



**Planning Department
Transportation Development Services**

June 15, 2015

Anissa Hogeland
Anissa Construction
1232 Western Meadows Rd., NW
Albuquerque, NM

**Re: Las Lomas Assisted Living
1331 Cuesta Abajo
Traffic Circulation Layout – Revised and Phasing Plan
Engineer's/Architect's Stamp dated 6-10-15 (D16-D101)**

Dear Ms. Hogeland,

Based upon the information provided in your submittal received 6-10-15, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Please identify all doors, structures, sidewalks, curbs, drive pads, walls and anything that influences the parking and circulation on the site.
2. Please provide more detail on grades and slopes in the parking area and/ or the handicap accessible parking areas and the ADA pedestrian walk way.
3. Please provide a Legend showing line types.
4. The ADA van accessible sign must have the required language per 66-7-352.4C NMSA 1978 **"Violators Are Subject to a Fine and/or Towing."**
5. The ADA access aisle shall have the words **"NO PARKING"** in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tire would be placed. (66-1-4.1.B NMSA 1978)
6. Show all drive aisle widths and radii. Per Fire Department, the turning radii for emergency vehicles must be a minimal of 28 Ft. It appears that the radius at the north end of the parking lot and the radii at the south drive pad entrance do not meet the Fire Department requirements. Please provide details of drive path turn around and south drive pad entrance, listing all radii.
7. For passenger vehicles, the minimum end island radius is 15 feet. Landscape island radius for delivery trucks is 25 feet or larger. Please label all radii.
8. A five-foot keyway is required for dead-end parking aisles. The north end of the parking lot at space labeled No. "1" will require a 5 Ft. turn out, so that vehicles may have adequate room to back out and exit.

PO Box 1293

Albuquerque

New Mexico 87103

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CITY OF ALBUQUERQUE



9. Please specify the City Standard Drawing Numbers when applicable.
10. Provide a min 6" or max 8" high concrete barrier curb or other acceptable barrier between landscaping and parking areas and/or drive aisles. Please identify curb barriers.
11. Please include two copies of the traffic circulation layout at the next submittal. Please also include Sheet No. 2 with missing details on bicycle parking, curb barriers, side walk and ADA signage.

Resubmit acceptable package along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. If you have any questions, please contact me at (505) 924-3630.

Sincerely,

Racquel M. Michel, P.E.
Senior Engineer, Planning Dept.
Development Review Services

PO Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

c: File
CO Clerk

Project Description

Phase One - Building 1- NEW ±8,050 S.F. ASSISTED LIVING CENTER BUILDING.

Project Data

OWNER:	TANVIR GILL	505.917.9293
ARCHITECT:	Anissa Hogeland	
	Anissa Construction inc.	
	1232 Western Meadows Rd NW	
	Albuquerque, NM 87114	

Code Information

All construction shall conform to International Building Code, 2009 Edition and all other applicable codes.

AREA OF BUILDING:	8,052 S.F.
BUILDING OCCUPANCY:	R-4
CONSTRUCTION TYPE:	VB SPRINKLED
MAX. ALLOWED (IBC TABLE 5):	7,000 S.F.
ALLOWABLE INCREASE FOR SPRINKLERS:	21,000 S.F.
TOTAL ALLOWABLE AREA:	28,000 S.F.
OCCUPANT LOAD:	
8,052 S.F. / 200 (RESIDENTIAL) = 40 OCCUPANTS	
ZONING	SU-1

Parking Requirements - Total Project

NURSING HOME - 1 PER TWO BEDS (116 beds):	= 58
TOTAL PROVIDED:	= 58
ACCESSIBLE SPACE REQUIRED (1 per 25)	= 3
ACCESSIBLE SPACES PROVIDED	= 10
BIKE SPACES PROVIDED (1 PER 20 AUTO) 8/20	= 3
MOTORCYCLE SPACES PROVIDED	= 4
BICYCLE PARKING PROVIDED	= 5

Parking Requirements - Phase 1

NURSING HOME1 PER TWO BEDS (15 beds):	= 7.5
TOTAL PROVIDED:	= 17
ACCESSIBLE SPACE REQUIRED (1 per 25)	= 1
ACCESSIBLE SPACES PROVIDED	= 2
BIKE SPACES PROVIDED (1 PER 20 AUTO) 8/20	= 3
MOTORCYCLE SPACES PROVIDED	= 0
BICYCLE PARKING PROVIDED	= 3

