

CITY OF ALBUQUERQUE



May 14, 2019

Peter Butterfield Architect
Peter Pineda
13013 Glenwood Hills Ct NE
Albuquerque NM 87113

Re: Las Lomas Office/Warehouse
7901 Las Lomas Dr. NE
Traffic Circulation Layout
Engineer's/Architect's Stamp 05-01-19 (D16D002I)

Dear Mr. Pineda,

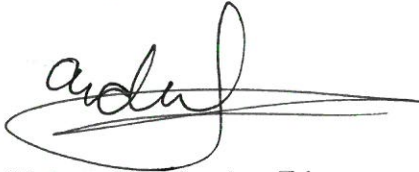
The TCL submittal received 05-09-19 is approved for Building Permit. **Please notice that the bike rack is only for 2 bikes and you need to provide a bike rack that is suitable for 5 bikes. Also, make sure the ADA parking space has a wheel chair marking on the pavement.**

A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and a Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

A handwritten signature in black ink, appearing to read 'Mojgan', with a large, sweeping horizontal stroke underneath.

Mojgan Maadandar, E.I.
Associate Engineer, Planning Dept.
Development Review Services

/MM via: email
C: File

ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.

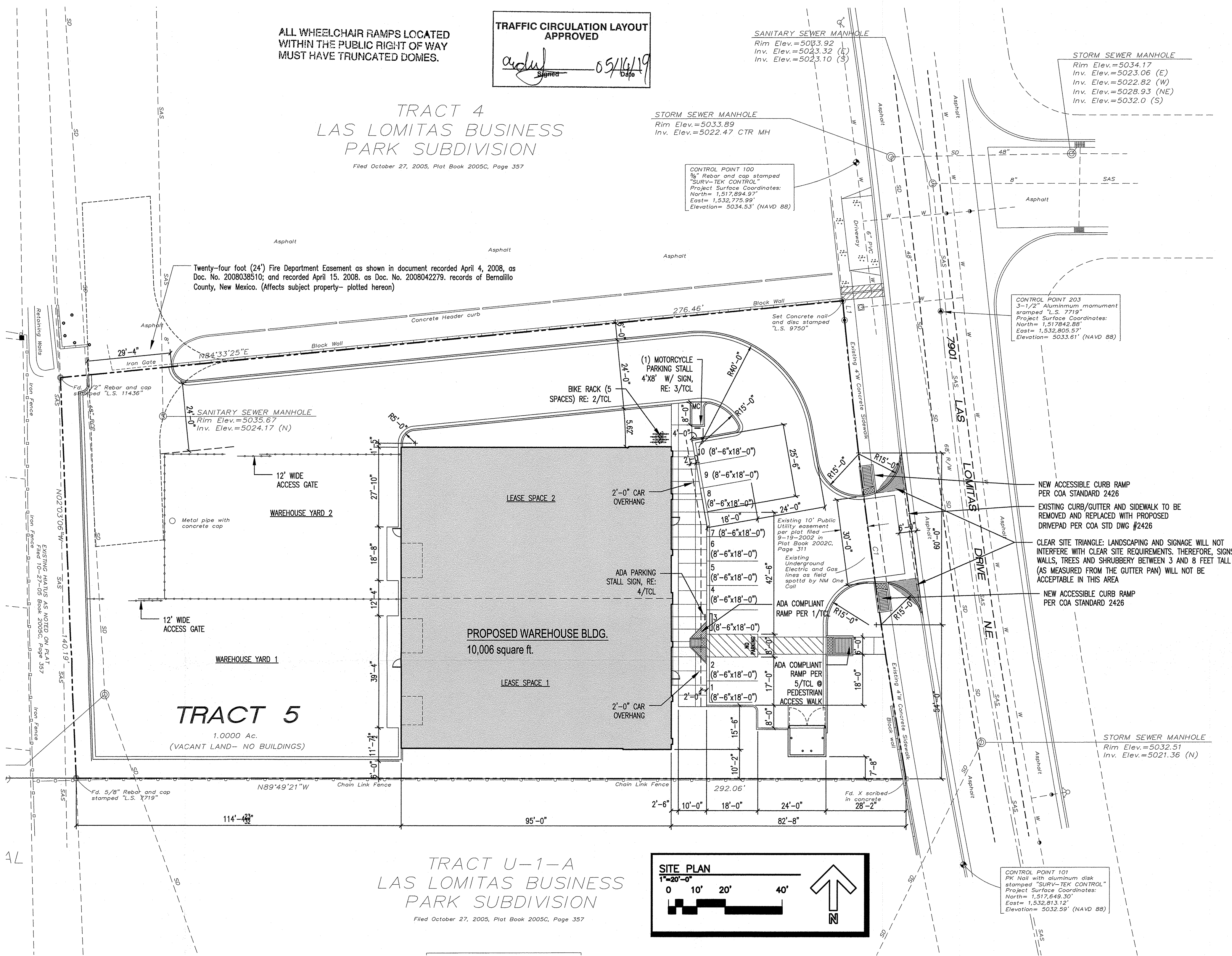
TRAFFIC CIRCULATION LAYOUT APPROVED

05/16/19
Date

TRACT 4
LAS LOMITAS BUSINESS
PARK SUBDIVISION

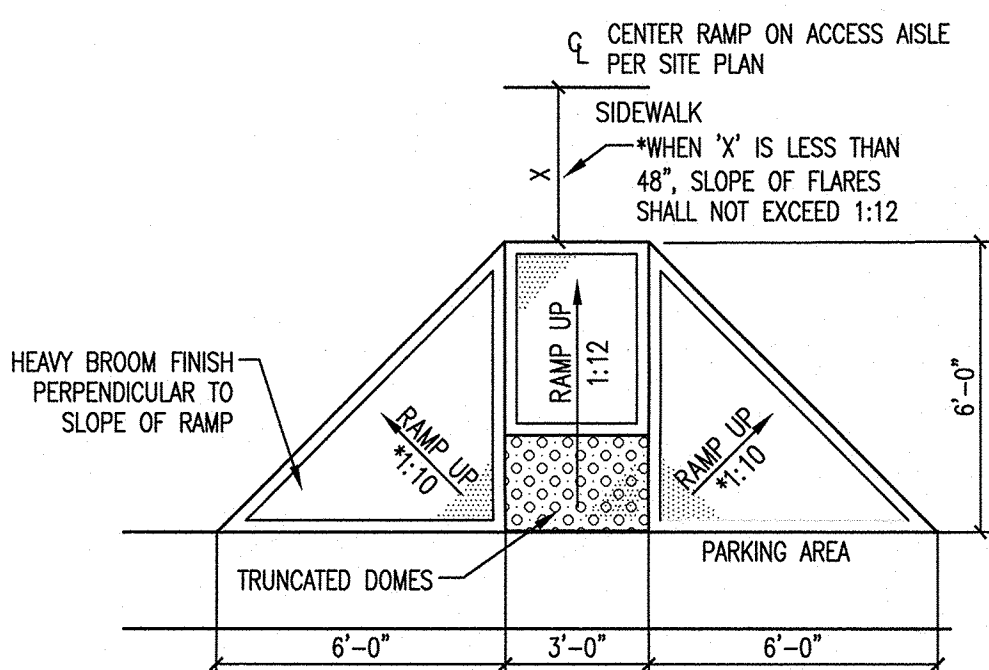
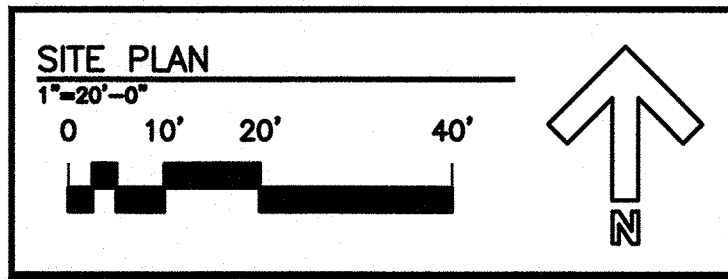
Filed October 27, 2005, Plat Book 2005C, Page 357

