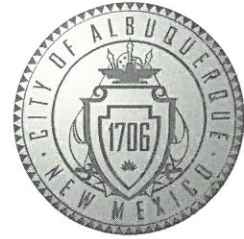


CITY OF ALBUQUERQUE



March 25, 2020

Jonathan G. Sanchez, PE
Mechenbier Construction, Inc.
8500 Washington Street NE, Ste. A-5
Albuquerque NM 87113

Re: Volleyball Courts & Gymnasium-Bldg Shell
1310 Cuesta Arriba Court NE
Traffic Circulation Layout
Engineer's Stamp 03-24-2020 (D16-D103)

Dear Mr. Sanchez,

The TCL submittal received 03-24-2020 is approved for Building Permit with. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Nilo Salgado-Fernandez, P.E.
Senior Engineer, Planning Dept.
Development Review Services

Ernie Gomez,
Plan Checker, Planning Dept.
Development Review Services

\xxx via: email
C: CO Clerk, File

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

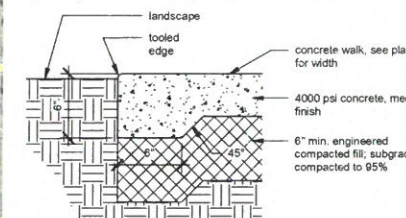
KEYED NOTES:

- 54 Pipe bollard, painted traffic yellow (4'-6" high).
55 Pipe bollard, painted traffic yellow (7'-0" high).
61 Gate pin holes drilled into concrete slab for open and closed positions.

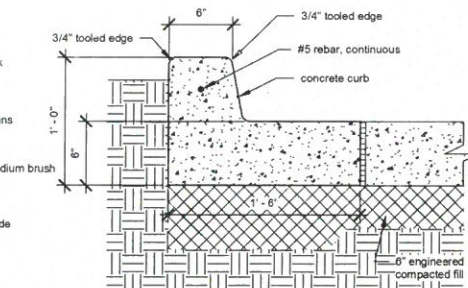
GENERAL NOTES:

1. Edges not specifically dimensioned shall be edged with a 3/8" edging tool.
2. Requires full form on all faces.
3. Construction control joints at 6'-0" o.c. maximum.
4. 1/2" expansion joints at 8'-0" o.c. at curb returns and at each side of drives.
5. Conform to CABQ standard C&G detail 2415A.

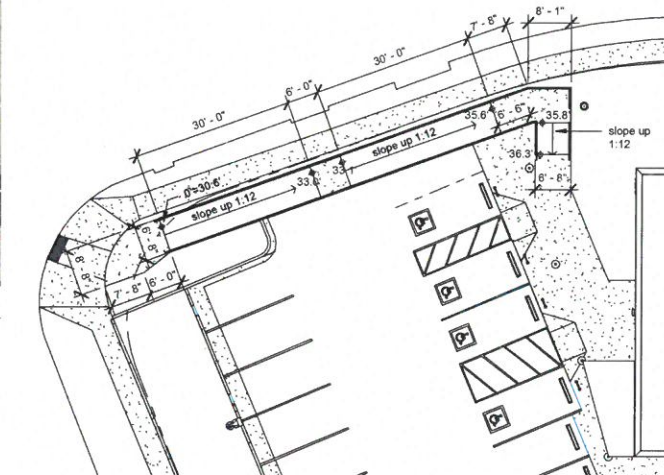
NOTE: Conform to CABQ standard detail 2720; control joints at 5'-0" o.c.; expansion joints at 20'-0" o.c.; slope 1/4" per foot across the width of the walk.



