

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

February 11, 2021

Jonathan Sanchez, R.A.
Jonathan Sanchez Architect
8609 Claremont Ave NE
Albuquerque, NM 87112

Re: 7800 Las Lomas
7800 Las Lomas, (FNA) 1310 Cuesta Arriba Ct. NE
Request for Certificate of Occupancy
Transportation Development Final Inspection
Engineer's/Architect's Stamp dated 3-24-20 (D16D103)
Certification dated 2-5-21

Dear Mr. Sanchez,

PO Box 1293

Based upon the information provided in your submittal received 2-5-21, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

Albuquerque

If you have any questions, please contact Ernie Gomez at (505) 924-3981.

NM 87103

Sincerely,

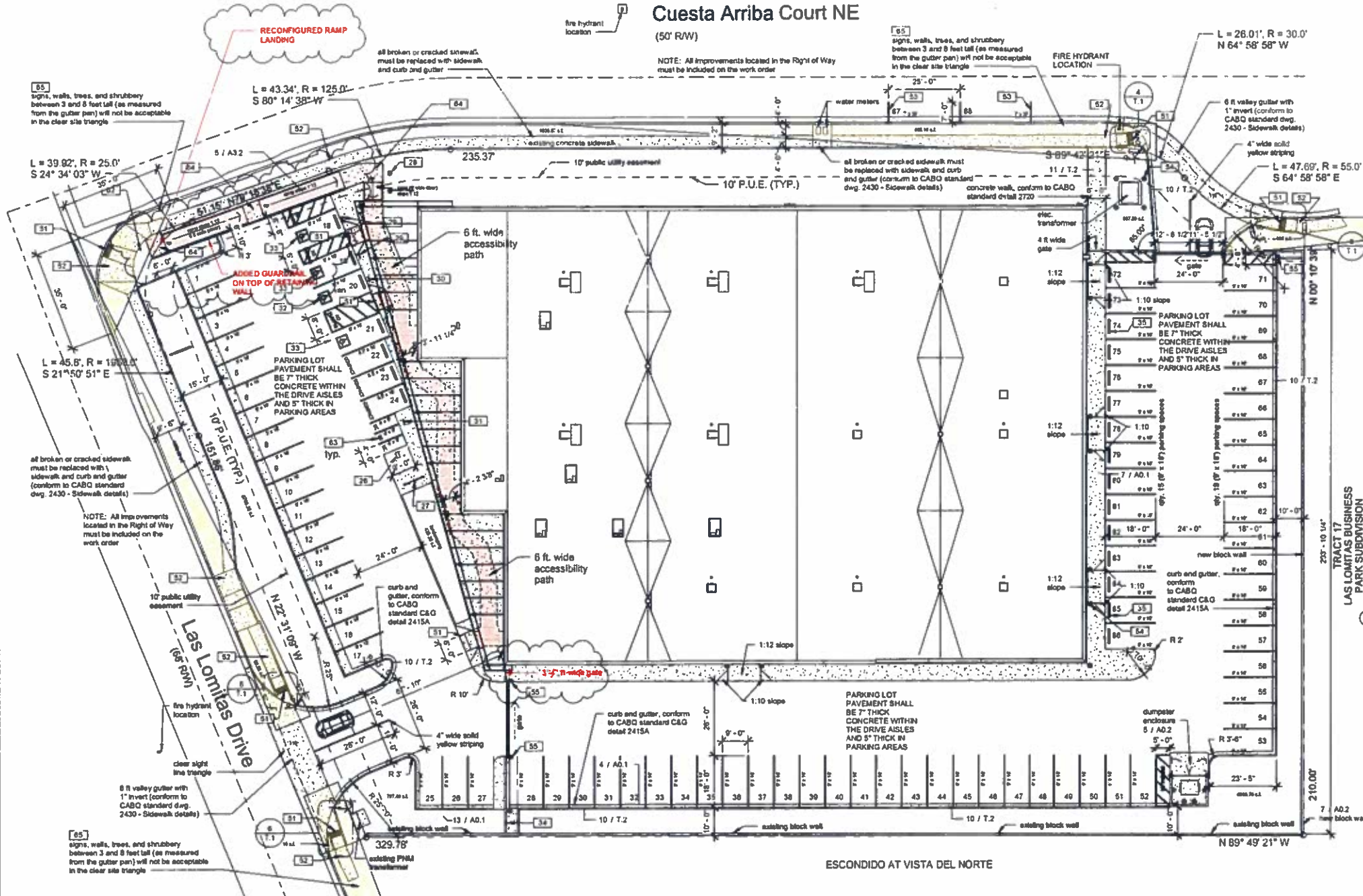
www.cabq.gov

Jeanne Wolfenbarger, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

Ernie Gomez
Plan Checker, Planning Dept.
Development Review Services

EG via: email
C: CO Clerk, File

**Cuesta Arriba Court NE
(50' RW)**



PROJECT ADDRESS:
1310 Cuesta Arriba Court NE
Albuquerque, NM 87113
Bernalillo County

LEGAL DESCRIPTION:
TR 19-A of Las Lomas Business Park Subdivision within the Elena Gallegos Grant, City of Albuquerque, Bernalillo County, New Mexico
UPC: 1018033526410208
OWNER: John E. A. Cynthia Mechenbier

ZONING:
Zoning Map: D-16-Z
IDO Zone District: NR-0P
IDO District Definition: Business Park
IDO Category: Non-Residential
Proposed Permissive Uses: Health Club or Gym; Office; Light Manufacturing; Warehousing
Total Site Area: 2.02 acres

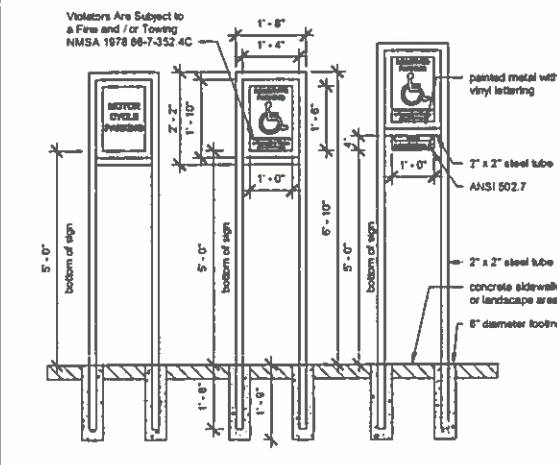
BUILDING ON LOT:
Minimum front yard setback = 20 feet
Actual Front "North" Setback depth is 20'-0"
Minimum side yard depth = 10 feet
Actual Side yard "East" depth is 76'-0"
Actual Side yard "West" depth is 88'-0"
Minimum rear yard depth = 10 feet
Actual Rear yard "South" is 50'-0"

