

# CITY OF ALBUQUERQUE

Planning Department  
Brennon Williams, Director



Mayor Timothy M. Keller

March 16, 2022

Judson W. Cervenak, RA  
Judson Cervenak Architects  
P.O. Box 40509  
Albuquerque, NM 87196

**Re: The Lamp Shop**  
**1310 Cuesta Abajo CT NE**  
**30-Day Temporary Certificate of Occupancy**  
**Transportation Development Final Inspection**  
Engineer's Stamp dated 6-30-20 (D16-D002J)  
Certification dated 3-14-22

Dear Mr. Judson,

Based upon the information provided in your submittal received 03-14-22, Transportation Development has no objection to a 30-day Temporary Certificate of Occupancy based. This letter serves as a "green tag" from Transportation Development for a 30-day Temporary Certificate of Occupancy to be issued by the Building and Safety Division.

Prior to the issuance of a permanent Certificate of Occupancy, the following items must be addressed:

- Provide Bicycle Racks per the approved site plan.
- The ADA accessible parking sign must have the required language per 66-7-352.4C NMSA 1978 "**Violators Are Subject to a Fine and/or Towing.**" Please call out detail and location of signs.

Once these corrections are complete, email pictures to [malnajira@cabq.gov](mailto:malnajira@cabq.gov) for release of Final CO.

If you have any questions, please contact me at (505) 924-3675.

Sincerely,

Marwa Al-najjar  
Associate Engineer, Planning Dept.  
Development Review Services

ma via: email  
C: CO Clerk, File



# City of Albuquerque

Planning Department  
Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: THE LAMP SHOP Building Permit #: BP-2020-25338 Hydrology File #: \_\_\_\_\_  
DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_  
Legal Description: TRACT 12, LAS LOMITAS BUSINESS PARK, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NM  
City Address: 1310 CUESTA ABAJO CT. NE, ALBUQUERQUE, NM 87113

Applicant: MARIE-ANTHONY INESTMENTS, LLC Contact: CHARLES SILVA  
Address: 121 EUBANK NE, SUITE B, ALBUQUERQUE, NM, 87123 CHARLESSILVA@LIGHTINGFOR  
Phone#: (505) 296-4393 Fax#: \_\_\_\_\_ E-mail: DESIGN.COM

Other Contact: JUDSON CERVENAK ARCHITECTS Contact: JUDSON CERVENAK  
Address: PO BOX 40509, ALBUQUERQUE, NM 87196  
Phone#: (505) 983-3400 Fax#: \_\_\_\_\_ E-mail: JUD@JWCERVENAK.COM

TYPE OF DEVELOPMENT: \_\_\_\_\_ PLAT (# of lots) \_\_\_\_\_ RESIDENCE \_\_\_\_\_ DRB SITE ☒ ADMIN SITE

IS THIS A RESUBMITTAL? \_\_\_\_\_ Yes ☒ No

DEPARTMENT ☒ TRANSPORTATION \_\_\_\_\_ HYDROLOGY/DRAINAGE

Check all that Apply:

### TYPE OF SUBMITTAL:

- ☒ ENGINEER/ARCHITECT CERTIFICATION  
\_\_\_\_ PAD CERTIFICATION  
\_\_\_\_ CONCEPTUAL G & D PLAN  
\_\_\_\_ GRADING PLAN  
\_\_\_\_ DRAINAGE REPORT  
\_\_\_\_ DRAINAGE MASTER PLAN  
\_\_\_\_ FLOODPLAIN DEVELOPMENT PERMIT APPLIC  
\_\_\_\_ ELEVATION CERTIFICATE  
\_\_\_\_ CLOMR/LOMR  
\_\_\_\_ TRAFFIC CIRCULATION LAYOUT (TCL)  
\_\_\_\_ TRAFFIC IMPACT STUDY (TIS)  
\_\_\_\_ STREET LIGHT LAYOUT  
\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_  
\_\_\_\_ PRE-DESIGN MEETING?

### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- \_\_\_\_ BUILDING PERMIT APPROVAL  
☒ CERTIFICATE OF OCCUPANCY  
\_\_\_\_ PRELIMINARY PLAT APPROVAL  
\_\_\_\_ SITE PLAN FOR SUB'D APPROVAL  
\_\_\_\_ SITE PLAN FOR BLDG. PERMIT APPROVAL  
\_\_\_\_ FINAL PLAT APPROVAL  
\_\_\_\_ SIA/ RELEASE OF FINANCIAL GUARANTEE  
\_\_\_\_ FOUNDATION PERMIT APPROVAL  
\_\_\_\_ GRADING PERMIT APPROVAL  
\_\_\_\_ SO-19 APPROVAL  
\_\_\_\_ PAVING PERMIT APPROVAL  
\_\_\_\_ GRADING/ PAD CERTIFICATION  
\_\_\_\_ WORK ORDER APPROVAL  
\_\_\_\_ CLOMR/LOMR  
\_\_\_\_ FLOODPLAIN DEVELOPMENT PERMIT  
\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_

DATE SUBMITTED: March 14, 2022 By: JUDSON CERVENAK ARCHITECTS

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_

March 14, 2022

Traffic Engineering, Planning Dept.  
Development and Building Services  
City of Albuquerque  
PO Box 1293  
Albuquerque, NM 87103

RE: 1310 Cuesta Abajo Ct., NE - TCL Certification for Certificate of Occupancy

I, Judson Cervenak, NMRA, OF THE FIRM Judson Cervenak Architects, HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF APPROVED TCL DATED August 18, 2000. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY Judson Cervenak OF THE FIRM Judson Cervenak Architects. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON March 13, 2022 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR Certificate of Occupancy.

Indicated in blue on the original TCL are as-built conditions that vary from the original design document. These are described below.

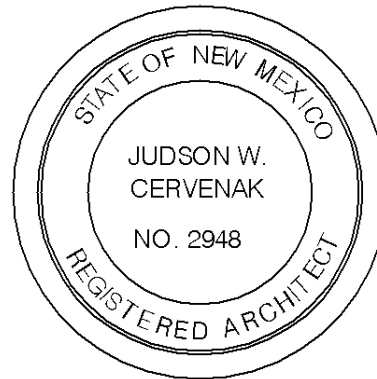
1. 2 entry gates shown on the TCL have been omitted from the project.
2. 1 parking space stripe on the NE corner of the building was omitted. This pavement area still functions as a parking space.

No parking deficiencies are present or required corrections necessary.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.



Judson Cervenak, AIA, LEED AP



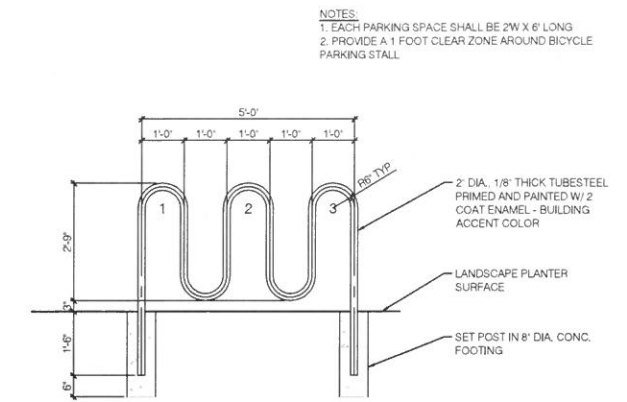
March 14, 2022

Attachments:

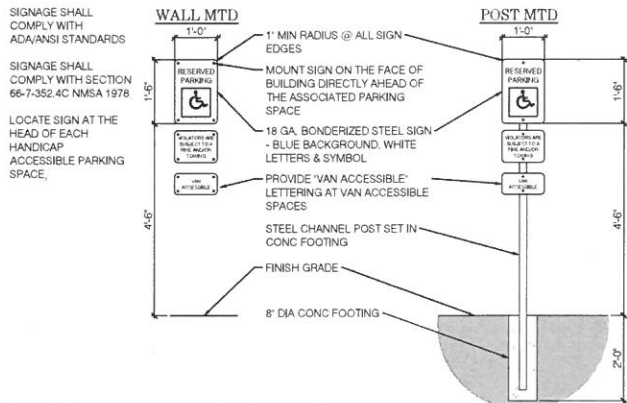
Drainage & Transportation Information Sheet

