

# CITY OF ALBUQUERQUE

Planning Department  
Brennon Williams, Director



Mayor Timothy M. Keller

February 7, 2020

Scott McGee, P.E.  
9700 Tanoan Drive NE  
Albuquerque, NM 87111

**RE: 1310 Cuesta Arriba Court NE  
Grading and Drainage Plan  
Engineer's Stamp Date: 02/03/20  
Hydrology File: D16D103**

Dear Mr. McGee:

Based upon the information provided in your submittal received 02/05/2020, the Grading and Drainage Plan is approved for Building Permit.

PO Box 1293

Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter. Prior to approval in support of Permanent Release of Occupancy by Hydrology, Engineer Certification per the DPM checklist will be required.

Albuquerque

If the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, [jhughes@cabq.gov](mailto:jhughes@cabq.gov), 924-3420) 14 days prior to any earth disturbance.

NM 87103

[www.cabq.gov](http://www.cabq.gov)

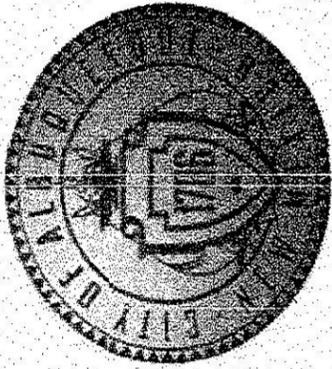
Also as a reminder, please provide a Drainage Covenant for the proposed stormwater quality ponds per Chapter 17 of the DPM prior to Permanent Release of Occupancy. Please submit this on the 4th floor of Plaza de Sol. A \$25 fee will be required.

If you have any questions, please contact me at 924-3995 or [rbrissette@cabq.gov](mailto:rbrissette@cabq.gov).

Sincerely,

A handwritten signature in purple ink that reads "Renée C. Brissette".

Renée C. Brissette, P.E. CFM  
Senior Engineer, Hydrology  
Planning Department



# City of Albuquerque

Planning Department  
Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: 1310 CUESTA ARRIBA CT Building Permit #: \_\_\_\_\_ Hydrology File #: D-16/D103

DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_

Legal Description: LOTS 18419 LAS LOMITAS BUSINESS PARK

City Address: 1310 CUESTA ARRIBA CT NE

Applicant: SMM PE Contact: SCOTT MCGEE

Address: 9700 TANOGAN NE ABO, NM 87111

Phone#: 263-2905 Fax#: \_\_\_\_\_ E-mail: scottmccgee@gmail.com

Other Contact: MECHENBIER CONSTRUCTION Contact: \_\_\_\_\_

Address: \_\_\_\_\_ Contact: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

TYPE OF DEVELOPMENT: \_\_\_\_\_ PLAT (# of lots) \_\_\_\_\_ RESIDENCE \_\_\_\_\_ DRB SITE  ADMIN SITE

IS THIS A RESUBMITTAL?  Yes \_\_\_\_\_ No

DEPARTMENT \_\_\_\_\_ TRANSPORTATION  HYDROLOGY/DRAINAGE

Check all that Apply:

### TYPE OF SUBMITTAL:

- \_\_\_\_\_ ENGINEER/ARCHITECT CERTIFICATION
- \_\_\_\_\_ PAD CERTIFICATION
- \_\_\_\_\_ CONCEPTUAL G & D PLAN
- GRADING PLAN
- \_\_\_\_\_ DRAINAGE REPORT
- \_\_\_\_\_ DRAINAGE MASTER PLAN
- \_\_\_\_\_ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- \_\_\_\_\_ ELEVATION CERTIFICATE
- \_\_\_\_\_ CLOMR/LOMR
- \_\_\_\_\_ TRAFFIC CIRCULATION LAYOUT (TCL)
- \_\_\_\_\_ TRAFFIC IMPACT STUDY (TIS)
- \_\_\_\_\_ STREET LIGHT LAYOUT
- \_\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_
- \_\_\_\_\_ PRE-DESIGN MEETING?

### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

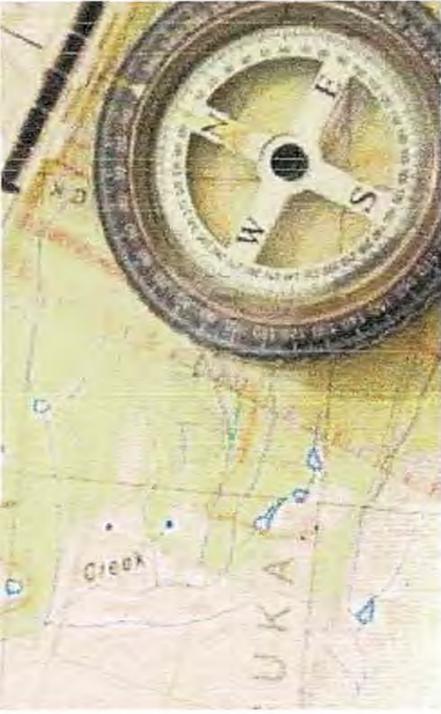
- BUILDING PERMIT APPROVAL
- \_\_\_\_\_ CERTIFICATE OF OCCUPANCY
- \_\_\_\_\_ PRELIMINARY PLAT APPROVAL
- \_\_\_\_\_ SITE PLAN FOR SUB'D APPROVAL
- \_\_\_\_\_ SITE PLAN FOR BLDG. PERMIT APPROVAL
- \_\_\_\_\_ FINAL PLAT APPROVAL
- \_\_\_\_\_ SIA/ RELEASE OF FINANCIAL GUARANTEE
- \_\_\_\_\_ FOUNDATION PERMIT APPROVAL
- \_\_\_\_\_ GRADING PERMIT APPROVAL
- \_\_\_\_\_ SO-19 APPROVAL
- \_\_\_\_\_ PAVING PERMIT APPROVAL
- \_\_\_\_\_ GRADING/PAD CERTIFICATION
- \_\_\_\_\_ WORK ORDER APPROVAL
- \_\_\_\_\_ CLOMR/LOMR
- \_\_\_\_\_ FLOODPLAIN DEVELOPMENT PERMIT
- \_\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_

DATE SUBMITTED: \_\_\_\_\_ By: \_\_\_\_\_

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_



**SCOTT M MCGEE PE, LLC**  
**CIVIL ENGINEER**

February 3, 2020

Renee C Brissette, PE CFM  
Senior Engineer, Hydrology  
City Planning  
600 2<sup>nd</sup> Street NW, Ste. 201  
Albuquerque, NM 87102

RE: 1310 Cuesta Arriba Ct NE (D16D103)

Dear Ms Brissette,

Thank you for your review comments of December 12, which have been addressed as follows:

1. The existing transformer has been noted.
2. There is an existing sidewalk along Cuesta Arriba Ct NE.
3. Adjacent lot labels have been added. Field verification indicates the abutting residential private backyards are typically 4-12" below the grades along the existing south wall.
- 4-5. Site plan revisions have been made to address driveways and curbing.
6. Proposed contours have been revised per your comment.
7. A deepened curb detail has been added.
8. SWQ notations have replaced First flush labels as requested.
9. SWQ pond volume has been added.
10. An emergency spillway detail has been added showing a 3' curb opening where pond discharges to proposed west driveway.
11. Text callouts have been adjusted to be more legible.
12. Existing retaining wall label has been added along south side of site.
13. A section has been added for the south swale, wall, and parking lot.
14. SWQ volume indicated with WSE = 31.5 added to pond section.
15. Weir calculations have been added to the plan.
16. The roof plan has been revised and discharges 22,252 SF to the north. The 2 north side roof drains combine in an 8" drain line that carries flow west to the SWQ pond. No developed flows discharge to the north landscape area so no SWQ pond is required.

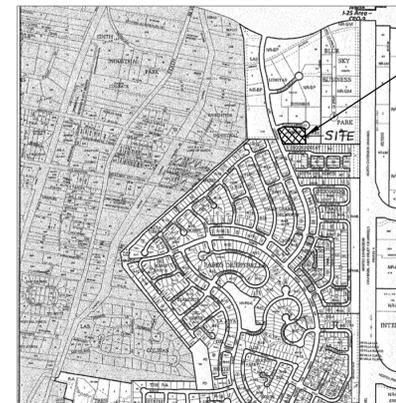
Please contact me if needed to answer additional questions. Thank you.