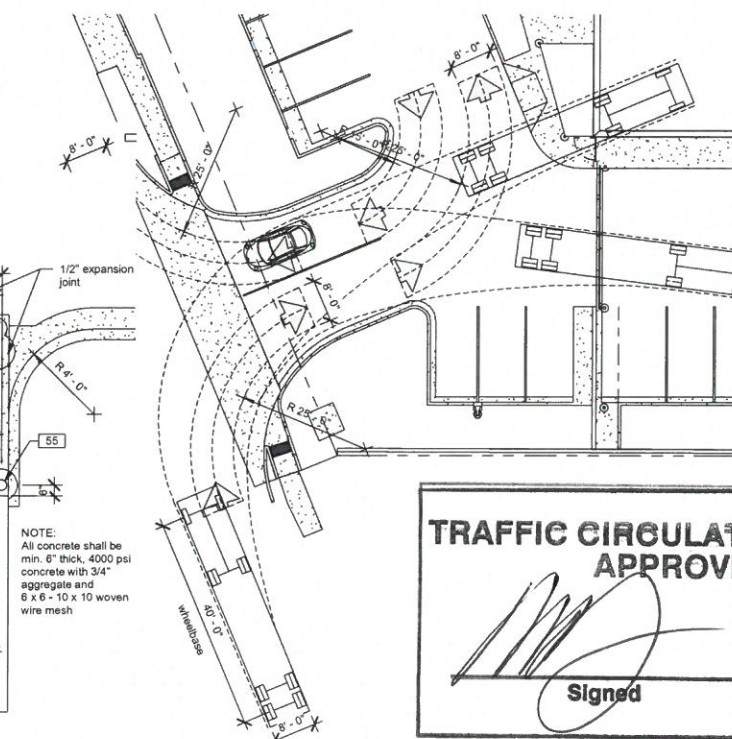
11 Traffic - Concrete Sidewalk
1 1/2" = 1'-0"



10 Concrete Curb & Gutter - Traffic
1 1/2" = 1'-0"



Site Plan - Traffic (Pedestrian Access) NW
Corner
1/16" = 1'-0"



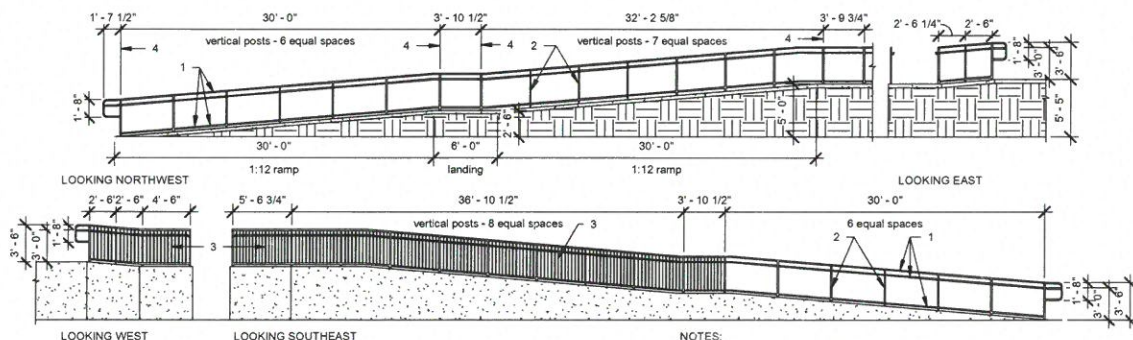
Site Plan - Traffic SW Entry
1/16" = 1'-0"

TRAFFIC CIRCULATION LAYOUT
APPROVED

Signed _____ Date 3/25/2020



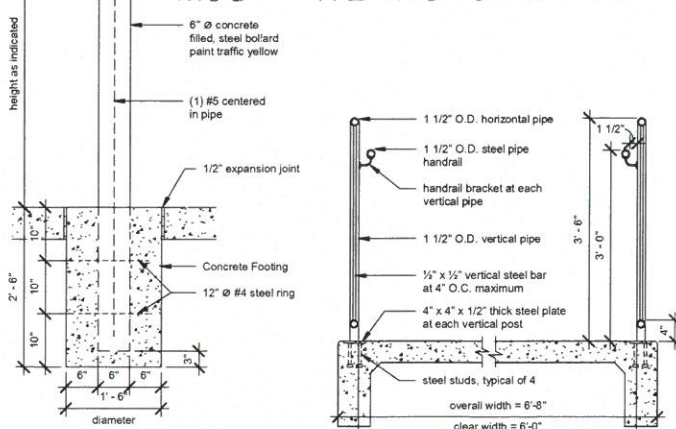
Site Plan - Traffic Vicinity
1" = 40'-0"



HC Ramp Elevations - Traffic
1/8" = 1'-0"

- NOTES:
1. 1 1/2" diameter, horizontal steel pipe rail, painted.
2. 1 1/2" diameter, vertical steel post, painted.
3. 1/2" x 1/2" steel bar, 4" o.c. maximum, painted.
4. Centerline of vertical post.