Parking Requirements - Phase 2

NURSING HOME1 PER TWO BEDS (25 beds):	= 12.5
TOTAL PROVIDED:	= 13
ACCESSIBLE SPACE REQUIRED (1 per 25)	= 1
ACCESSIBLE SPACES PROVIDED	= 2
BIKE SPACES PROVIDED (1 PER 20 AUTO) 8/20	= 0
MOTORCYCLE SPACES PROVIDED	= 2

Parking Requirements - Phase 3

NURSING HOME1 PER TWO BEDS (26 beds):	= 13
TOTAL PROVIDED:	= 13
ACCESSIBLE SPACE REQUIRED (1 per 25)	= 1
ACCESSIBLE SPACES PROVIDED	= 4
BIKE SPACES PROVIDED (1 PER 20 AUTO) 8/20	= 0
MOTORCYCLE SPACES PROVIDED	= 1

Parking Requirements - Phase 4

NURSING HOME1 PER TWO BEDS (25 beds):	= 12.5
TOTAL PROVIDED:	= 15
ACCESSIBLE SPACE REQUIRED (1 per 25)	= 1
ACCESSIBLE SPACES PROVIDED	= 2
BIKE SPACES PROVIDED (1 PER 20 AUTO) 8/20	= 0
MOTORCYCLE SPACES PROVIDED	= 1