Scott M McGee PE

**9700 Tanoan Drive NE**

**Albuquerque, NM 87111**

**505.263.2905**



SITE

VICINITY MAP **D-16-Z**

**LEGEND**

- EXISTING CONSTRUCTION
- NEW CONTOUR
- FF=5037.00 PROPOSED BUILDING FINISH FLOOR ELEV
- ◆ 36.5 NEW SPOT ELEVATION
- NEW CONSTRUCTION
- RD ROOF DRAIN
- TC TOP OF CURB
- DI EXISTING DROP INLET
- DEEPEINED CURB SECTION

SCALE:  
DATE: 12/09/19  
DRAWN BY:  
OWNER APPROVAL:

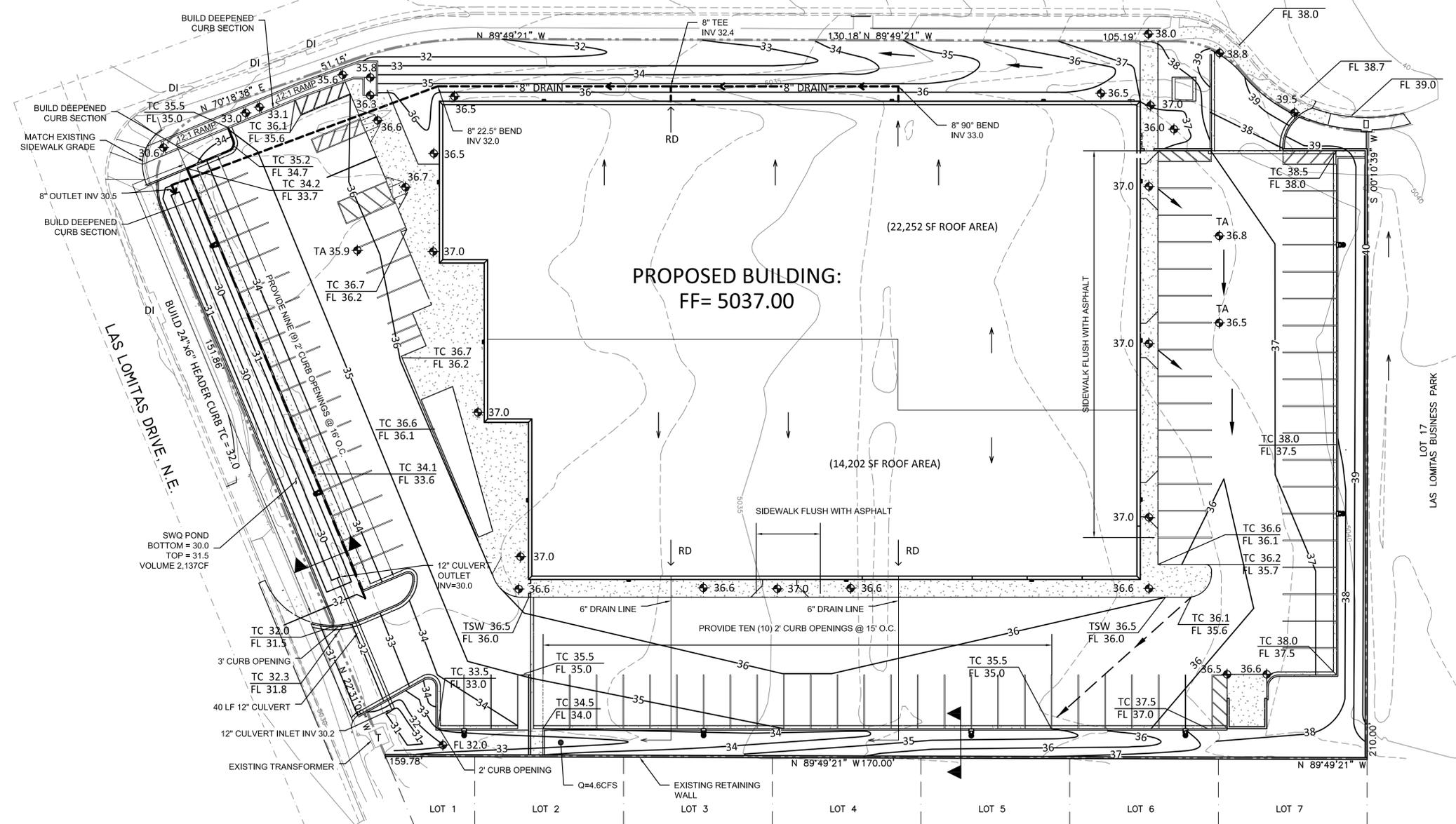
**DRAINAGE ANALYSIS**

ADDRESS: 1310 Cuesta Arriba Ct NE, Albuquerque, NM  
 LEGAL DESCRIPTION: LOTS 18 and 19, LAS LOMITAS BUSINESS PARK  
 SITE AREA: 88,076 SF (2.022 acre)  
 BENCHMARK: City of Albuquerque Station '13-D16' being a brass cap with ELEV= 5073.471 (NAVD 1988)  
 SURVEYOR: Sandia Land Surveying Inc, dated October 28, 2019  
 PRECIPITATION ZONE: 2  
 FLOOD HAZARD: From FEMA Map 35001C0136G (9/26/08), this site is identified as being within Zone 'X' which is determined to be outside the 0.2% annual chance floodplain.  
 OFFSITE FLOW: No offsite flow enters this site. A berm was constructed along the east property line directing Lot 17 runoff north to the existing cul-de-sac.