Twenty-four foot (24') Fire Department Easement as shown in document recorded April 4, 2008, as Doc. No. 2008038510; and recorded April 15, 2008, as Doc. No. 2008042279, records of Bernalillo County, New Mexico. (Affects subject property- plotted herein)

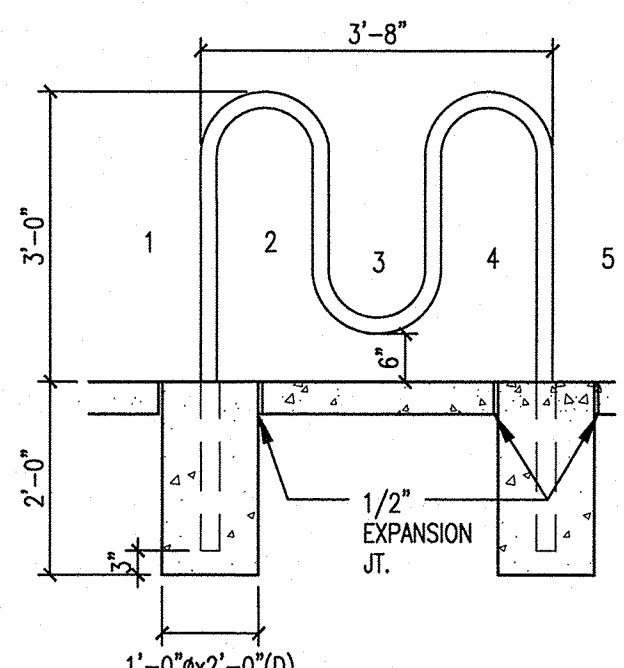


TRACT U-1-A
LAS LOMITAS BUSINESS
PARK SUBDIVISION

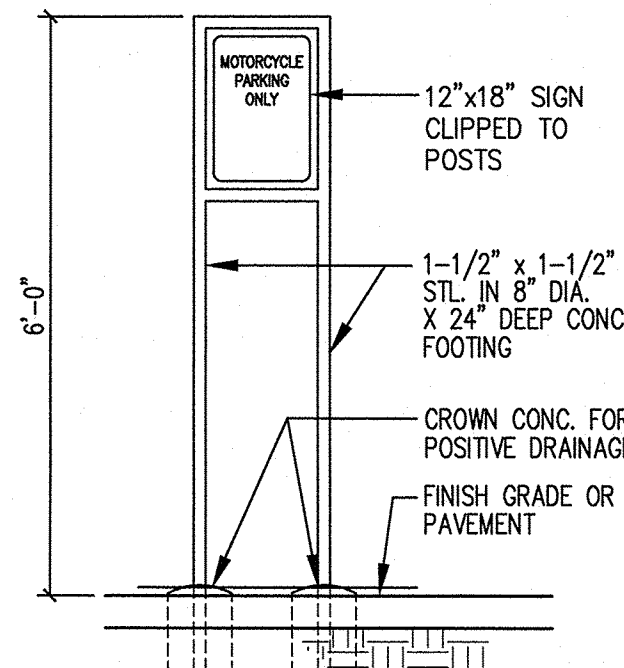
Filed October 27, 2005, Plat Book 2005C, Page 357