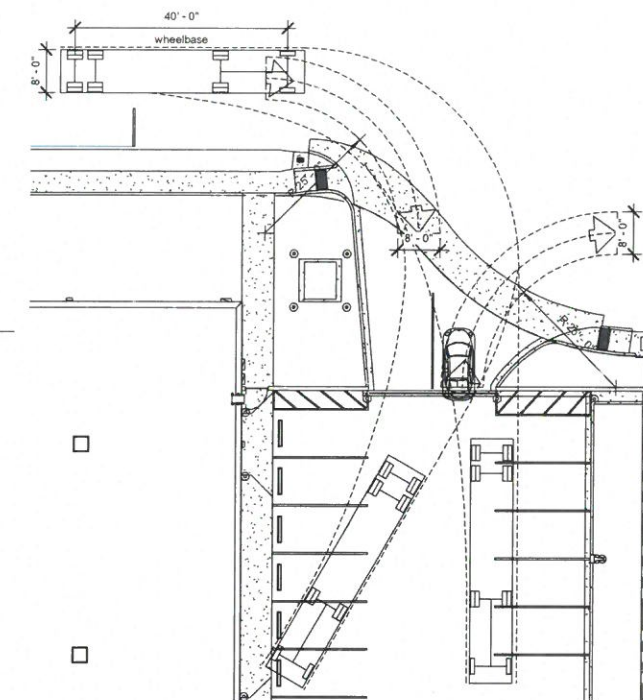
ALL WHEELCHAIR RAMPS LOCATED
WITHIN THE PUBLIC RIGHT OF WAY
MUST HAVE TRUNCATED DOMES.



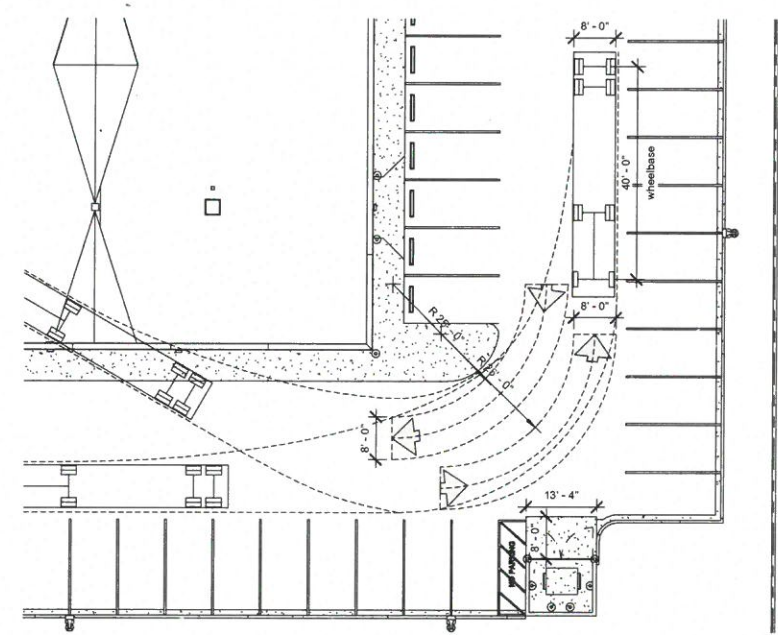
Traffic - Pipe Bollard
3/4" = 1'-0"

Concrete Ramp Guardrails - Traffic
3/4" = 1'-0"

Site - Dumpster - Traffic
1/4" = 1'-0"

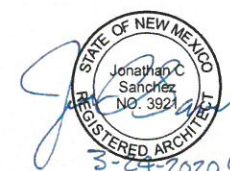


Site Plan - Traffic NE Entry
1/16" = 1'-0"



Site Plan - Traffic SE Corner
1/16" = 1'-0"

Traffic Circulation & Details



Cuesta Arriba Court NE

(50' R/W)

NOTE: All improvements located in the Right of Way must be included on the work order

[65] signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in the clear site triangle

FIRE HYDRANT LOCATION

L = 26.01', R = 30.0'
N 64° 58' 58" W

PROJECT ADDRESS:

1310 Cuesta Arriba Court NE,
Albuquerque, NM 87113
Bernalillo County

LEGAL DESCRIPTION:

TR 18-A of Las Lomas Business Park Subdivision within the Elena Gallegos Grant,
City of Albuquerque, Bernalillo County, New Mexico

UPC: 101606339536410206

OWNER: John E. & Cynthia Mechenbier

ZONING:

Zoning Map: D-16-Z
IDO Zone District: NR-BP
IDO District Definition: Business Park
IDO Category: Non-Residential
Proposed Permissible Uses: Health Club or Gym; Office; Light Manufacturing; Warehousing
Total Site Area: 2.02 acres

BUILDING ON LOT:

Minimum front yard setback = 20 feet
Actual Front "North" Setback depth is 20'-0"
Minimum side yard depth = 10 feet
Actual Side yard "East" depth is 76'-0"
Actual Side yard "West" depth is +/- 66'-8"
Minimum rear yard depth = 10 feet
Actual Rear yard "South" is 58'-0"

Building Coverage Maximum = 50%
35,267 GSF = 0.8096 acres = 40% Building Coverage

PARKING:

Office: 3.5 space per 1000 sq. ft. gross floor area "GFA"
875 / 1000 = 0.875
0.875 x 3.5 = 3.06 or 3 parking spaces required
Gymnasium (Including unoccupied Cold Shell Flex):
2.5 space per 1000 sq. ft. gross floor area "GFA"
34,392 / 1000 = 34.392
34.392 x 2.5 = 85.98 or 85 parking spaces required

On-Street Parking credit: (2) spaces on Cuesta Arriba
Minimum Parking Spaces Required = 88
Parking Spaces Provided = 88

Handicap parking including at least one
Van accessible parking = 1
Motorcycle parking spaces Required: 51-100 parking spaces = 3 motorcycle parking spaces required, 3 motorcycle parking spaces provided

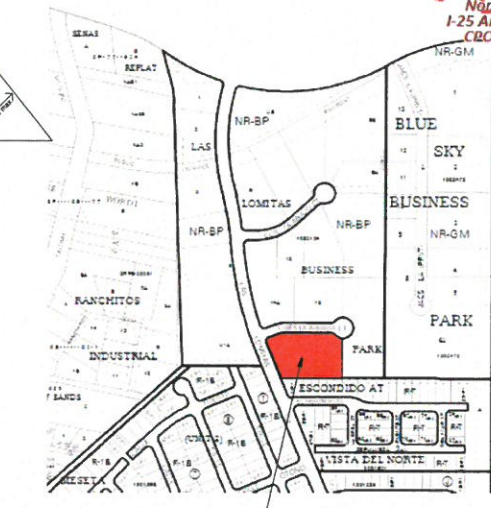
Bicycle parking: Non-residential use not listed in Table 5-5-5 = 3 spaces or 10% of required off-street parking spaces whichever is greater, therefore 9 spaces required.

TRAFFIC CIRCULATION:

Two-way traffic entry/egress from northeast corner of site on Cuesta Arriba Court NE. Two-way traffic entry/egress from southwest corner of site along Las Lomas Ave. NE.

ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.

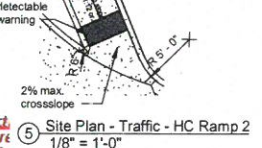
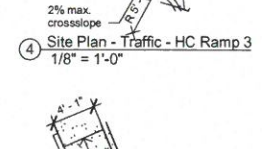
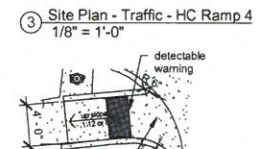
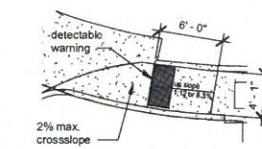
Zone Atlas Map D-16-Z