EXISTING CONDITIONS: The site is an undeveloped industrial site which slopes down to the west at 2-2.5%. The site is part of the Las Lomitas IP DMP which has an allowable discharge of 4.35 CFS/AC (D-16/D002C).  
 PROPOSED IMPROVEMENTS: A 37,000 SF building is proposed along with paved parking and access drives and minor xeric landscape areas which are being used for onsite runoff storage. Runoff is directed to the south side of the site where it is then carried to the west. A culvert carries flow north under the entry drive on Las Lomitas to a 15'-wide landscape area. When water depths reach a flowline elevation of 31.5, then water will discharge through the Las Lomitas drive.

DRAINAGE APPROACH: The site drainage pattern will follow historic conditions with the incorporation of onsite retention ponds for the first flush volume.  
 Existing land treatment: 50% B and 50% C  
 $Q = (1.01)(2.28) + (1.01)(3.14) = 5.5 \text{ CFS}$   
 Proposed land treatment: 18% C and 82% D  
 $Q = [(0.18)(3.14) + (0.82)(4.70)](2.022) = 8.9 \text{ CFS } (Q_A = 8.8 \text{ CFS})$   
 $SWQ V = (0.34/12)(72,585) = 2,057 \text{ CF}$   
 Proposed storage pond  $V = (14+5/2)(1.5)(150) = 2,137 \text{ CF } (2137 > 2057 \text{ OK})$   
 Weir capacity--2' curb opening:  $Q = CHL^2/3 = (2.7)(2.0)(0.5)^2/3 = 3.4 \text{ CFS}$   
 Manning capacity for south swale:  $Q = (1.49/n)AR^2/3S^{1/2}$   
 where  $n=0.025$  for gravel  $Q = (1.49/0.025)(3.0)(0.474)^2/3(0.013)^{1/2}$   
 slope= 1.3%, and depth = 1'  $Q = 8.0 \text{ CFS } (8.0 > 4.6 \text{ CFS OK})$

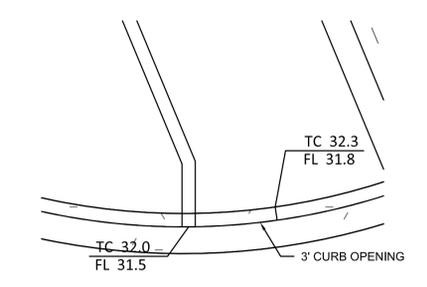
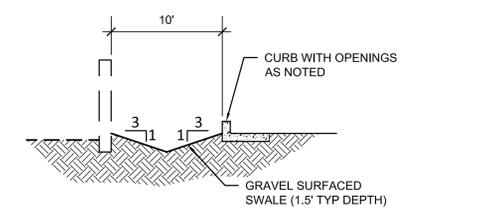
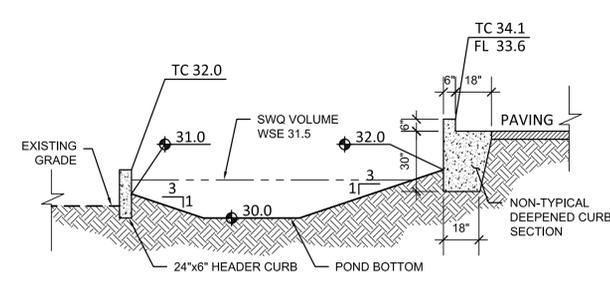
CUESTA ARRIBA COURT, N.E.



**GRADING AND DRAINAGE PLAN**

1" = 20'

0 20' 40'



LAS LOMITAS  
1310 CUESTA ARRIBA CT NE  
ALBUQUERQUE, NM 87113

MECHENBER CONSTRUCTION  
1800 WASHINGTON ST. NE SUITE 405  
ALBUQUERQUE, NM 87113  
PHONE: (505) 344-7700  
WEB: WWW.MECHENBER.COM

