

# CITY OF ALBUQUERQUE

Planning Department  
Brennon Williams, Director



Mayor Timothy M. Keller

March 16, 2022

Judson W. Cervenak, RA  
Judson Cervenak Architects  
P.O. Box 40509  
Albuquerque, NM 87196

**Re: The Lamp Shop**  
**1310 Cuesta Abajo CT NE**  
**30-Day Temporary Certificate of Occupancy**  
**Transportation Development Final Inspection**  
Engineer's Stamp dated 6-30-20 (D16-D002J)  
Certification dated 3-14-22

Dear Mr. Judson,

Based upon the information provided in your submittal received 03-14-22, Transportation Development has no objection to a 30-day Temporary Certificate of Occupancy based. This letter serves as a "green tag" from Transportation Development for a 30-day Temporary Certificate of Occupancy to be issued by the Building and Safety Division.

PO Box 1293

Prior to the issuance of a permanent Certificate of Occupancy, the following items must be addressed:

Albuquerque

- Provide Bicycle Racks per the approved site plan.
- The ADA accessible parking sign must have the required language per 66-7-352.4C NMSA 1978 "**Violators Are Subject to a Fine and/or Towing.**" Please call out detail and location of signs.

NM 87103

Once these corrections are complete, email pictures to [malnajira@cabq.gov](mailto:malnajira@cabq.gov) for release of Final CO.

www.cabq.gov

If you have any questions, please contact me at (505) 924-3675.

Sincerely,

Marwa Al-najjar  
Associate Engineer, Planning Dept.  
Development Review Services

ma via: email  
C: CO Clerk, File



# City of Albuquerque

Planning Department  
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

**Project Title:** THE LAMP SHOP Building Permit #: BP-2020-25338 Hydrology File #: \_\_\_\_\_  
DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_  
Legal Description: TRACT 12, LAS LOMITAS BUSINESS PARK, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NM  
City Address: 1310 CUESTA ABAJO CT. NE, ALBUQUERQUE, NM 87113

**Applicant:** MARIE-ANTHONY INESTMENTS, LLC Contact: CHARLES SILVA  
Address: 121 EUBANK NE, SUITE B, ALBUQUERQUE, NM, 87123 CHARLESSILVA@LIGHTINGFOR  
Phone#: (505) 296-4393 Fax#: \_\_\_\_\_ E-mail: DESIGN.COM

**Other Contact:** JUDSON CERVENAK ARCHITECTS Contact: JUDSON CERVENAK  
Address: PO BOX 40509, ALBUQUERQUE, NM 87196  
Phone#: (505) 983-3400 Fax#: \_\_\_\_\_ E-mail: JUD@JWCERVENAK.COM

**TYPE OF DEVELOPMENT:** \_\_\_\_\_ PLAT (# of lots) \_\_\_\_\_ RESIDENCE \_\_\_\_\_ DRB SITE  ADMIN SITE

IS THIS A RESUBMITTAL? \_\_\_\_\_ Yes  No

**DEPARTMENT**  TRANSPORTATION \_\_\_\_\_ HYDROLOGY/DRAINAGE

Check all that Apply:

**TYPE OF SUBMITTAL:**

- ENGINEER/ARCHITECT CERTIFICATION
- \_\_\_\_\_ PAD CERTIFICATION
- \_\_\_\_\_ CONCEPTUAL G & D PLAN
- \_\_\_\_\_ GRADING PLAN
- \_\_\_\_\_ DRAINAGE REPORT
- \_\_\_\_\_ DRAINAGE MASTER PLAN
- \_\_\_\_\_ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- \_\_\_\_\_ ELEVATION CERTIFICATE
- \_\_\_\_\_ CLOMR/LOMR
- \_\_\_\_\_ TRAFFIC CIRCULATION LAYOUT (TCL)
- \_\_\_\_\_ TRAFFIC IMPACT STUDY (TIS)
- \_\_\_\_\_ STREET LIGHT LAYOUT
- \_\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_
- \_\_\_\_\_ PRE-DESIGN MEETING?

**TYPE OF APPROVAL/ACCEPTANCE SOUGHT:**

- \_\_\_\_\_ BUILDING PERMIT APPROVAL
- CERTIFICATE OF OCCUPANCY
- \_\_\_\_\_ PRELIMINARY PLAT APPROVAL
- \_\_\_\_\_ SITE PLAN FOR SUB'D APPROVAL
- \_\_\_\_\_ SITE PLAN FOR BLDG. PERMIT APPROVAL
- \_\_\_\_\_ FINAL PLAT APPROVAL
- \_\_\_\_\_ SIA/ RELEASE OF FINANCIAL GUARANTEE
- \_\_\_\_\_ FOUNDATION PERMIT APPROVAL
- \_\_\_\_\_ GRADING PERMIT APPROVAL
- \_\_\_\_\_ SO-19 APPROVAL
- \_\_\_\_\_ PAVING PERMIT APPROVAL
- \_\_\_\_\_ GRADING/ PAD CERTIFICATION
- \_\_\_\_\_ WORK ORDER APPROVAL
- \_\_\_\_\_ CLOMR/LOMR
- \_\_\_\_\_ FLOODPLAIN DEVELOPMENT PERMIT
- \_\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_

DATE SUBMITTED: March 14, 2022 By: JUDSON CERVENAK ARCHITECTS

COA STAFF: \_\_\_\_\_

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_

March 14, 2022

Traffic Engineering, Planning Dept.  
Development and Building Services  
City of Albuquerque  
PO Box 1293  
Albuquerque, NM 87103

RE: 1310 Cuesta Abajo Ct., NE - TCL Certification for Certificate of Occupancy

I, Judson Cervenak, NMRA, OF THE FIRM Judson Cervenak Architects, HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF APPROVED TCL DATED August 18, 2000. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY Judson Cervenak OF THE FIRM Judson Cervenak Architects. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON March 13, 2022 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR Certificate of Occupancy.

Indicated in blue on the original TCL are as-built conditions that vary from the original design document. These are described below.

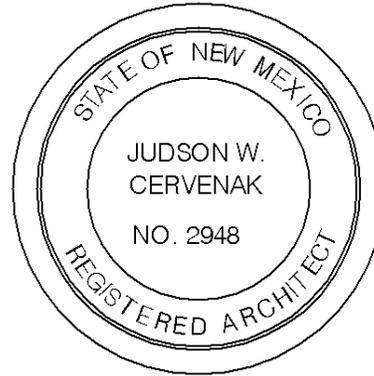
1. 2 entry gates shown on the TCL have been omitted from the project.
2. 1 parking space stripe on the NE corner of the building was omitted. This pavement area still functions as a parking space.

No parking deficiencies are present or required corrections necessary.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.



Judson Cervenak, AIA, LEED AP



March 14, 2022

Attachments:

Drainage & Transportation Information Sheet

Approved Traffic Circulation Layout w/ certification comments