Approved Traffic Circulation Layout w/ certification comments

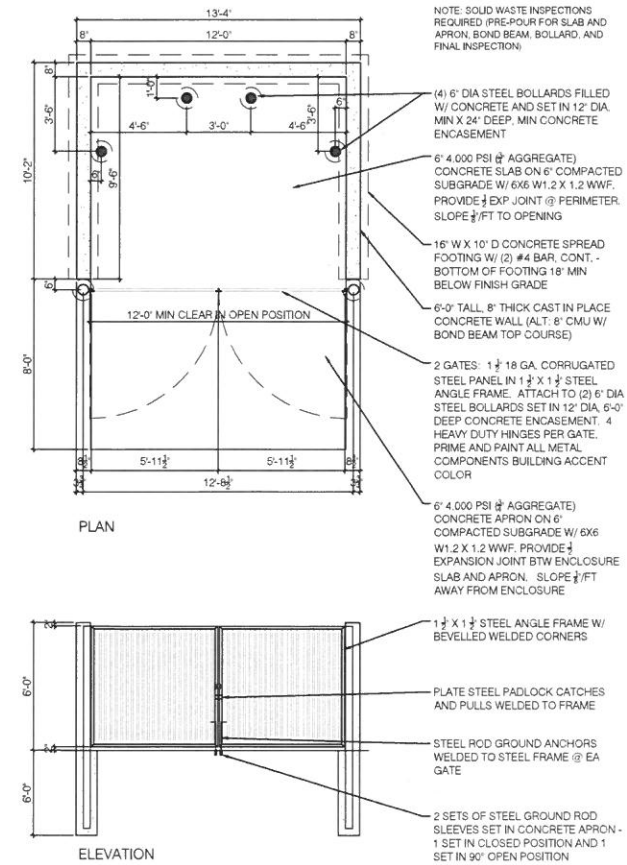




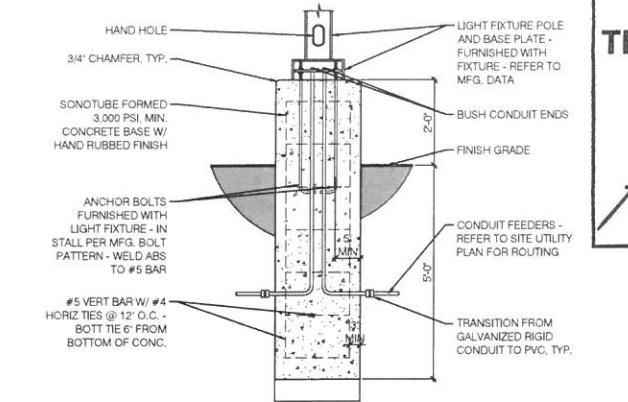
**A1 Bike Rack Detail - 3 Stall**  
SCALE: 1/2"=1'-0"



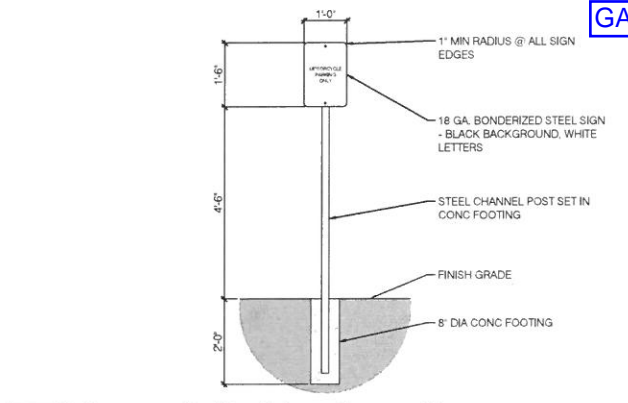
**B1 Handicap Parking Space Sign**  
SCALE: 1/2"=1'-0"



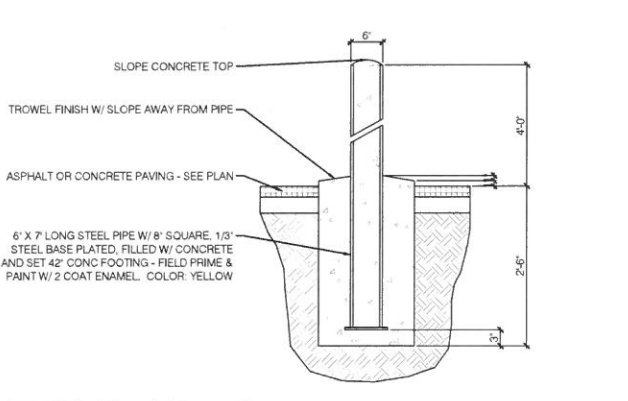
**D1 Dumpster Enclosure Detail**  
SCALE: 1/4"=1'-0"