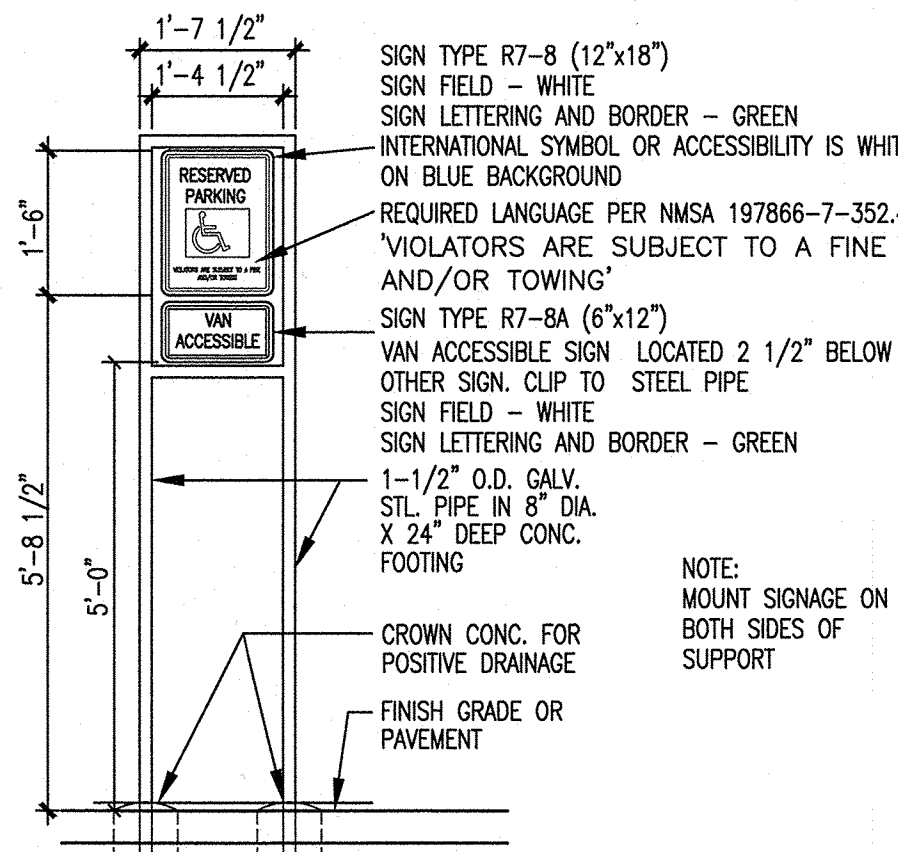
1 ACCESSIBLE SIDEWALK RAMP
1/4"=1'-0"



