

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

December 12, 2019

Scott McGee, P.E.
9700 Tanoan Drive NE
Albuquerque, NM 87111

RE: 1310 Cuesta Arriba Court NE
Grading and Drainage Plan
Engineer's Stamp Date: 12/05/19
Hydrology File: D16D103

Dear Mr. McGee:

Based upon the information provided in your submittal received 12/10/2019, the Grading and Drainage Plan **is not** approved for Building Permit. The following comments need to be addressed for approval of the above referenced project:

1. There is an existing electrical transformer which is not shown in the southwest corner of the tract. The proposed stormwater quality pond will have to be adjusted. See photo below.



2. There is no existing sidewalk along Cuesta Arriba Court. You show this as existing. Please show the proposed required frontage sidewalk. See photo below.

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3. Please provide adjacent property information. This is missing.
4. Please correct both driveways. They are not tied into the existing curb with the proper commercial radius.
5. Please show the on-site curbing. It is hard to tell what is curb and what is flush with the sidewalk.
6. Please correct some of the proposed contours. They are not being tied into the existing contours.
7. Please provide a detail of the non-typical deepened curb.
8. Please change all reference of First Flush to Stormwater Quality. This is the current terminology.
9. Please label the Stormwater Quality Ponds with the provided volume.
10. Please provide an emergency spillway for the Stormwater Quality Pond. Typically this is a 2 feet sidewalk culvert. Also please label this per CoA detail 2236 and include both the inflow and outflow at the gutter.
11. Please check all callouts. Most are unreadable because of the line work that they are over.
12. Please label the existing retaining wall along the southern property line. See photo in comment #1.
13. Please provide a cross-section for this existing retaining wall through the proposed swale and the proposed parking.

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14. Please add the Stormwater Quality Volume WSE in the Pond Section.
15. Please provide the weir calculations, per DPM Chapter 22.3.A.1, for the curb cuts and sidewalk culverts. A coefficient of 2.7 is typically used for the weir equation $Q = CLH^{2/3}$.
16. There appears to be an area along Cuesta Arriba Court which does not go into a Stormwater Quality Pond and instead point discharges into the street. Please see if a small pond is needed for this drainage.
17. Standard review fee of \$150 will be required at the time of resubmittal.

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Dough Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

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If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Albuquerque

Sincerely,

NM 87103

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department

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SHEET
GRADING
PLAN
C100

SCALE:

DATE:

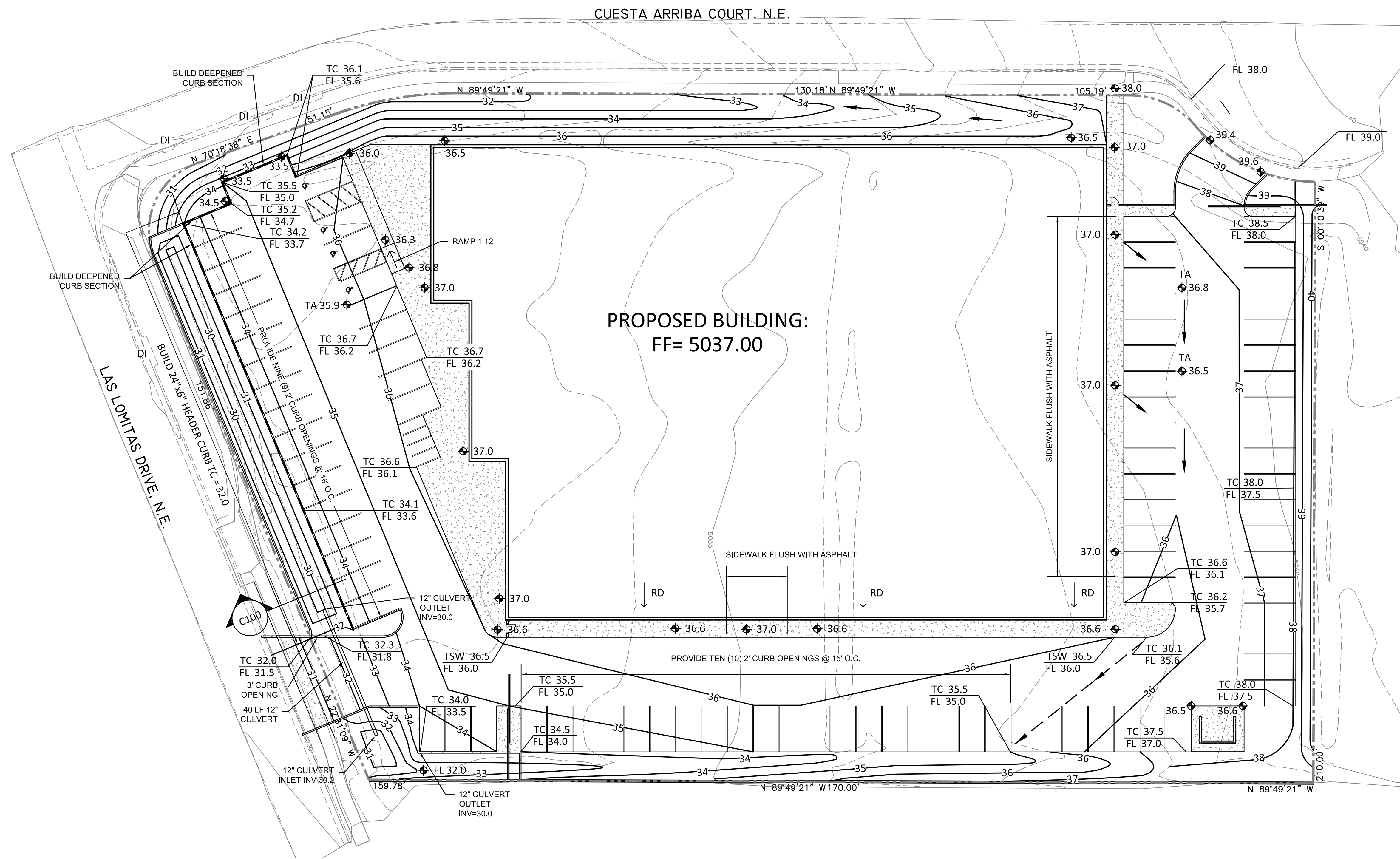
DRAWN

OWNER APPROVAL

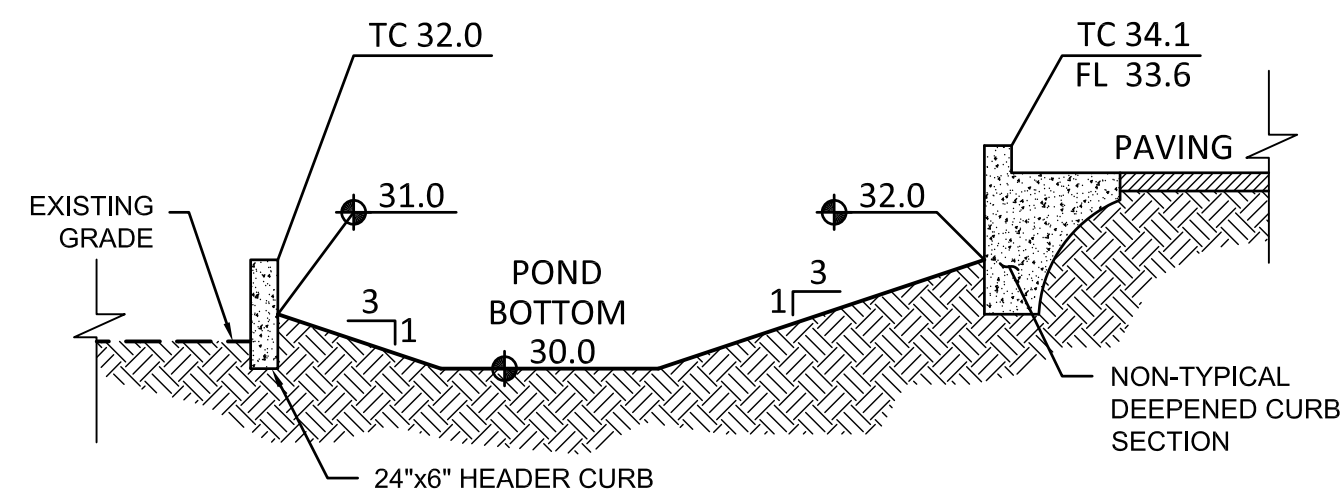
LAS LOMITAS
1310 CUESTA ARRIBA CT NE
ALBUQUERQUE, NM 87113