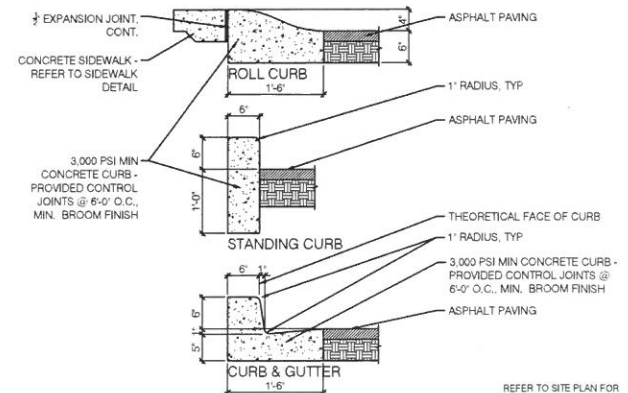
**A2 Light Pole Base Detail**  
SCALE: 1/2"=1'-0"



**B2 Motorcycle Parking Space Sign**  
SCALE: 1/2"=1'-0"



**C2 Bollard Detail**  
SCALE: 3/4"=1'-0"

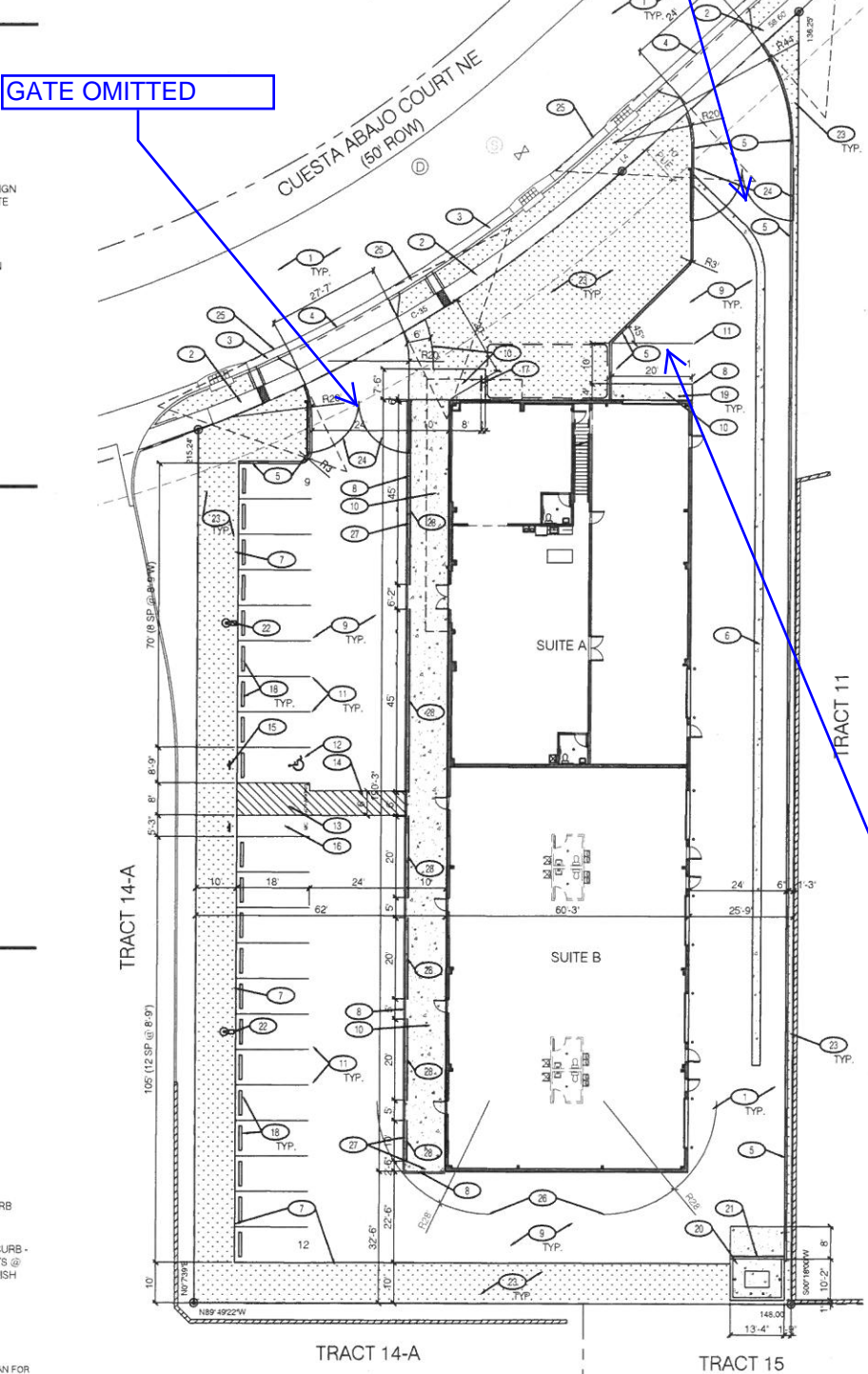


**D2 Curbing Sections (private)**  
SCALE: 3/4"=1'-0"

## TRAFFIC CIRCULATION LAYOUT APPROVED

Signed \_\_\_\_\_ Date 8/18/2020

TRACT 12  
LAS LOMITAS BUSINESS PARK  
WITHIN THE  
ELENA GALLEGOS GRANT  
PROJECTED SECTIONS 22 AND 27  
TOWNSHIP 10 NORTH, RANGE 3 EAST, NMPM  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO



**Traffic Circulation Layout**  
SCALE: 1"=20'

PROJECT DATA  
ADDRESS: 1310 CUESTA ABAJO CT. NE. ALBUQUERQUE, NM 87113  
LEGAL DESCRIPTION: TRACT 12, LAS LOMITAS BUSINESS PARK, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO  
APC #: 101606337541810212  
ZONE ATLAS PAGE: D-16-Z

**SITE DATA**

- ZONING CODE: CITY OF ALBUQUERQUE IDO
- ZONING: NR-BP
- ZONING OVERLAY DISTRICTS: NONE

**SITE AREA CALCULATIONS**

	Area	Percentage
GROSS SITE AREA	38,339 SF	(880 AC)
BUILDING AREA	11,463 SF	30%
ASPHALT AREA	17,812 SF	46%
CONCRETE AREA	2,195 SF	7%
LANDSCAPE AREA	6,099 SF	17% (15% ROD)

**PARKING CALCULATIONS (CITY OF ALBUQUERQUE I.D.O.)**

- GROSS BUILDING AREA: 11,463 SF
- NET LEASABLE AREA: 11,463 SF