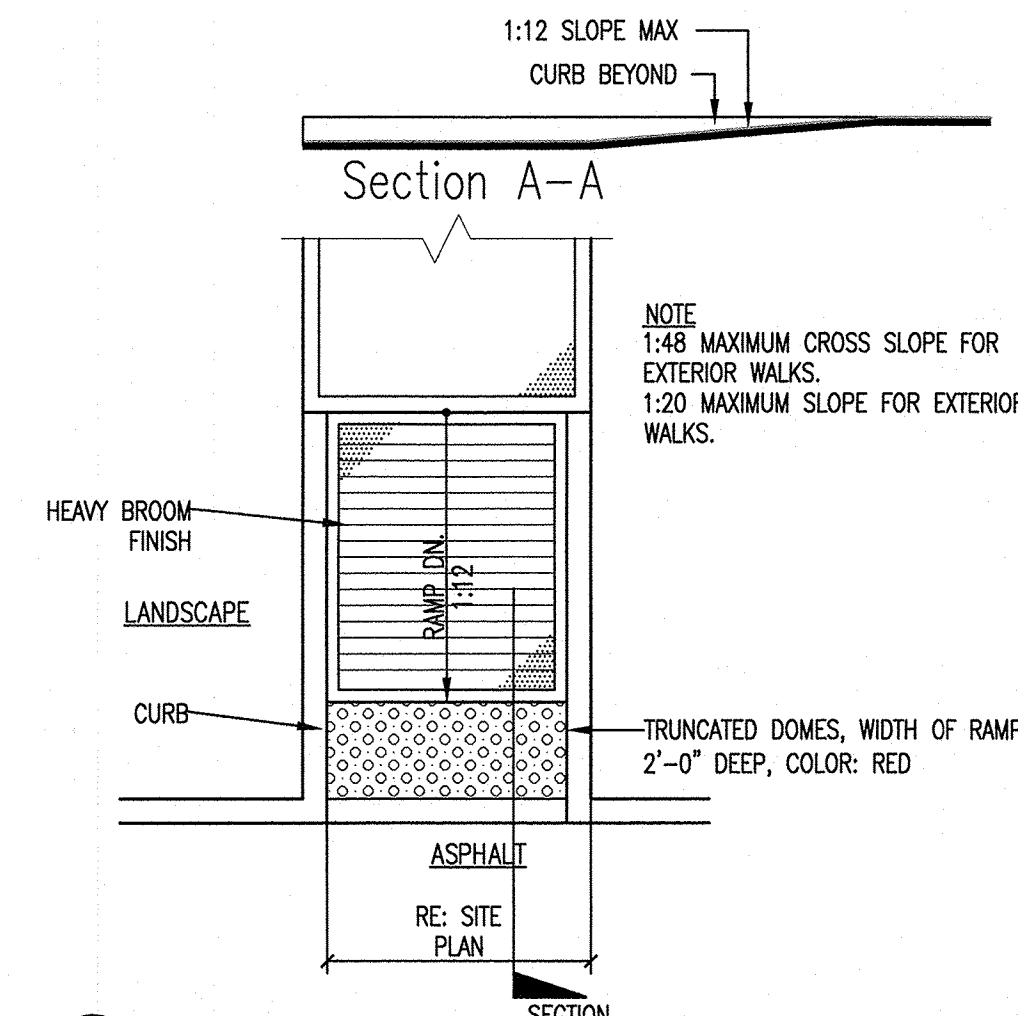
2 BICYCLE RACK
1/2"=1'-0"



3 MOTORCYCLE SIGN ELEVATION
1/2"=1'-0"



4 H.C. SIGN ELEVATION
1/2"=1'-0"



5 RAMP @ SIDEWALK
1/4"=1'-0"

EXECUTIVE SUMMARY

PROJECT IS LOCATED IN ZONE GRID MAP LOCATION D-16-Z, ZONED NR-BP PER THE LAS LOMITAS INDUSTRIAL PARK DEVELOPMENT DESIGN GUIDELINES. THE PROJECT IS A 10,006 S.F. WAREHOUSE WITH ACCESSORY OFFICES. 5,003 S.F. IS TO BE OCCUPIED WITH 1,143 S.F. OFFICE AND 3,858 S.F. OF WAREHOUSE AREA REQUIRING A TOTAL OF (4) PARKING STALLS. 5,003 S.F. IS VACANT FOR A FUTURE TENANT WITH (6) AVAILABLE STALLS FOR A MAXIMUM OFFICE AREA OF 1,716 S.F..

ZONING DATA

DESIGNATION: NR-BP
MASTER DEVELOPMENT PLAN - THE LAS LOMITAS INDUSTRIAL PARK DEVELOPMENT DESIGN GUIDELINES
UPC: 101 606 333 241 410 702
OWNER: PETER PINDEA
OWNER ADDRESS: 5901 WYOMING BLVD NE, ALBUQUERQUE NM 87109
LEGAL DESCRIPTION: TR 5 PLAT FOR LAS LOMITAS BUSINESS PARK SUBDIVISION CONT
TOTAL SITE ACRES: 1.0

OCCUPANCY TYPE:
OFFICE - WAREHOUSE

PARKING REQUIREMENTS:
OFFICE (3.5 STALLS PER 1000 S.F.) = 1143 SF/286 = 4 PARKING STALLS
WAREHOUSE: NO REQUIREMENT
4 STALLS REQUIRED [10 STALLS PROVIDED]

ADA STALLS REQUIRED: 1
ADA STALLS PROVIDED: 1 (VAN ACCESSIBLE)