PARKING:
Office: 3.5 space per 1000 sq. ft. gross floor area "GFA"
875 / 1000 = 0.875
0.875 x 3.5 = 3.06 or 3 parking spaces required
Gymnasium (including unoccupied Cold Shell Floor):
2.5 space per 1000 sq. ft. gross floor area "GFA"
34,302 / 1000 = 34.302
34.302 x 2.5 = 85.75 or 85 parking spaces required
On-Building Parking credit: (2) spaces on Cuesta Arriba
Minimum Parking Spaces Required = 88
Parking Spaces Provided = 88
Van accessible parking = 1
Motorcycle Parking Spaces Required: 51-100 parking spaces = 3 motorcycle parking spaces required, 2 motorcycle parking spaces provided
Bicycle parking: Non-residential use not listed in Table 5-5-5 = 5 spaces or 10% of required off-street parking spaces whichever is greater, therefore 9 spaces required

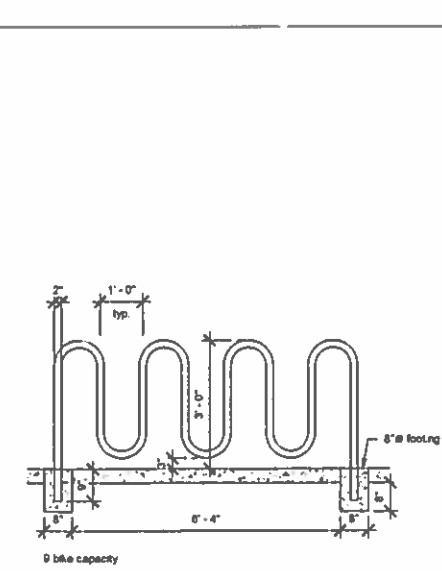
TRAFFIC CIRCULATION:
Two-way traffic entry/egress from northeast corner of site on Cuesta Arriba Court NE. Two-way traffic entry/egress from southwest corner of site along Las Lomas Ave. NE.

- KEYED NOTES:**
- 27 USPS mailbox.
 - 28 Bike rack, capacity 6 bikes.
 - 29 18'-0" flag pole with light.
 - 30 ADA accessible parking sign.
 - 31 ADA Van accessible parking sign.
 - 32 Motorcycle parking sign.
 - 33 ADA accessible parking space.
 - 34 City, 4 (8' x 8' x 18") CMU turned on side, see grading plan C100 for invert elevations.
 - 35 ADA compliant safety flooring detectable warning surface (2 ft x 4 ft).
 - 51 Existing concrete sidewalk (see CABO standard dwg 2418 Mountable to Standard Curb Transition).
 - 52 Striping for on-street parking is shown to illustrate space availability (not in contract).
 - 54 Pipe bollard, painted traffic yellow (4'-6" high).
 - 55 Pipe bollard, painted traffic yellow (7'-0" high).
 - 56 Sawcut and remove concrete curb for continuation of accessible path from existing ramp to proposed ramp access to building entries.
 - 63 Motorcycle parking; provide 12" tall white letters "M".
 - 64 Maximum slope at landings shall be 2%.
 - 65 Street Corner Intersection clear site triangle per City Ordinance § 8-2-15.

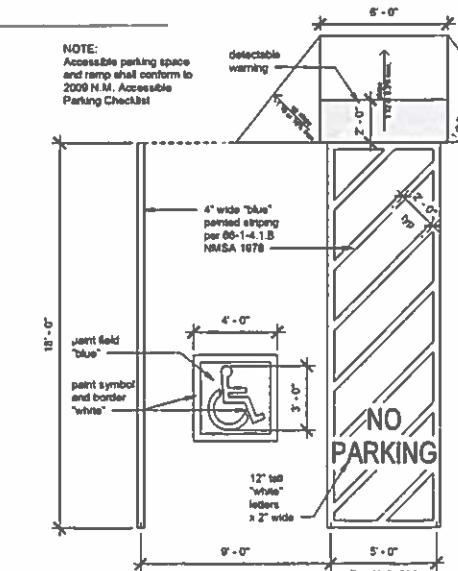
1 Site Plan - Traffic
1" = 20'-0"



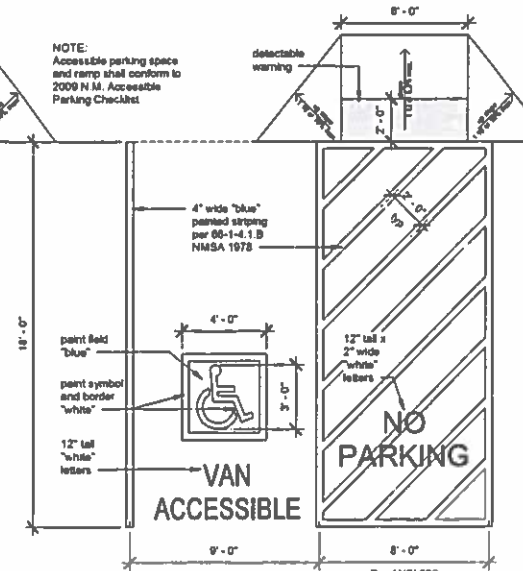
13 Parking Signage - Traffic
1/2" = 1'-0"



12 Bike Rack - Traffic
1/2" = 1'-0"

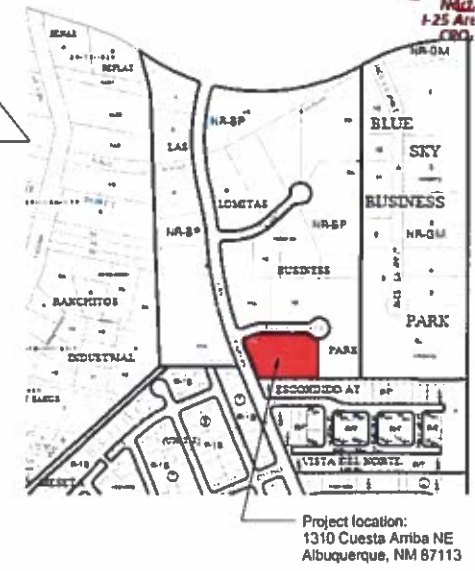


11 Traffic - Accessible Parking
1/4" = 1'-0"

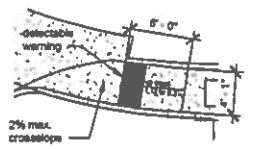


10 Traffic - Van Accessible Parking
1/4" = 1'-0"

Zone Atlas Map D-16-Z



11 Zoning Map
3/4" = 1'-0"



3 Site Plan - Traffic - HC Ramp 4
1/8" = 1'-0"



4 Site Plan - Traffic - HC Ramp 3
1/8" = 1'-0"



5 Site Plan - Traffic - HC Ramp 2
1/8" = 1'-0"



6 Site Plan - Traffic - HC Ramp 1
1/8" = 1'-0"

RECORD REDLINE



Traffic - Site Plan

The Athlete's Playground - Tenant Improvement
1310 Cuesta Arriba Court, NE
Albuquerque, New Mexico 87113