**PARKING SPACES REQUIRED:**

- (50% OFFICE) 11,463/2 X 3.5/1000 = 20.1 (THUS 21)
- (50% WAREHOUSE) = NONE REQUIRED
- TOTAL PARKING SPACES REQUIRED = 21
- PARKING SPACES PROVIDED: 22

**HANDICAP PARKING SPACES REQUIRED:**

- HANDICAP PARKING SPACES PROVIDED: 1 (VAN ACCESSIBLE)

**MOTORCYCLE PARKING SPACES REQUIRED:**

- MOTORCYCLE PARKING SPACES PROVIDED: 1

**BIKE RACK SPACES REQUIRED:**

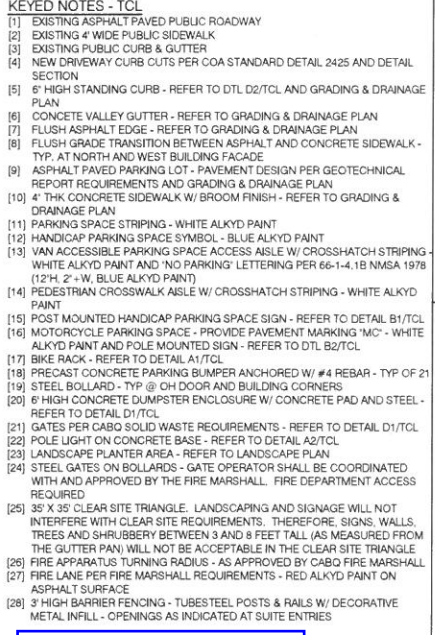
- BIKE RACK SPACES PROVIDED: 3

**GENERAL NOTES - TCL**

- ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON A WORK ORDER WITH DRC APPROVED PLANS. THESE IMPROVEMENTS MAY INCLUDE BUT ARE NOT LIMITED TO DRIVEWAY CURB CUTS AND DRAINAGE IMPROVEMENTS AND UTILITY CONNECTIONS.
- IF APPLICABLE, ALL BROKEN OR CRACKED RIGHT-OF-WAY SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB & GUTTER PER CABO STANDARD DETAILS.
- THIS PROJECT WILL BE COMPLETED IN 1 PHASE.
- ALL PARKING LOT AREAS SHALL HAVE SLOPE BETWEEN 1% AND 6%.
- ALL HANDICAP PARKING SPACES AND AISLES SHALL HAVE SLOPE BETWEEN 1% AND 2%.
- FIRE LANES: FIRE APPARATUS ACCESS ROADS 20 FT. TO 26 FT. SHALL HAVE A FIRE LANE MARKED ON BOTH SIDES OF THE ROAD. ROADS 26 FT. TO 32 FT. WIDE SHALL BE MARKED FIRE LANE ON ONE SIDE. REFER TO FIRE ORD. 503.3.1 FOR FIRE LANE CURB MARKING REQUIREMENTS.

