTECHNICAL REPORT)
	PARKING LOT PAVING: 3" ASPHALT OVER COMPACTED SUBGRADE (SEE GEOTECHNICAL REPORT)

CLEAR SIGHT TRIANGLE REQUIREMENTS
LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT TRIANGLE REQUIREMENTS. THEREFORE LANDSCAPING, SIGNS, WALLS, FENCES, TREES AND SHRUBBERY BETWEEN 3' AND 8' FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ALLOWED WITHIN THE CLEAR SIGHT TRIANGLE.

GENERAL NOTES

1. ALL EXTERIOR CONCRETE SHALL BE 4,000, PSI AT 28 DAYS W/ 3-5" SLUMP (UNLESS NOTED OTHERWISE ON THE STRUCTURAL PLAN)

VARIANCE

NO VARIANCES WILL BE ASKED FOR

SIDEWALK DETAIL

NO SCALE

SIDEWALK DETAIL

NO SCALE

NOTE: ALL DELIVERY AND FREIGHT VEHICLES WILL BE REQUIRED TO USE APPLE CANYON GOURMET FOODS APPROVED PAVEMENT LOCATIONS FOR MANEUVERING

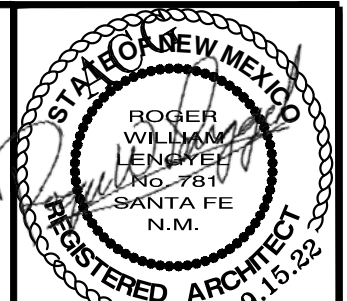
PAVEMENT MARKINGS FOR PARKING SPACES PROVIDE THE WORDING "NO PARKING" FOR HC DRIP OFF ZONE AND "MC" FOR MOTORCYCLE PARKING SPACE IN CAPITAL LETTERS EACH OF WHICH SHALL BE AT LEAST ONE FOOT HIGH AND AT LEAST TWO INCHES WIDE, PLACE AS SHOWN ON PLAN

APPLE CANYON GOURMET

NOTE: ALL PARKING STALLS SHALL BE 8'-6" WIDE X 19'-0" LONG

NOTE: PARKING LOT GRADING, MIN 1%, MAX 6%

SCOPE OF THE WORK:
APPLE CANYON GOURMET FOODS PURCHASES FOOD INGREDIENTS ITEMS AND COMBINES THEM IN PROPORTIONS AS REQUIRED BY RECIPES. THE PRODUCT IS THEN PACKAGED FOR DISTRIBUTION TO THEIR CUSTOMERS.



JOB #
20-18

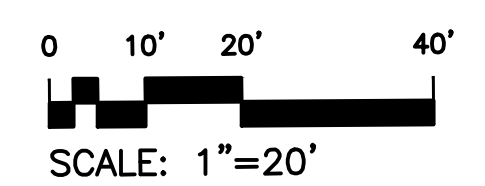
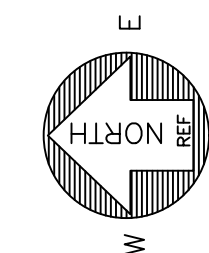
DATE
09.15.22

MICK RICH CONTRACTORS 8401 FIRESTONE LANE, ALBUQUERQUE NM, 87198
A NEW FACILITY FOR APPLE CANYON GOURMET FOODS
2021
1301 CUESTA ABAJO CT. ALBUQUERQUE NEW MEXICO

SHEET NO.
ARCH 003

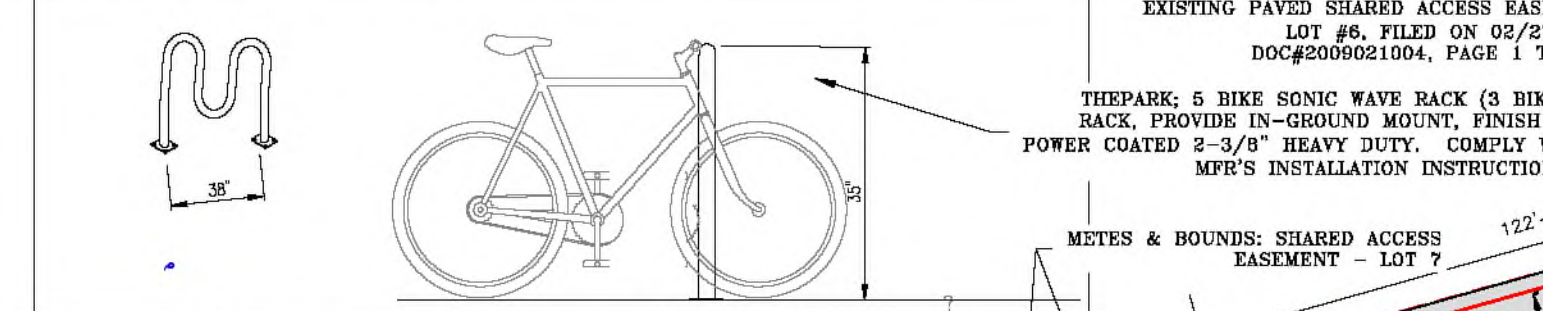
PARKING CIRCULATION LAYOUT PLAN

1
003
1"=20'