MECHENBIE
CONSTRUCTION INC.
1310 CUESTA ARRIBA COURT, NE
ALBUQUERQUE, NM 87113
TEL: 505.241.1111
WWW.MECHENBIE.COM

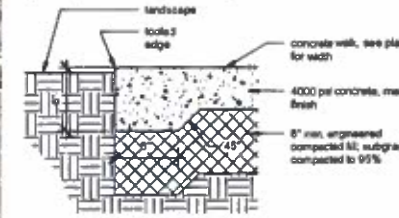


KEYED NOTES: □

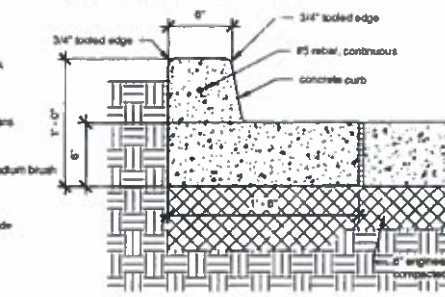
- 54 Pipe bollard, painted traffic yellow (4'-8" high)
- 55 Pipe bollard, painted traffic yellow (7'-0" high)
- 61 Gate pole holes drilled into concrete slab for open and closed positions.

- GENERAL NOTES:
- 1 Edges not specifically dimensioned shall be edged with a 3/8" edging tool
 - 2 Requires full form on all faces
 - 3 Construction control joints at 8'-0" o.c. maximum
 - 4 1/2" expansion joints at 8'-0" o.c. at curb returns and at each side of drives
 - 5 Conform to CASQ standard C&G detail 2415A

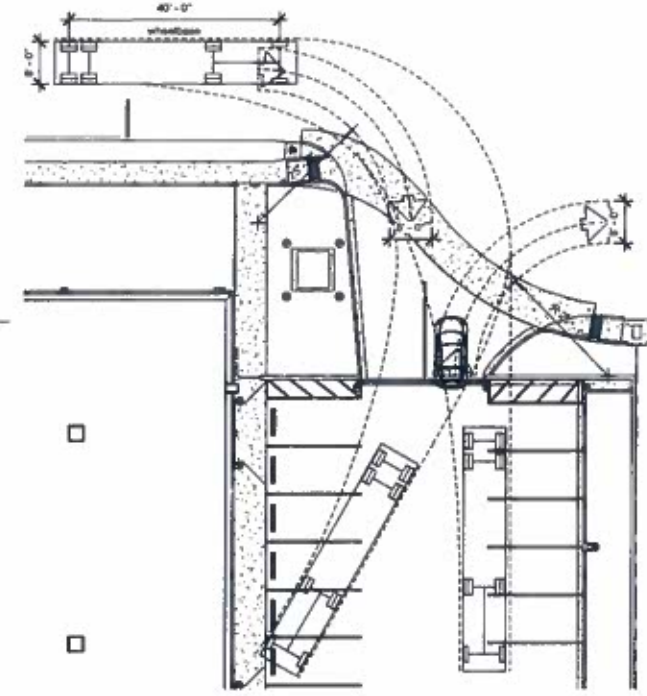
NOTE: Conform to CASQ standard detail 2120, control joints at 8'-0" o.c.; expansion joints at 20'-0" o.c.; slope 1/4" per foot across the width of the walk



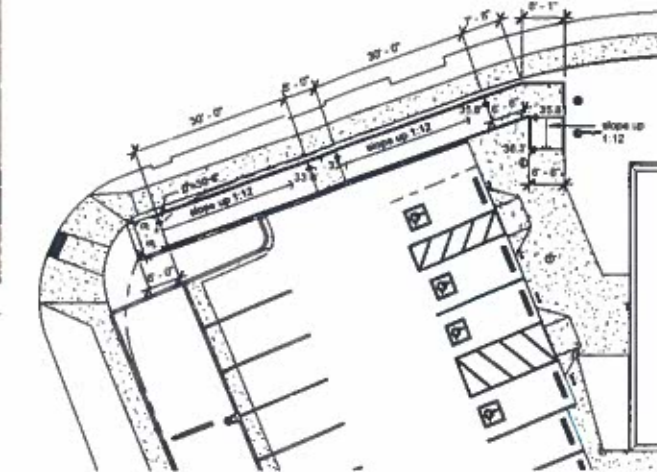
11 Traffic - Concrete Sidewalks
1 1/2" = 1'-0"



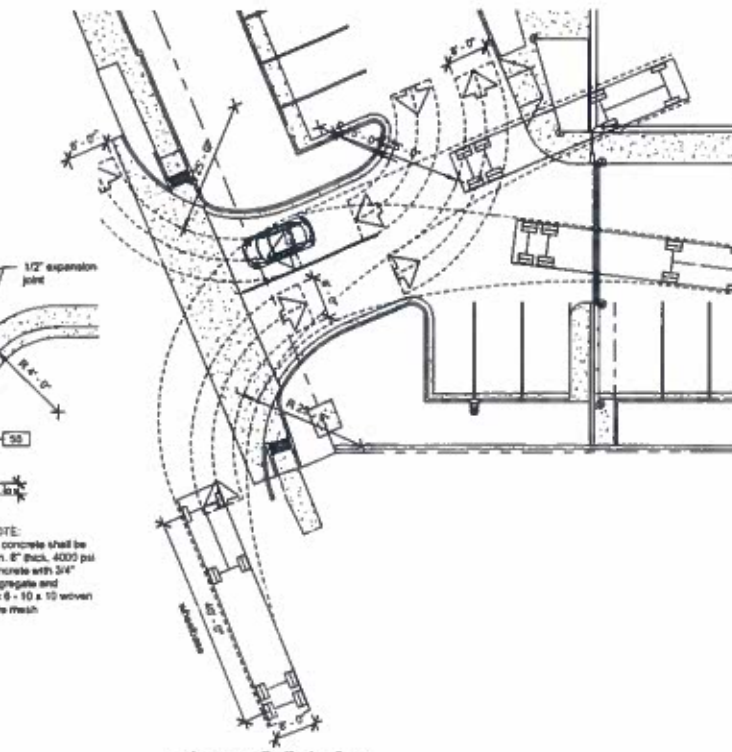
10 Concrete Curb & Gutter - Traffic
1 1/2" = 1'-0"