Parking Requirements - Phase 5

NURSING HOME - 1 PER TWO BEDS (25 beds)	
BUILDING ONLY - NO SITE WORK	

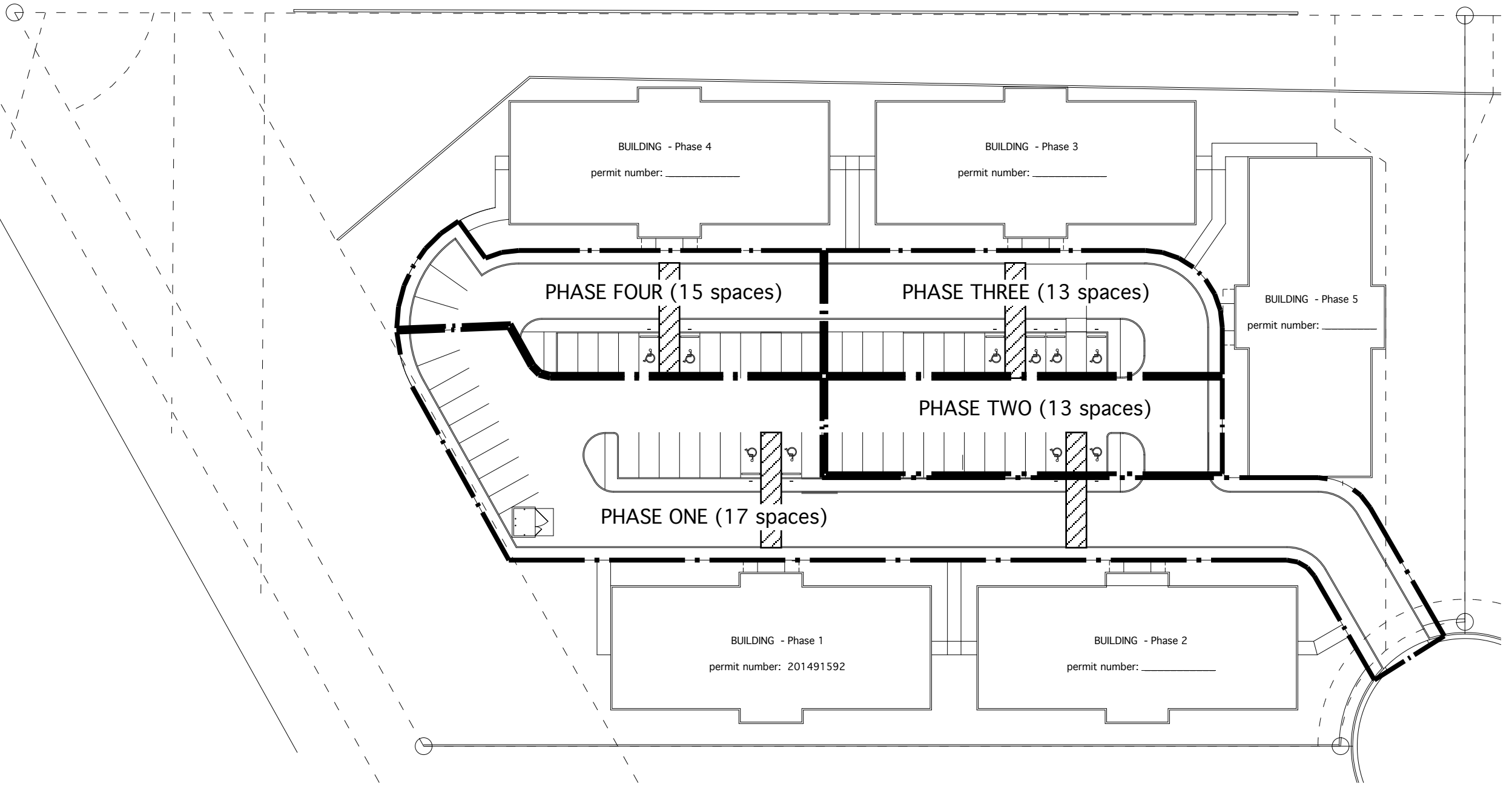
Revision dates:
June 8, 2015

TRAFFIC LAYOUT PLAN

Anissa Hogeland
1232 Western Meadows rd NW
Albuquerque, NM 87114

Assisted Living Center
1331 Cuesta Abajo Ct. NE
Albuquerque, NM

SHEET NO.
AS1

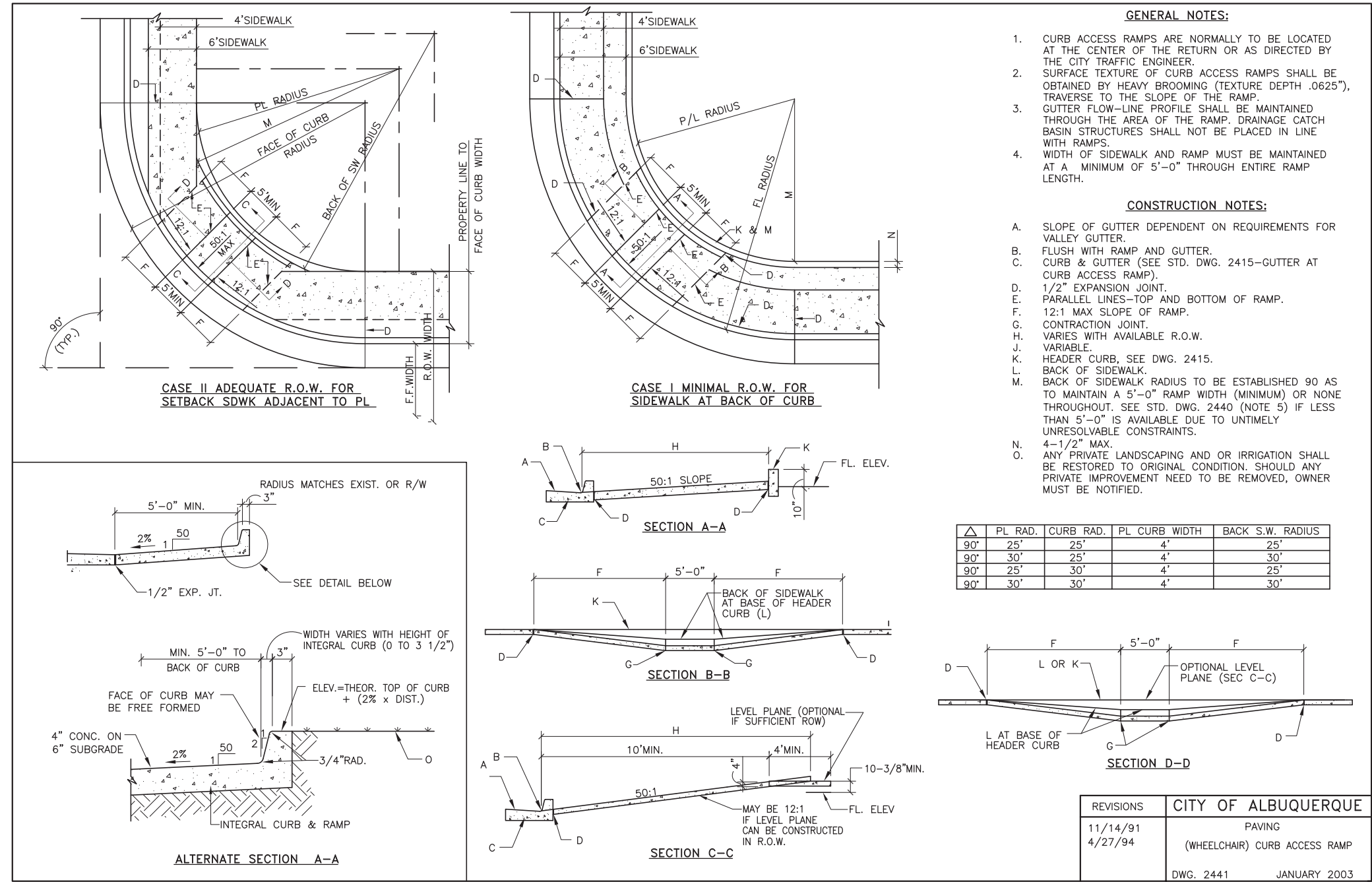


Phasing Plan

1"=50'

