

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services**

June 25, 2015

Anissa Hogeland
Anissa Construction
1232 Western Meadows Rd., NW
Albuquerque, NM

**Re: Las Lomas Assisted Living
1331 Cuesta Abajo
Traffic Circulation Layout – Revised and Phasing Plan
Engineer's/Architect's Stamp dated 6-21-15 (D16-D101)**

Dear Ms. Hogeland,

The TCL submittal received 6-24-15 is approved for Building Permit. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and a Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Racquel M. Michel, P.E.
Senior Engineer, Planning Dept.
Development Review Services

c: File
CO Clerk



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

Associated Living

(REV 02/2013)

D16-D101

Project Title: 1331 Cuesta Abajo Building Permit #: _____ City Drainage #: _____

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: _____

City Address: 1331 Cuesta Abajo ABO Nm

Engineering Firm: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Owner: TJ Gill Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Architect: Anissa Construction Contact: Anissa Hogeland

Address: 1232 Western Meadows Rd NW

Phone#: 505.250.5434 Fax#: _____ E-mail: _____

Surveyor: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Contractor: Two Horse Construction Contact: Wayne Petner

Address: 113 N. Prince Clovis New Mexico 88101

Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY) _____

Received
6-24-2015

WAS A PRE-DESIGN CONFERENCE ATTENDED: _____

Yes

No

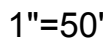
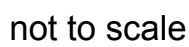
Copy Provided

DATE SUBMITTED: 6/23/2015

By: Anissa Hogeland

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre that are part of a larger common plan of development



1. Concrete curb. 6" min. high from top of concrete to top of grade.
2. Compacted sub base compacted to 95%
3. Asphalt
4. 4" concrete sidewalk (3000 psi w/ air)
5. Landscaped area.
6. Crosswalk hatch per State standards.
7. Temporary concrete to asphalt stop.
8. Fire hydrant, relocate as necessary.
9. Dumpster and concrete pad.
10. Fire truck connections.
11. Post valve indicator.
12. Concrete valley gutter per drainage plan.
13. Bicycle parking.
14. not used.
15. Refer to city standard for sidewalk detail no. 2441
16. Property line.
17. Edge of building.
18. ADA van accessible sign per 66-7-352.4C NMSA 1978 including "Violators Are Subject to a Fine and/or Towing."
19. "NO PARKING" stenciled in the access aisle, in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space per 66-1-4.1.B NMSA 1978.
20. Future phase, see phasing plan.
21. not used.
22. Future wheelchair access.
23. Paint curb red with "fire lane" in white letters on the face of the curb.
24. 16" concrete parking bumper, 3000 psi, with two #3 rebar
25. Disabled parking spaces.

Phase One - Building 1- NEW ±8,050 S.F. ASSISTED LIVING CENTER BUILDING

Code Information

All construction shall conform to International Building Code, 2009 Edition and all other applicable codes.

Parking Requirements - Total Project

Parking Requirements - Phase 1

Parking Requirements - Phase 2

Parking Requirements - Phase 3

Parking Requirements - Phase 4

Parking Requirements - Phase 5

Revision dates:
June 21, 2015

Anissa Hogeland
1232 Western Meadows rd NW
Albuquerque, NM 87114

1331 Cuesta Abajo Ct. NE
Albuquerque, NM

AS1

Enlarged Site Plan

1"=20