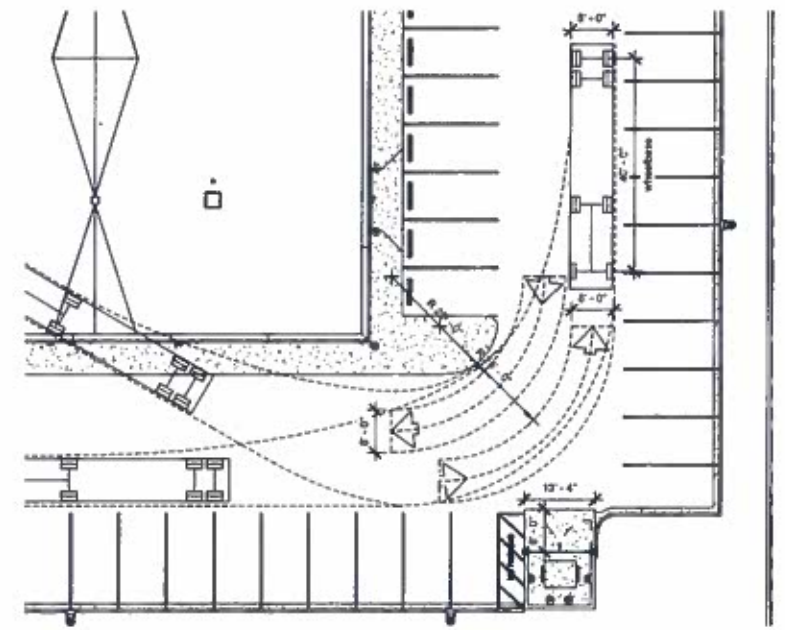
1 Site Plan - Traffic NE Entry
1/16" = 1'-0"



3 Site Plan - Traffic (Pedestrian Access) NW Corner
1/16" = 1'-0"

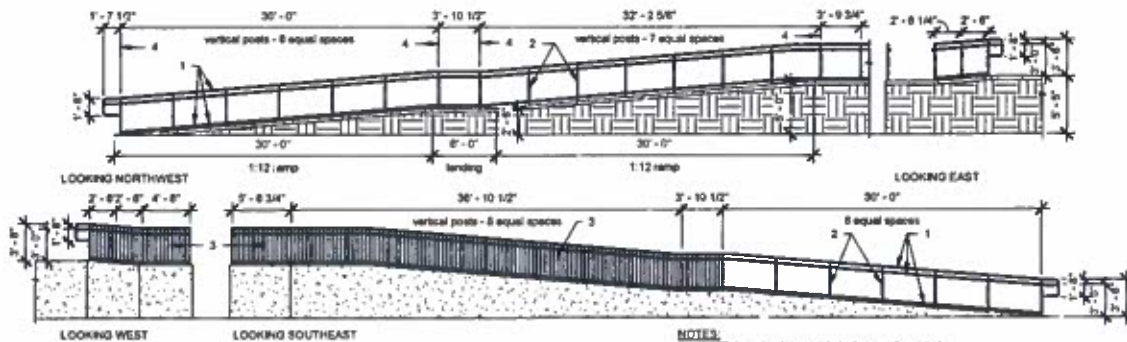


4 Site Plan - Traffic SW Entry
1/16" = 1'-0"



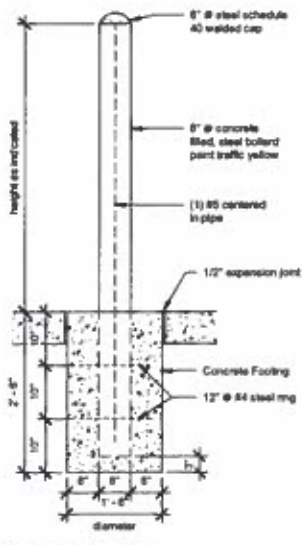
2 Site Plan - Traffic SE Corner
1/16" = 1'-0"

5 Site Plan - Traffic Vicinity
1" = 40'-0"

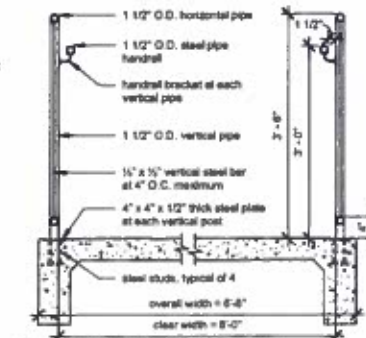


7 HC Ramp Elevations - Traffic
1/8" = 1'-0"

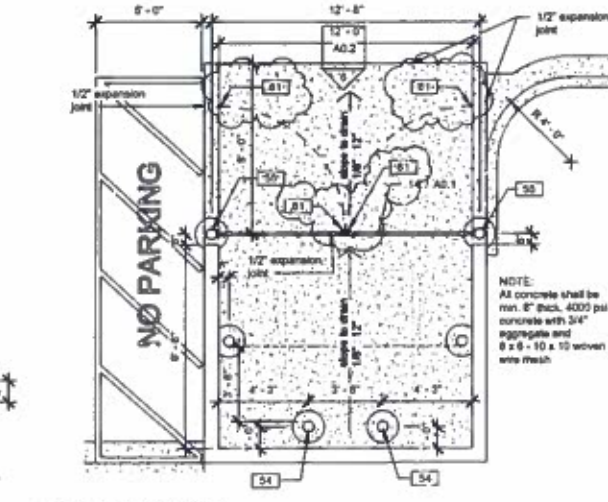
- NOTES:
1. 1 1/2" diameter, horizontal steel pipe rail, painted
 2. 1 1/2" diameter, vertical steel post, painted
 3. 1/2" x 1/2" steel bar, 4" o.c. maximum, painted
 4. Centerline of vertical post.



