

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

June 9, 2025

David Thompson, PE
Thompson Engineering Consultants, Inc.
PO Box 65760
Albuquerque, NM 87193

RE: 1331 Cuesta Abajo Ct. NE
Grading & Drainage Plans
Engineer's Stamp Date: 5/27/25
Hydrology File: D16D101
Case # HYDR-2025-00193

Dear Mr. Thompson:

Based upon the information provided in your submittal received 05/28/2025, the Grading & Drainage Plans are approved for Building Permit and Grading Permit. Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter.

PO Box 1293

PRIOR TO CERTIFICATE OF OCCUPANCY:

Albuquerque

NM 87103

www.cabq.gov

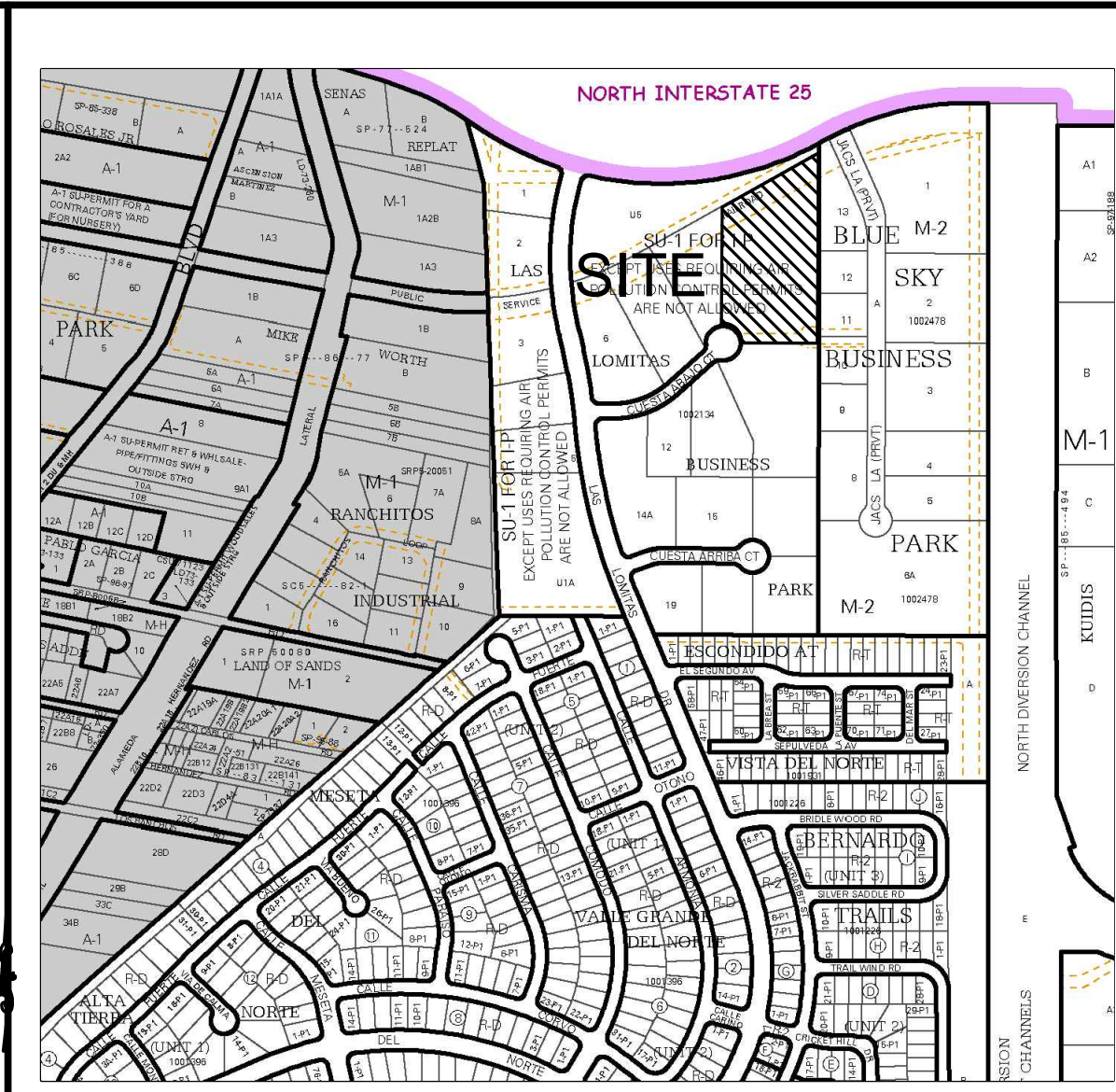
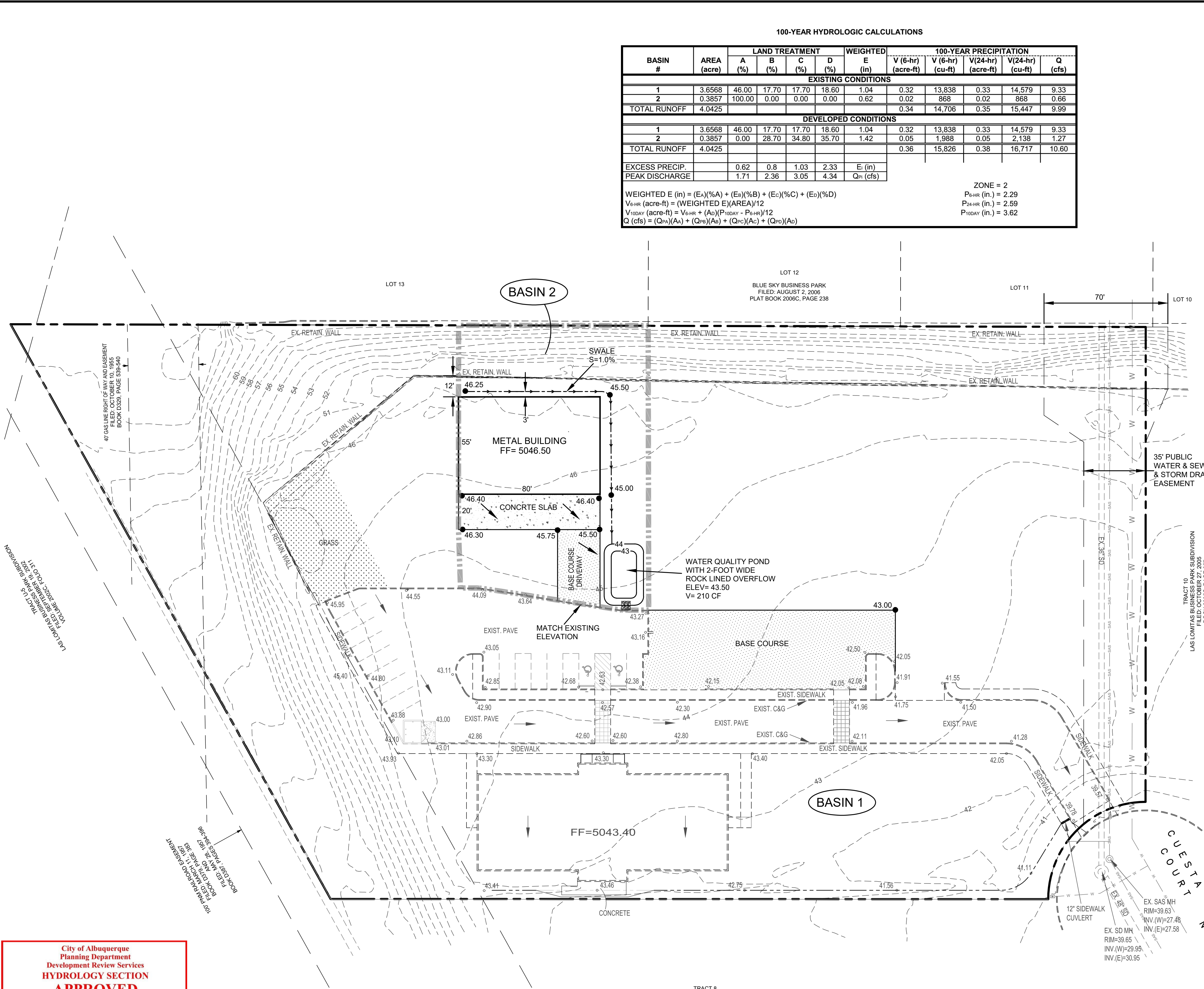
1. Engineer's Certification, per the DPM Part 6-14 (F): *Engineer's Certification Checklist For Non-Subdivision* is required.
2. Please provide the executed paper Drainage Covenant (latest revision) printed on one-side only with Exhibit A and a check for **\$25.00** made out to "**Bernalillo County**" for the stormwater quality pond per Article 6-15(C) of the DPM to Hydrology for review at Plaza de Sol. Application for Covenant in ABQ-PLAN is also required

