



March 19, 2020

Jonathan G. Sanchez, RA
Mechenbier Construction, Inc.
8500 Washington St. NE, Ste. A-5
Albuquerque, NM 87113

Re: Volleyball Courts & Gymnasium Bldg Shell
1310 Cuesta Arriba Court NE
Traffic Circulation Layout
Architect's Stamp 03-12-2020 (D16-D103)

Dear Mr. Sanchez,

Based upon the information provided in your submittal received 03-18-2020, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Please coordinate all calculations for parking spaces, including bicycle, and motorcycle parking with Zoning
2. Identify all existing access easements and rights of way width dimensions.
3. ADA curb ramps must be updated to current standards and have truncated domes installed (Location: corner of Cuesta Arriba Ct. and Las Lomas Dr.).
4. Motorcycle parking spaces: Please label pavement MC for each stall.
5. Per the IDO, a 6 ft. wide ADA accessible pedestrian pathway is required from the public sidewalk to the building entrances. The landing will need to be 2% and 6 ft by 5 ft between ramps.
6. Per DPM, a **6 ft. wide** ADA accessible pedestrian pathway is required from the ADA parking stall access aisles to the building entrances.
7. It is not apparent what tupe of pavement surface is being proposed. A hard driving surface will be required as part of this proposed project for parking area and drive aisles.
8. All proposed curbing for landscape, parking, and pedestrian ways will need a detail.
9. The provide clear sight triangle is shown correctly on plans. Please see DPM. You will need a clear sight line at intersection of Cuesta Arriba Ct and Las Lomas Dr.
10. Please specify the City Standard Drawing Number when applicable.
11. For this note that has been provide "All broken or cracked sidewalk must be replaced with sidewalk and curb & gutter." A build note must be provided referring to the appropriate City Standard drawing .

PO Box 1293

Albuquerque


NM 87103

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12. Provide detail for proposed bollards and paint yellow.

If you have any questions, please contact me at (505) 924-3630. My work schedule is 9:30am-2:30pm.

Sincerely,

A handwritten signature in black ink, appearing to read 'Nilo Salgado-Fernandez', with a long horizontal stroke extending to the right.

Nilo Salgado-Fernandez, P.E.
Senior Engineer, Planning Dept.
Development Review Services

Ernie Gomez,
Plan Checker, Planning Dept.
Development Review Services

\xxx via: email
C: CO Clerk, File