9 Traffic - Pipe Bollard
3/4" = 1'-0"



8 Concrete Ramp Guardrails - Traffic
3/4" = 1'-0"



6 Site - Dumpster - Traffic
1/4" = 1'-0"

RECORD REDLINE



Traffic Circulation & Details

The Athlete's Playground - Tenant Improvement
1310 Cuesta Arriba Court, NE
Albuquerque, New Mexico 87113



Copyright 2021 by Mechenbier Construction Inc.
2/20/21 3:30:15 PM

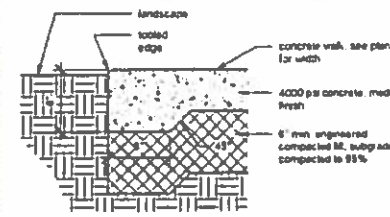


6 Site Plan - Traffic Vicinity
1" = 40'-0"

KEYED NOTES: □

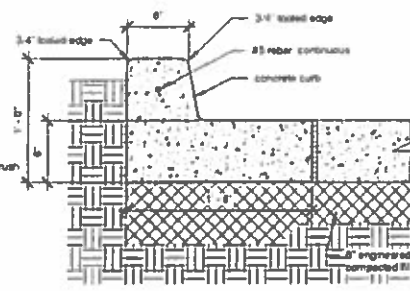
- 54 Pipe bollard: painted traffic yellow (4'-4" high)
- 55 Pipe bollard: painted traffic yellow (7'-0" high)
- 61 Gate pin holes drilled into concrete slab for open and closed positions

NOTE: Conform to CADD standard detail 2720: control joints at 5'-0" o.c. expansion joints at 20'-0" o.c. slope 1/4" per foot across the width of the slab.

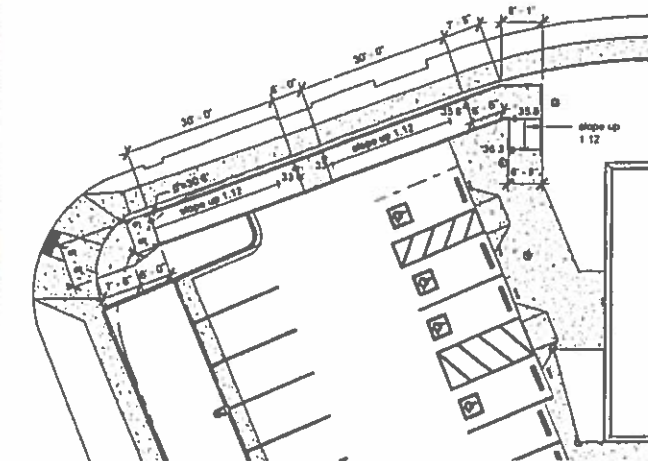


11 Traffic - Concrete Sidewalk
1 1/2" = 1'-0"

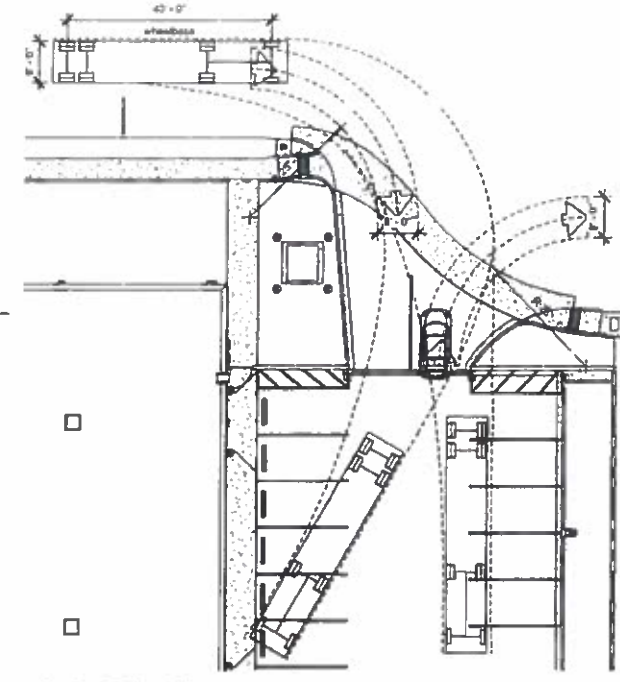
- GENERAL NOTES:
- 1 3/8 inch not specifically dimensioned shall be edges with a 3/8" sloping foot
 - 2 Rebar: full form on all faces
 - 3 Construction control joints at 8'-0" o.c. maximum
 - 4 1/2" expansion joints at 8'-0" o.c. at curb returns and at each side of drives
 - 5 Conform to CADD standard CADD detail 2815A



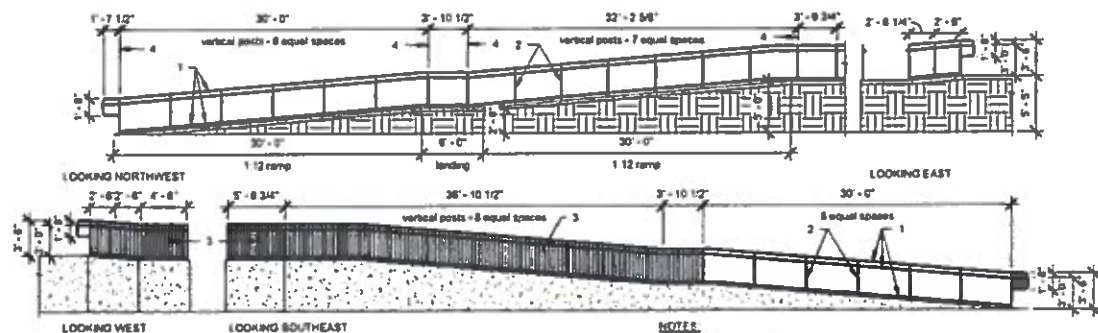
10 Concrete Curb & Gutter - Traffic
1 1/2" = 1'-0"