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Dough Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 924-3314 or amontoya@cabq.gov.

Sincerely,

Anthony Montoya, Jr., P.E., CFM
Senior Engineer, Hydrology
Planning Department, Development Review Services



VICINITY MAP ZONE ATLAS: D-16-Z

DRAINAGE PLAN :

LEGAL DESCRIPTION: TRACT 9, LAS LOMITAS

SITE AREA: 4.04 ACRES

FLOOD HAZARD STATEMENT: F.E.M.A. FLOODWAY BOUNDARY AND FLOODWAY MAP DATED SEPTEMBER 26, 2008 (PANEL NO. 35043C0136 G) INDICATES A FLOOD HAZARD ZONE X WHICH IS AN AREA PROTECTED BY LEVEES FROM THE 1% ANNUAL CHANCE FLOOD.

EXISTING DRAINAGE CONDITIONS:

CURRENTLY THE TRACT HAS A BUILDING IN THE NORTHWEST CORNER WITH PARKING AND AN ACCESS ROAD FROM THE CUL-DE-SAC BULB. THE TRACT HAS AN EARTH BERM LOCATED ALONG THE WEST PROPERTY LINE. THE TRACT CURRENTLY DRAINS TO THE CUL-DE-SAC BULB CUESTA ABAJO COURT. THIS TRACT IS LOCATED WITHIN THE LAS LOMITAS INDUSTRIAL PARK DRAINAGE MANAGEMENT PLAN (DMP). ACCORDING TO THE DMP A TOTAL OF 12.43 CFS IS ALLOWED TO DRAIN TO CUESTA ABAJO COURT FROM THE TRACT.

THE DRAINAGE ANALYSIS FOR THIS SITE IS IN ACCORDANCE WITH CHAPTER 6, ARTICLE 6-2, SECTION 6-2(A), ENTITLED "PROCEDURE FOR 40-ACRE AND SMALLER BASINS." THE DESIGN STORM USED FOR BOTH UNDEVELOPED AND DEVELOPED CONDITIONS IS THE 100-YEAR, 6-HOUR STORM EVENT FOR RUNOFF. THE SITE IS LOCATED IN ZONE 2 SO THE 100-YEAR, 6-HOUR STORM EVENT IS 2.29 INCHES.