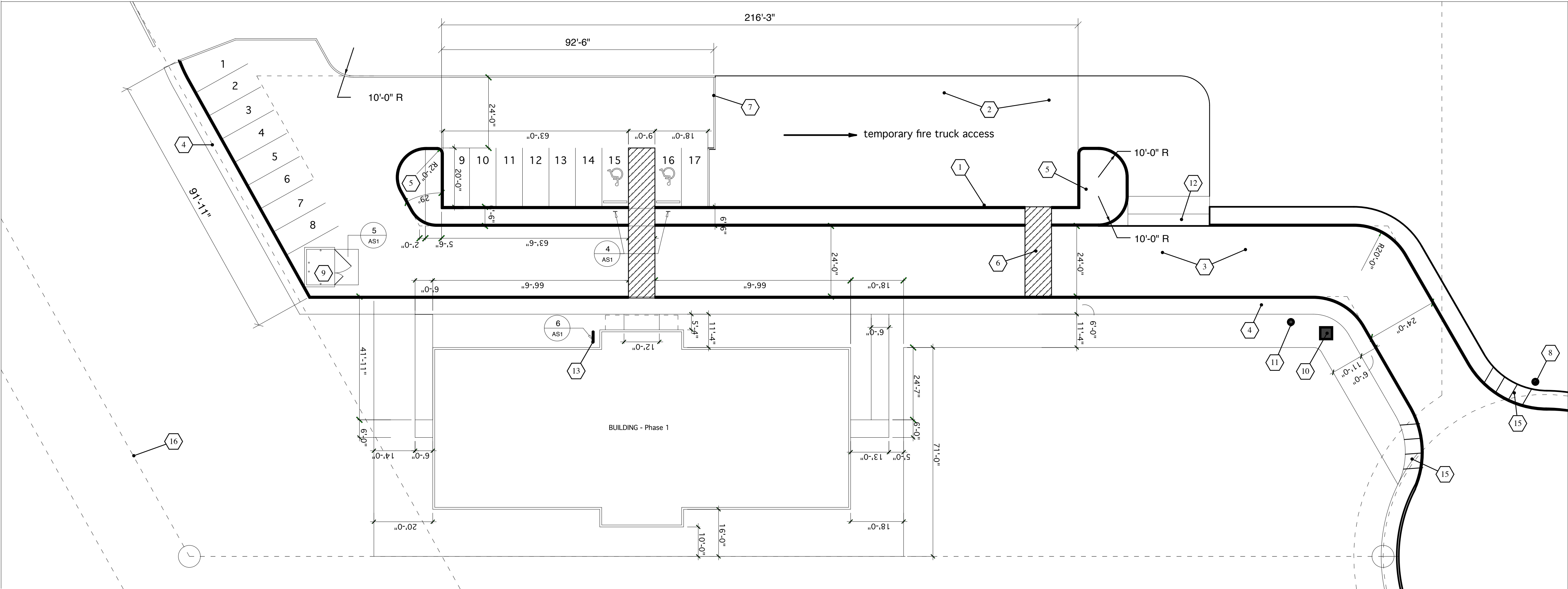
Note: provide final as-built survey prior to continuation with future phases.

Note: Parking dimensions 9'-0" wide X 20'-0" long unless noted otherwise.



KEYED NOTES

- Concrete curb and gutter.
- Compacted sub base compacted to 95%
- Asphalt
- 4" concrete sidewalk (3000 psi w/ air)
- Landscaped area.
- Crosswalk hatch per State standards.
- Temporary concrete asphalt pad.
- Fire hydrant.
- Dumpster and concrete pad.
- Fire truck connections.
- Post valve indicator.
- Concrete valley gutter per drainage plan.
- Bicycle parking.
- Motorcycle parking.
- Refer to city standard for sidewalk detail.
- Property line.



Enlarged Site Plan

1"=20'