MOTORCYCLE SPACES REQUIRED: 1
MOTORCYCLE SPACES PROVIDED: 1

BICYCLE SPACES REQUIRED: 3
BICYCLE SPACES PROVIDED: 5

ADA SITE NOTES

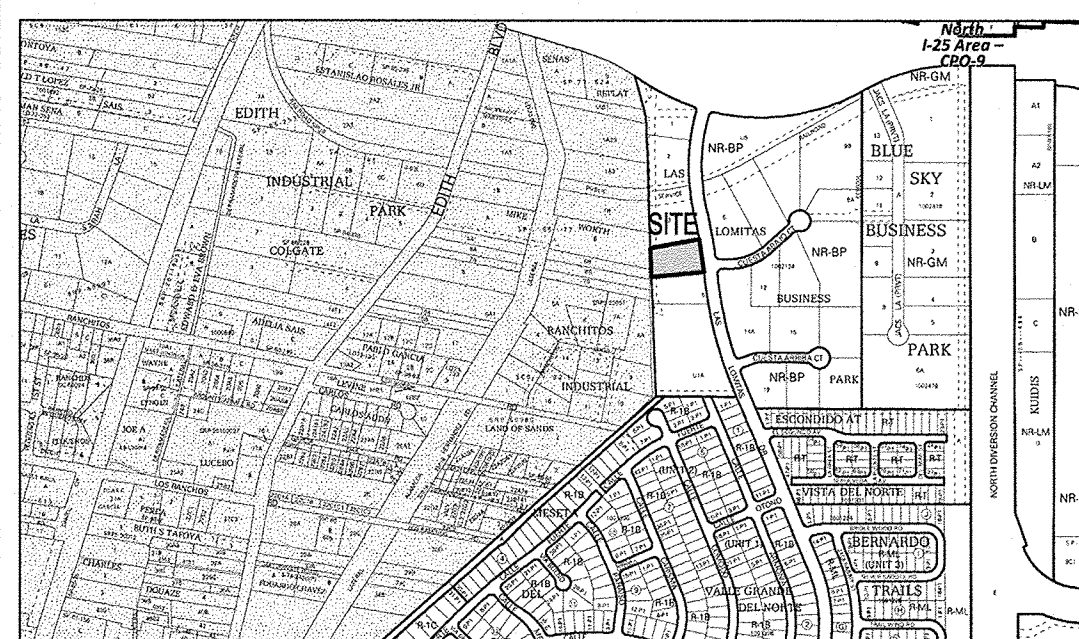
- SIGNAGE (NMB 1110.1 AND ANSI 502.7)
 - A VERTICAL SIGN IS CENTERED AT THE HEAD OF EACH PARKING SPACE.
 - CHARACTERS AND THEIR BACKGROUND SHALL HAVE A NON-GLARE FINISH. CHARACTERS SHALL CONTRAST WITH THEIR BACKGROUND, WITH EITHER LIGHT CHARACTERS ON A DARK BACKGROUND, OR DARK CHARACTERS ON A LIGHT BACKGROUND.
 - SIGN DISPLAYS THE INTERNATIONAL SYMBOL OF ACCESSIBILITY (NOTE: THE INTERNATIONAL SYMBOL OF ACCESSIBILITY PROVIDES WHITE SYMBOLS AND LETTERS ON A BLUE BACKGROUND, HOWEVER, ANSI AND 2010 STANDARDS DO NOT SPECIFY COLORS FOR SIGNAGE).
 - SIGNS TO BE WHITE BACKGROUND WITH A GREEN BORDER AND LEGEND (MUTCD SIGN # R7-8 AND R7-8A).
 - SIGN MUST INCLUDE THE LANGUAGE "VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING" (66-7-352.4C NMSA 1978, EFFECTIVE 7-01-2010). VAN ACCESSIBLE SIGNS ARE PROVIDED BELOW THE OTHER SIGN.
 - THE VAN SPACE SIGNAGE IS NEEDED TO ALERT VAN USERS TO THE PRESENCE OF THE WIDER AISLE, BUT THE SPACE IS NOT INTENDED TO BE RESTRICTED ONLY TO VANS. (2010 STANDARDS 502.5)
 - IN PARKING LOTS THE BOTTOM OF THE SIGN IS 60" MINIMUM ABOVE THE GROUND OR PARKING SURFACE. (ANSI 502.7)
 - ALONG THE PUBLIC RIGHTS-OF-WAY MUTCD REQUIRES THE BOTTOM OF THE MUTCD R7-8 SIGN TO BE 84" ABOVE THE GROUND.
 - IN THE PUBLIC RIGHTS-OF-WAY MUTCD RECOMMENDS WHITE STRIPING.
- PAVEMENT MARKINGS (NMB 1110.3)
 - PARKING SPACE HAS A CLEARLY VISIBLE, BLUE, INTERNATIONAL SYMBOL OF ACCESSIBILITY PAINTED ON THE PAVEMENT AT REAR OF THE SPACE (66-1-4.1.E NMSA 1978) OR MUTCD RECOMMENDS A WHITE SYMBOL ON A BLUE BACKGROUND.
 - PARKING SPACE LINES BE PAINTED BLUE
 - ACCESS AISLE HAS BLUE, DIAGONAL STRIPING. (66-1-4.1.B NMSA 1978).
 - ACCESS AISLE SHALL HAVE THE WORDS "NO PARKING" IN CAPITAL LETTERS, EACH OF WHICH SHALL BE AT LEAST ONE FOOT AND AT LEAST TWO INCHES WIDE PLACED AT THE REAR OF THE PARKING SPACE SO AS TO BE CLOSE TO WHERE AN ADJACENT VEHICLE'S REAR TIRES WOULD BE PLACED. (66-1-4.1.B NMSA 1978)
 - IN THE PUBLIC RIGHTS-OF-WAY MUTCD RECOMMENDS WHITE STRIPING.