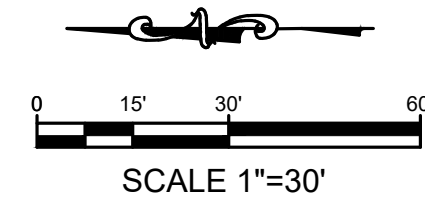
DEVELOPED DRAINAGE CONDITIONS:

THIS PROJECT INVOLVES THE SECOND PHASE OF DEVELOPMENT OF TRACT 9 WITHIN THE LAS LOMITAS SUBDIVISION. THE FIRST PHASE WAS DEVELOPED IN 2014. THE SECOND PHASE WILL INCLUDE A METAL BUILDING WITH A CONCRETE AREA IN FRONT AND A BASE COURSE ACCESS DRIVE. THE METAL BUILDING ROOF DRAINS TO THE EAST AND WEST. A SWALE ON THE EAST SIDE OF THE BUILDING WILL CONVEY THE RUNOFF TO THE SOUTH AND TO A WATER QUALITY POND ADJACENT TO THE EXISTING PARKING AREA. RUNOFF FROM THE WEST SIDE OF THE BUILDING AND THE CONCRETE PAD WILL DRAIN SOUTH TO THE SWALE AND INTO THE WATER QUALITY POND. THE WATER QUALITY POND WILL DISCHARGE THROUGH A ROCK-LINED OVERFLOW AREA INTO THE EXISTING PAVED PARKING AREA AND EVENTUALLY INTO CUESTA ABAJO COURT PER THE DRAINAGE MANAGEMENT PLAN. THE SECOND PHASE HAS A RUNOFF OF 1.27 CFS. ADDING THE 9.33 CFS RUNOFF FROM PHASE 1, THE TOTAL RUNOFF FROM THE SITE IS 10.60 CFS, WHICH IS LESS THAN THE 12.43 CFS ALLOWABLE.

BASIN 2 WATER QUALITY VOLUME = (0.42IN/12IN/FT) x ((0.440 x .3134) x 43,560SF/AC) = 210 CF REQUIRED.

LEGEND

- FF=70.20
- 73.00
- FINISHED FLOOR SITE ELEVATION
- SPOT ELEVATIONS
- EXIST. MAJOR CONTOURS
- EXIST. MINOR CONTOURS
- FLOW DIRECTION
- EXISTING EASEMENT
- BOUNDARY
- PROPOSED SWALE



City of Albuquerque
Planning Department
Development Review Services
HYDROLOGY SECTION

APPROVED

DATE: 6/9/2025
BY: [Signature]
HydroTrans #: D16D101

THE APPROVAL OF THESE PLANS/REPORTS SHALL NOT BE CONSTRUED TO PERMIT VIOLATIONS OF ANY CITY ORDINANCE OR STATE LAW, AND SHALL NOT PREVENT THE CITY OR ALBUQUERQUE FROM REQUIRING CORRECTIONS FOR ERRORS OR DIMENSIONS IN PLANS, SPECIFICATIONS, OR CONSTRUCTION DOCUMENTS, SUCH AS APPROVED PLANS/REPORTS SHALL NOT BE CHANGED, MODIFIED OR ALTERED WITHOUT AUTHORIZATION.

THE APPROVAL OF THESE PLANS/REPORTS SHALL EXPIRE TWO (2) YEARS AFTER THE APPROVAL DATE IF NO BUILDING PERMIT HAS BEEN FILED ON THE DEVELOPMENT.

Thompson Engineering Consultants, Inc.
P.O. BOX 65750 ALBUQUERQUE, NM 87193
PHONE: (505) 271-1299 FAX: (505) 630-9246
tcon@yahoo.com

NO.	REVISION	BY	DATE

PROJECT: DRAWN BY: BLN
DATE: CHECKED BY:
HORIZ. SCALE: APPROVED BY:
VERT. SCALE: FILE:

COMPASS FACILITY
TRACT 9 LAS LOMITAS

PHASE I
GRADING & DRAINAGE PLAN

CITY/COUNTY REVIEW

DEPARTMENT	DATE
WASTEWATER MGMT. DIV.	
WATER SERVICES	
SUBDIVISION ENG.	
STREETS	
TRAFFIC	

SHEET No.

1 of 1