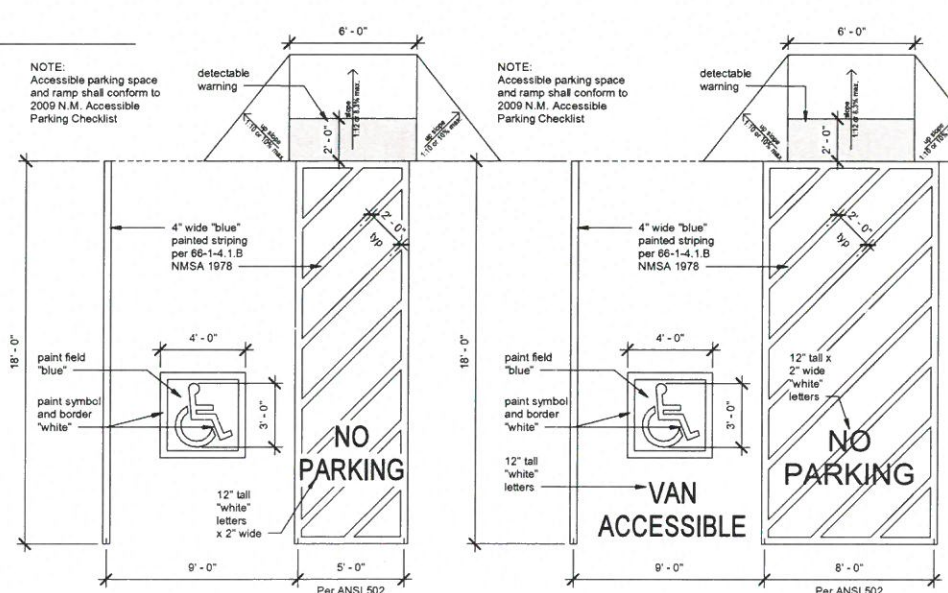
Project location:
1310 Cuesta Arriba NE
Albuquerque, NM 87113

KEYED NOTES:

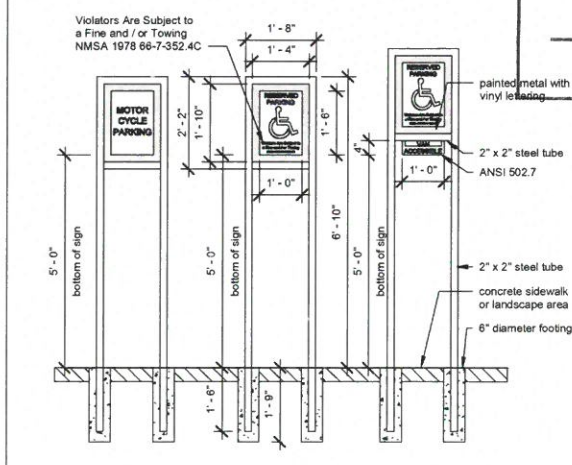
- 26 USPS mailbox.
- 27 Bike rack, capacity 9 bikes.
- 28 16'-0" flag pole with light.
- 29 ADA accessible parking sign.
- 30 ADA van accessible parking sign.
- 31 Motorcycle parking sign.
- 32 ADA Van accessible parking space.
- 33 ADA accessible parking space.
- 34 Qty. 4 (8' x 8' x 16") CMU turned on side, see grading plan C100 for invert elevation.
- 35 Roof crickets, slope 1/4" per foot.
- 51 ADA compliant safety flooring detectable warning surface (2 ft. x 4 ft.).
- 52 Existing concrete sidewalk (see CABQ standard dwg 2418 Mountable to Standard Curb Transition).
- 53 Striping for on-street parking is shown to illustrate space availability (not in contract).
- 54 Pipe bollard, painted traffic yellow (4'-6" high).
- 55 Pipe bollard, painted traffic yellow (7'-0" high).
- 62 Sawcut and remove concrete curb for continuation of accessible path from existing ramp to proposed ramp access to building entries.
- 63 Motorcycle parking: provide 12" tall white letters "MC".
- 64 Maximum slope at landings shall be 2%.
- 65 Street Corner Intersection clear site triangle per City Ordinance § 8-2-2-15.



ESCONDIDO AT VISTA DEL NORTE



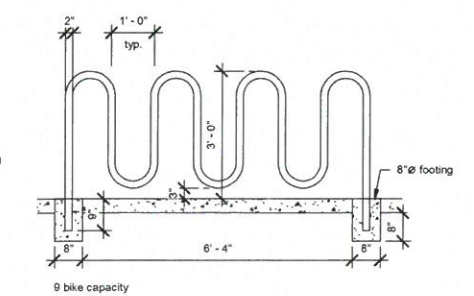
1 Site Plan - Traffic
1" = 20'-0"



13 Parking Signage - Traffic
1/2" = 1'-0"

TRAFFIC CIRCULATION LAYOUT APPROVED

Signed *[Signature]* 3/25/2020
Date



12 Bike Rack - Traffic
1/2" = 1'-0"

11 Traffic - Accessible Parking
1/4" = 1'-0"

10 Traffic - Van Accessible Parking
1/4" = 1'-0"

9 T1 Zoning Map
3/4" = 1'-0"

Traffic - Site Plan