WACHENBUEH
CONSTRUCTION INC.
OFFICE: (505)
500 WASHINGTON ST., SUITE A-5

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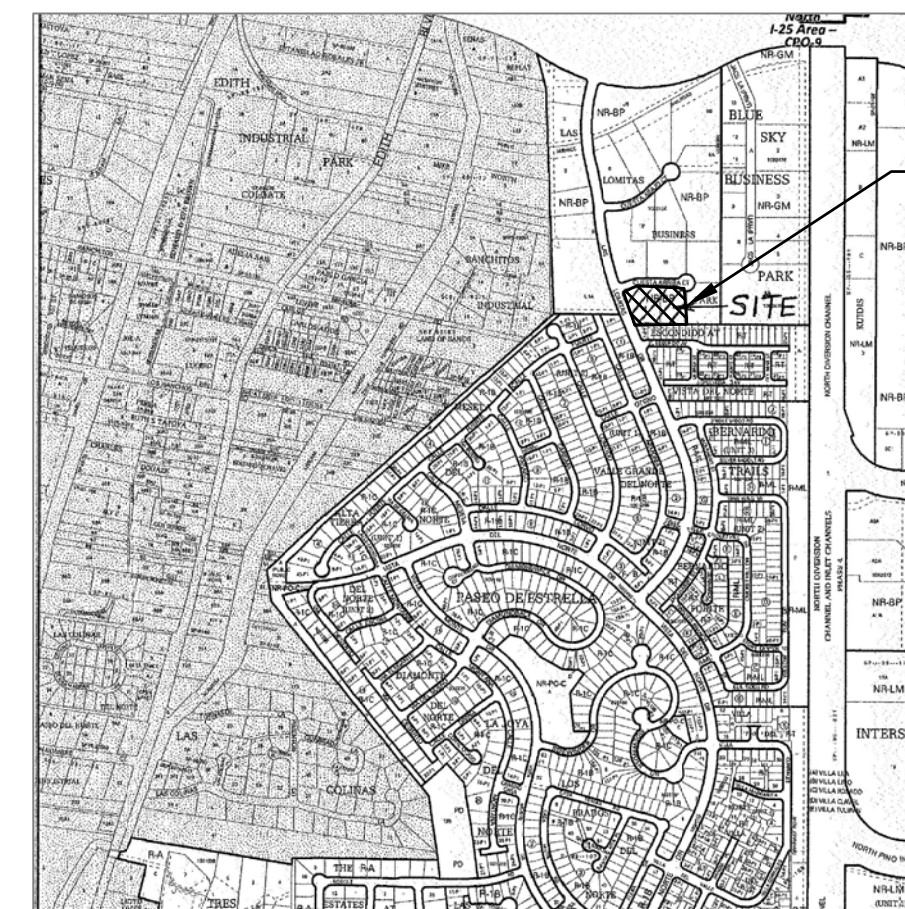


GRADING AND DRAINAGE PLAN

$$1'' = 20$$


POND SECTION

N.T.S.



- SITE

VICINITY MAP

D-16-Z

LEGEND

----- EXISTING CONSTRUCTION

 NEW CONTOUR

FF=5037.00 PROPOSED BUILDING FINISH
FLOOR ELEV

⊕ 36.5 NEW SPOT ELEVATION

NEW CONSTRUCTION

BD 2005 BRAIN

← RD ROOF DRAIN

TC TOP OF CURB

DI EXISTING DROP INLET

— — — — — DEEPENED CURB SECTION

DRAINAGE ANALYSIS

ADDRESS: 1310 Cuesta Arriba Ct NE, Albuquerque, NM

LEGAL DESCRIPTION: LOTS 18 and 19, LAS LOMITAS BUSINESS PARK

SITE AREA: 88,076 SF (2.022 acre)

BENCHMARK: City of Albuquerque Station '13-D16' being a brass cap with ELEV= 5073.471 (NAVD 1988)

SURVEYOR: Sandia Land Surveying Inc. dated October 28, 2019

PRECIPITATION ZONE: 2

FLOOD HAZARD: From FEMA Map 35001C0136G (9/26/08), this site is identified as being within Zone 'X' which is determined to be outside the 0.2% annual chance floodplain.

OFFSITE FLOW: No offsite flow enters this site. A berm was constructed along the east property line directing Lot 17 runoff north to the existing cul-de-sac.

EXISTING CONDITIONS: The site is an undeveloped industrial site which slopes down to the west at 2-2.5%. The site is part of the Las Lomitas IP DMP which has an allowable discharge of 4.35 CFS/AC (D-16/D002C).

PROPOSED IMPROVEMENTS: A 37,000 SF building is proposed along with paved parking and access drives and minor xeric landscape areas which are being used for onsite runoff storage. Runoff is directed to the south side of the site where it is then carried to the west. A culvert carries flow north under the entry drive on Las Lomas to a 15'-wide landscape area. When water depths reach a flowline elevation of 31.5, then water will discharge through the Las Lomas drive.

DRAINAGE APPROACH: The site drainage pattern will follow historic conditions with the incorporation of onsite retention ponds for the first flush volume.

Existing land treatment: 50% B and 50% C

$$Q = (1.01)(2.28) + (1.01)(3.14) = 5.5 \text{ CFS}$$

Proposed land treatment: 18% C and 82% D

$$Q = [(0.18)(3.14) + (0.82)(4.70)](2.022) = 8.9 \text{ CFS } (Q_A = 8.8 \text{ CFS})$$
$$1^{ST} \text{ FLUSH } V = (0.34/12)(72,585) = 2,057 \text{ CF}$$

The proposed retention storage area provides $V = (14+5/2)(1.5)(150) = 2,137$ CF
(2137 > 2057 OK)