GENERAL NOTES

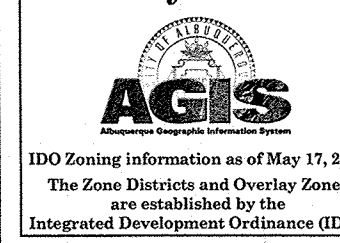
- WORK ORDER REQUIRED FOR WORK WITHIN PUBLIC RIGHT OF WAY WITH DRC APPROVED.
- ALL COA ROW CURB AND GUTTER, SIDEWALK, RAMPS AND DRIVEPADS MUST BE IN GOOD CONDITION AND ADA ACCESSIBLE IF APPLICABLE. ANY ITEMS IN DISREPAIR MUST BE REMOVED AND REPLACED TO NEAREST CONJOINT.
- LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SITE REQUIREMENTS. THEREFORE SIGNS, TREES, AND SHRUBBERY BETWEEN 3' AND 8' TALL (AS MEASURED FROM GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.
- MAXIMUM SLOPE PERMITTED AT ADA STALLS AND ACCESS AISLES IS 2% (1:50)

LEGEND

N 90°00'00" E	MEASURED BEARING AND DISTANCES	OVERHEAD UTILITY LINES
(N 90°00'00" E)	RECORD BEARINGS AND DISTANCES PER PLAT OF RECORD FOUND AS INDICATED	ANCHOR LIGHT POST
●	FIRE HYDRANT	WATER VALVE
○	EXPLANATION MARKER "LS 14271"	WATER METER
□	COVERED AREA	GAS VALVE
●	POLE	UTILITY PEDESTAL
		TO BE REMOVED



IDO Zone Atlas
May 2018



DRAWING NAME

REVISIONS

RECEIVED
MAY 09 2019
LAND DEVELOPMENT SECTION

Office Warehouse Bldg.
7901 Las Lomas Drive N.E.
Albuquerque, NM

SHEET NO.

peter butterfield
architect 13013 glenwood hills ct. ne
albuquerque nm 87111 (ph) 505 332 9323 (fax) 212 0901