**KEYED NOTES - TCL**

- EXISTING ASPHALT PAVED PUBLIC ROADWAY
- EXISTING 4' WIDE PUBLIC SIDEWALK
- EXISTING PUBLIC CURB & GUTTER
- NEW DRIVEWAY CURB CUTS PER COA STANDARD DETAIL 2425 AND DETAIL SECTION
- 6" HIGH STANDING CURB - REFER TO DTL D2/TCL AND GRADING & DRAINAGE PLAN
- CONCRETE VALLEY GUTTER - REFER TO GRADING & DRAINAGE PLAN
- FLUSH ASPHALT EDGE - REFER TO GRADING & DRAINAGE PLAN
- FLUSH GRADE TRANSITION BETWEEN ASPHALT AND CONCRETE SIDEWALK - TYP. AT NORTH AND WEST BUILDING FACADE
- ASPHALT PAVED PARKING LOT - PAVEMENT DESIGN PER GEOTECHNICAL REPORT REQUIREMENTS AND GRADING & DRAINAGE PLAN
- 4" THK CONCRETE SIDEWALK W/ BROOM FINISH - REFER TO GRADING & DRAINAGE PLAN
- PARKING SPACE STRIPING - WHITE ALKYD PAINT
- HANDICAP PARKING SPACE SYMBOL - BLUE ALKYD PAINT
- VAN ACCESSIBLE PARKING SPACE ACCESS AISLE W/ CROSSHATCH STRIPING - WHITE ALKYD PAINT AND "NO PARKING" LETTERING PER 66-1-4.18 NMSA 1978 (12" H. 2" W. BLUE ALKYD PAINT)
- PEDESTRIAN CROSSWALK AISLE W/ CROSSHATCH STRIPING - WHITE ALKYD PAINT
- POST MOUNTED HANDICAP PARKING SPACE SIGN - REFER TO DETAIL B1/TCL
- MOTORCYCLE PARKING SPACE - PROVIDE PAVEMENT MARKING "MC" - WHITE ALKYD PAINT AND POLE MOUNTED SIGN - REFER TO DETAIL B2/TCL
- BIKE RACK - REFER TO DETAIL A1/TCL
- PRECAST CONCRETE PARKING BUMPER ANCHORED W/ #4 REBAR - TYP. OF 21
- STEEL BOLLARD - TYP. @ CH DOOR AND BUILDING CORNERS
- STEEL GATES ON BOLLARDS - GATE OPERATOR SHALL BE COORDINATED WITH AND APPROVED BY THE FIRE MARSHALL. FIRE DEPARTMENT ACCESS REQUIRED
- 35' X 35' CLEAR SITE TRIANGLE. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SITE REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SITE TRIANGLE
- FIRE APPARATUS TURNING RADIUS - AS APPROVED BY CABO FIRE MARSHALL
- FIRE LANE PER FIRE MARSHALL REQUIREMENTS - RED ALKYD PAINT ON ASPHALT SURFACE
- 3" HIGH BARRIER FENCING - TUBESTEEL POSTS & RAILS W/ DECORATIVE METAL INFILL - OPENINGS AS INDICATED AT SUITE ENTRIES



**JUDSON CERVENAK ARCHITECTS**  
TRANSPORTATION CERTIFICATION  
NOTES  
(MARCH 14, 2022)



**Judson Cervenak Architects**  
P.O. Box 40509  
Albuquerque, NM 87196  
505.983.3400  
jud@cervenak.com  
jc-architects.com

1310 Cuesta Abajo Court NE  
Albuquerque, NM 87113  
Tract 12, Las Lomitas Business Park

Owner Approval: \_\_\_\_\_  
Approval Date: \_\_\_\_\_  
Title: Traffic Circulation Layout

Edition: Permit  
Issue Date: 6.30.20  
Revision 1: 8.13.20-Permitting  
Revision 2: \_\_\_\_\_  
Revision 3: \_\_\_\_\_  
Project ID: 20-06  
File Name: 20-06 C-101.dwg  
Drawing By: JW  
Consultant: \_\_\_\_\_

STATE OF NEW MEXICO  
JUDSON W. CERVENAK  
NO. 2048  
REGISTERED ARCHITECT

**TCL**