3 Site Plan - Traffic (Pedestrian Access) NW Corner
1/16" = 1'-0"



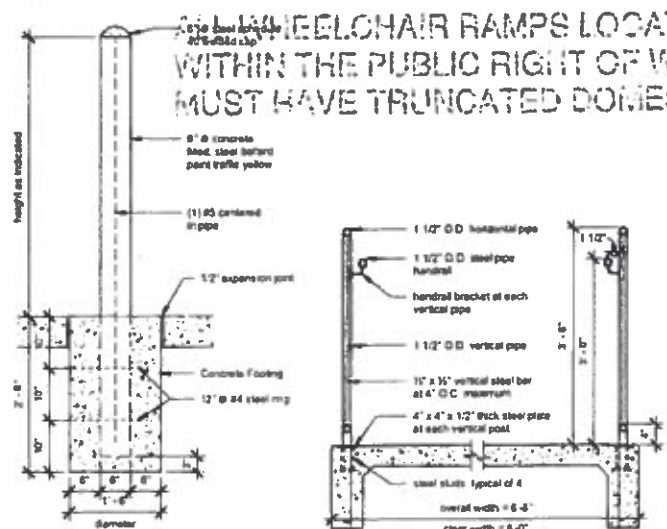
1 Site Plan - Traffic NE Entry
1/16" = 1'-0"



7 HC Ramp Elevations - Traffic
1/8" = 1'-0"

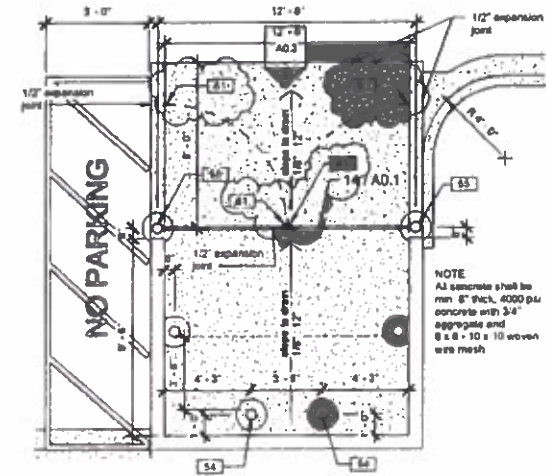
- NOTES:
- 1 1 1/2" diameter horizontal steel pipe rail, painted
 - 2 1 1/2" diameter vertical steel post, painted
 - 3 1 1/2" x 1/2" steel bar, 4" o.c. maximum, painted
 - 4 Centerline of vertical post

ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.

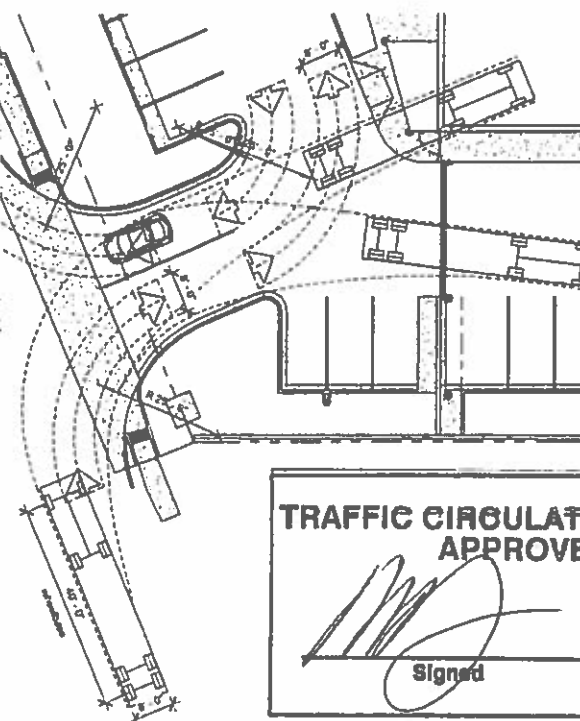


8 Traffic - Pipe Bollard
3/4" = 1'-0"

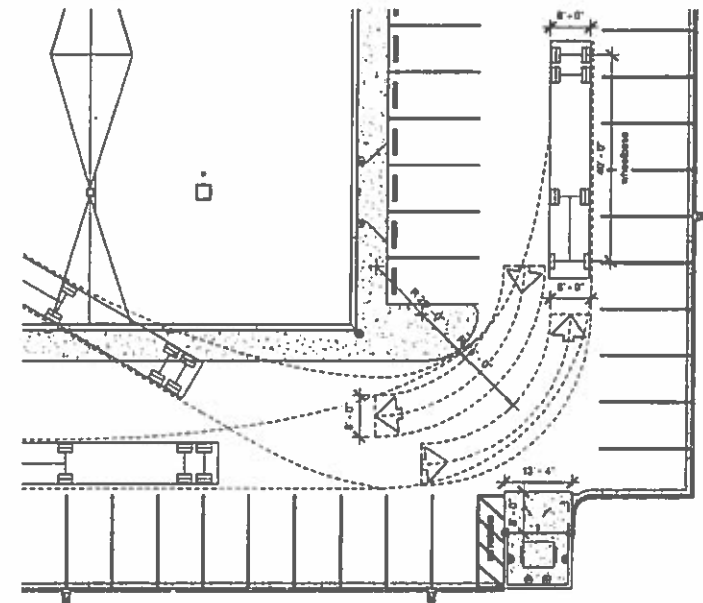
9 Concrete Ramp Guardrails - Traffic
3/4" = 1'-0"