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LOT SIZE:	78560 SQ. FT. (1.8 ACRES)	OFF STREET PARKING:	13,128 SF.
BUILDING SETBACKS:		GROSS FLOOR AREA:	1: 1200 SQ. FT. = 13 SPACES + 1 HC
FRONT:	20' (INTERNAL ROAD)	CARS:	1:25 SPACES = 1 SPACE
INTERIOR SIDE:	10'	MOTOR CYCLES:	= 14
STREET SIDE:	35' (FACING LOS LOMITAS)	BICYCLES:	3-BIKES W/ 4 BIKE RACK
REAR:	75'	TOTAL PARKING SPACES REQUIRED:	= 14
LOT COVERAGE:	50% (39,280 SQ. FT.)	TOTAL PARKING SPACES PROVIDED:	= 14
GROSS LOWER FLOOR AREA:	12,147 SQ. FT.	LANDSCAPING:	
		LANDSCAPE REQUIRED:	15% OF LOT MINUS BUILDING AREA (PHASE 1) = 78,560 SF - 12,147 SF = 66,413 SF X 15% = 9,961 SQ. FT.
		LANDSCAPE AVAILABLE:	= 9,967 SQ. FT.
BUILDING HEIGHT:	26'	SIDEWALKS:	
BUILDING HEIGHT (ALLOWABLE):	23'	ALONG STREETS - EXISTING:	10' WIDE ALONG BUILDINGS FRONT; TREES AT 25' O.C. 4'-IN PLANTERS.
BUILDING HEIGHT (ACTUAL):		AT BUILDING FRONT:	
OCCUPANT LOAD:			
BY CODE:			
ACTUAL STAFF AND MANAGEMENT OCCUPANT LOAD:			



B.1 BIKE RACK
NO SCALE

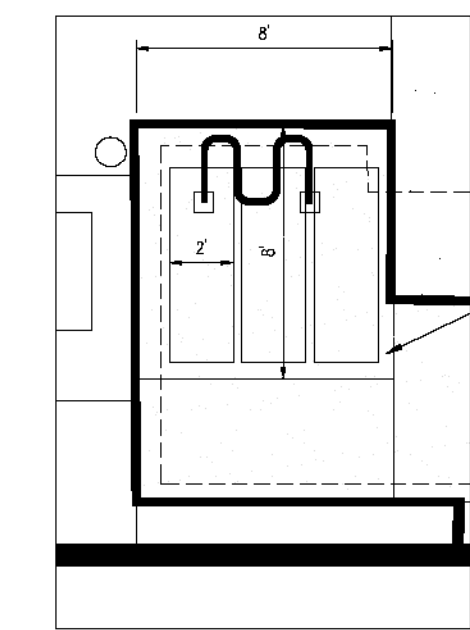
PROVIDE PAYMENT SECTION SIMILAR TO THE FIRE LANE PAVING SECTION

INSTALL MISSING PORTION OF SIDEWALK PER CITY STANDARDS, #2430. GENERAL CONTRACTOR SHALL COORDINATE WITH RAILROAD AGENT PRIOR TO CONSTRUCTION OF SIDEWALK FRONTING ON LAS LOMITAS. EXACT LOCATION OF SIGNS TO BE DETERMINED IN THE FIELD WITH THE CITY & RR AGENT

25' RAILROAD RIGHT-OF-WAY FROM CL OF TRACKS

EXISTING RAILROAD CROSSING SIGNALS

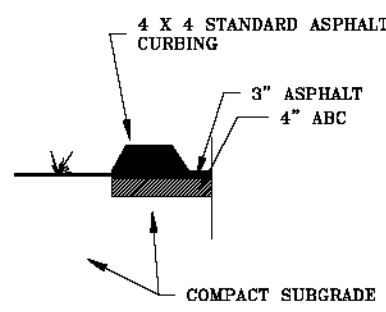
TERMINATE SIDEWALK 5'-0" SOUTH FROM CENTER LINE OF SOUTHERN MOST RR CROSSING SIGNAL FOOTING PER AGREEMENT WITH NMDOT.



B.2 BIKE RACK
NO SCALE

WORK WITHIN PUBLIC "RIGHT OF WAY."

1. ALL BROKEN AND CRACKED SIDEWALKS MUST BE REPLACED WITH NEW SIDEWALKS AND CURB AND GUTTER (COMPLY WITH CITY STANDARD DETAIL 2415A.)
2. ALL WORK WITHIN THE PROJECT PROPERTY BOUNDARIES IS PRIVATE WORK.



ASPHALT EDGING

EXISTING PAVED SHARED ACCESS EASEMENT, LOT #6, FILED ON 02/27/2009 DOC#2009021004, PAGE 1 THRU 3

SHARED ACCESS EASEMENT, LOT 7

SEE BIKE RACK DETAIL "B.1 & B.2" (THIS SHEET)

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EXISTING PAVED SHARED ACCESS EASEMENT, LOT #6, FILED ON 02/27/2009 DOC#2009021004, PAGE 1 THRU 3

SHARED ACCESS EASEMENT, LOT 7

SEE BIKE RACK DETAIL "B.1 & B.2" (THIS SHEET)

LOT 7