6 Site - Dumpster - Traffic
1/4" = 1'-0"



4 Site Plan - Traffic SW Entry
1/16" = 1'-0"



2 Site Plan - Traffic SE Corner
1/16" = 1'-0"

TRAFFIC CIRCULATION LAYOUT APPROVED

Signed: *[Signature]*
Date: 8/25/2020



Traffic Circulation & Details

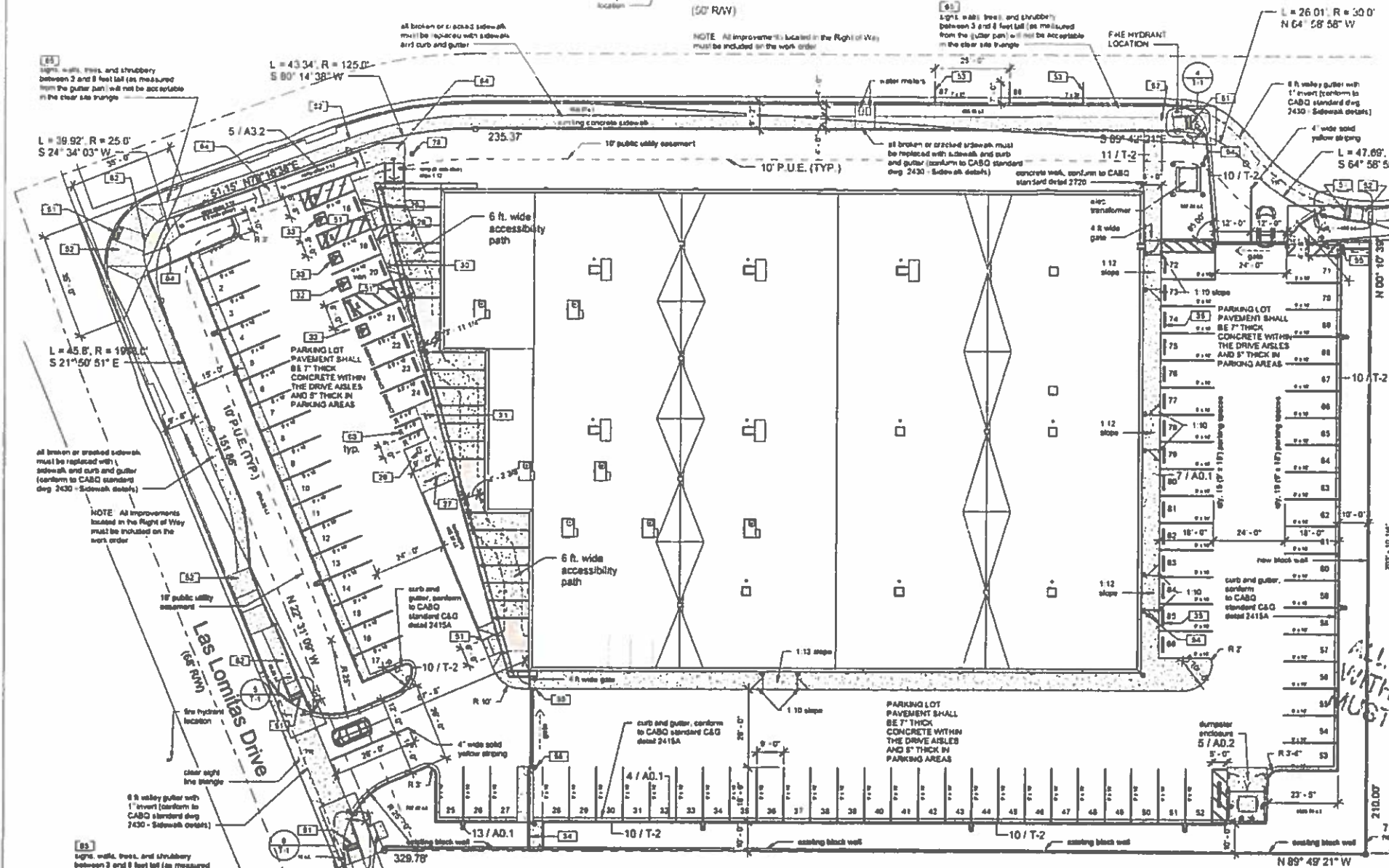
SCALE
As Indicated
DATE:
3-24-2020
DRAWN BY:
Author
OWNER APPROVAL
Checker

Volleyball Courts & Gymnasium - Building Shell
1310 Cuesta Arriba Court, NE
Albuquerque, New Mexico 87113

MECHENBIER CONSTRUCTION INC.
1310 CUESTA ARriba COURT, NE
ALBUQUERQUE, NM 87113
WWW.MECHENBIER.COM

Cuesta Arriba Court NE

(50' RW)



PROJECT ADDRESS:

1310 Cuesta Arriba Court NE
Albuquerque, NM 87113
Bernalillo County

LEGAL DESCRIPTION:

TR 18-A of Las Lomas Business Park Subdivision when the Esra Gallegos Grant, City of Albuquerque, Bernalillo County, New Mexico

OWNER:

John E. & Cynthia Mechenbier

ZONING:

Zoning Map D-16-Z
DD Zone District: RR-0P
DD Category: Non-Residential
Proposed Permitted Use: Health Club or Gym, Office, Light Manufacturing, Warehousing
Total Site Area: 2.02 acres

BUILDING ON LOT:

Minimum front yard setback = 20 feet
Actual Front "Yard" Setback depth = 20'-0"
Minimum side yard depth = 10 feet
Actual Side yard "East" depth = 78'-0"
Actual Side yard "West" depth = 41'-68'-8"
Minimum rear yard depth = 10 feet
Actual Rear yard "South" = 58'-0"

PARKING:

Office: 3.5 spaces per 1000 sq. ft. gross floor area "GFA"
875 / 1000 = 0.875
0.875 x 3.5 = 3.06 or 3 parking spaces required
Gymnasium (including unoccupied Cold Shot Floor):
2.5 spaces per 1000 sq. ft. gross floor area "GFA"
34,382 / 1000 = 34.382
34.382 x 2.5 = 85.9 or 86 parking spaces required

TRAFFIC CIRCULATION:

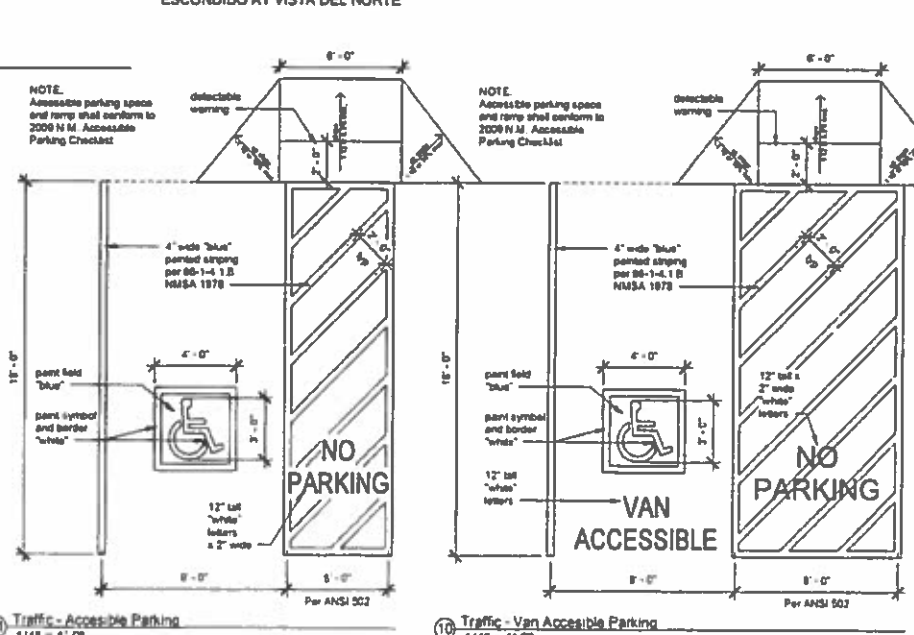
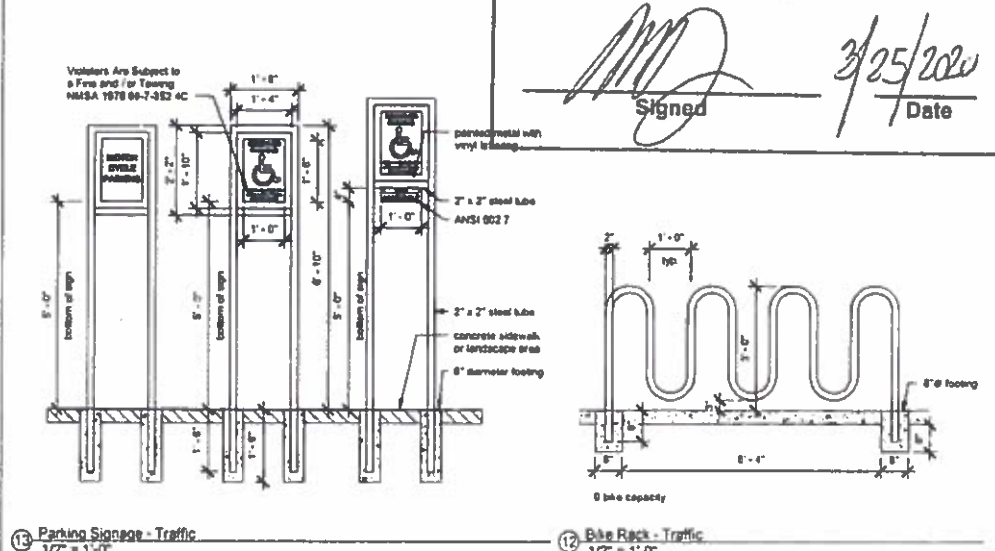
Two-way traffic entry/egress from northeast corner of site on Cuesta Arriba Court NE. Two-way traffic entry/egress from southwest corner of site along Las Lomas Ave NE.

KEYED NOTES:

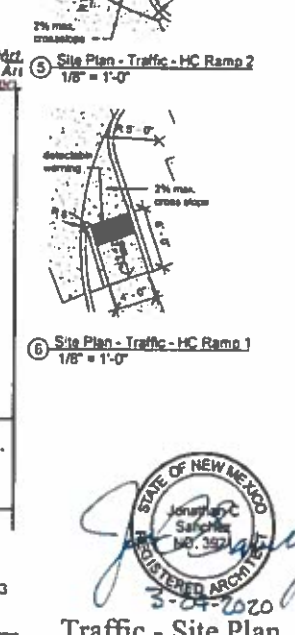
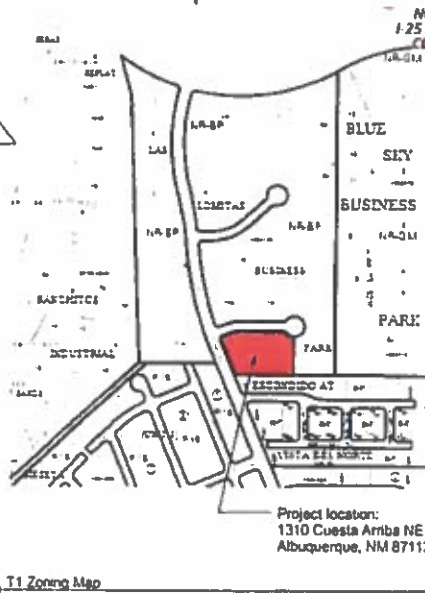
- 26 USPS mailbox
- 27 One rack, capacity: 8 boxes
- 28 18'-0" 8' high pole with light
- 29 ADA accessible parking sign
- 30 ADA van accessible parking sign
- 31 Motorcycle parking sign
- 32 ADA accessible parking space
- 33 ADA accessible parking space
- 34 City 4 (8' x 8' x 18') CMU turned on side, see grading plan C100 for invert elevation
- 35 Road curbs, slope 14" per foot
- 36 ADA compliant safety flooring detectable warning surface (2' x 2' x 1")
- 37 Existing concrete sidewalk (see grading plan 2418 Mountable to Standard Curb Transition)
- 38 Striping for on-street parking is shown to illustrate space availability (not in contract)
- 39 Pipe below, painted traffic yellow (4'-6" high)
- 40 Pipe below, painted traffic yellow (7'-0" high)
- 41 Sawcut and remove concrete curb for combination of accessible path from existing ramp to proposed ramp access to building entrance
- 42 Motorcycle parking, provide 12" tall white letters "M"
- 43 Maximum slope at landings shall be 2%
- 44 Street Corner Intersection clear site triangle per City Ordinance § 6-2-15

TRAFFIC CIRCULATION LAYOUT APPROVED

Signed: *[Signature]*
Date: 3/25/2020



Zone Atlas Map D-16-Z



SCALE: As Indicated
DATE: 3-24-2020
DRAWN BY: J. Sanchez
OWNER APPROVAL: Jeremy Mechenbier

Volleyball Courts & Gymnasium - Building Shell
1310 Cuesta Arriba Court, NE
Albuquerque, New Mexico 87113

MECHENBIER CONSTRUCTION INC.
11111 1st Avenue NE, Suite 100
Albuquerque, NM 87112
Tel: 505.833.1111
Fax: 505.833.1112

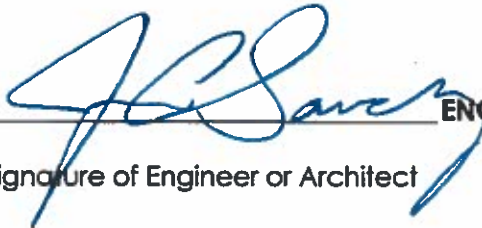


Jonathan C. Sanchez, Architect
8609 Claremont Ave. N.E.
Albuquerque, New Mexico 87112

TRAFFIC CERTIFICATION

I, JONATHAN SANCHEZ NMRA 3921, OF THE FIRM JONATHAN SANCHEZ, ARCHITECT, HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 3-25-2020. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY JONATHAN SANCHEZ OF THE FIRM JONATHAN SANCHEZ, ARCHITECT. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 2-5-2021 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.


Signature of Engineer or Architect

ENGINEER'S OR ARCHITECT'S STAMP

2-5-2021

Date

