

# Cuesta Arriba Warehouse



1320 Cuesta Arriba Court NE, Albuquerque, NM 87113

## TEMPORARY EROSION AND SEDIMENT CONTROL PLAN

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GPS COORDINATES:  
Lat: 35.169749  
Long: -106.607840

	Cuesta Arriba Warehouse	
	PROJECT TITLE	
	ALBUQUERQUE, NM - BERNALILLO COUNTY	
	CITY, COUNTY, STATE	
	04/09/2024	DATE
	D. Lewis / J. Tolman	DRAWN BY
		

STORMWATER POLLUTION PREVENTION PLAN INFORMATION

PERMIT NUMBER: NMR


NMR100000 STATE OF NEW MEXICO, EXCEPT INDIAN COUNTRY  
NMR10I000 INDIAN COUNTRY WITHIN THE STATE OF NEW MEXICO, EXCEPT NAVAJO RESERVATION LANDS THAT ARE COVERED UNDER ARIZONA PERMIT AZR10I000 AND UTE MOUNTAIN RESERVATION LANDS THAT ARE COVERED UNDER COLORADO PERMIT COR10I000.

OPERATOR NAME:	Insight Construction, LLC
OPERATOR POINT OF CONTACT:	Dave Brown
NOI PREPARED BY:	Inspections Plus
PROJECT/SITE NAME:	Cuesta Arriba Warehouse
PROJECT/SITE ADDRESS:	1320 Cuesta Arriba Court NE, Albuquerque, NM 87113
LATITUDE	35.169749
LONGITUDE	-106.607840
ESTIMATED PROJECT START DATE	03/07/2024
ESTIMATED PROJECT COMPLETION DATE	03/07/2025
ESTIMATED AREA TO BE DISTURBED	1.29 acres
TYPE OF CONSTRUCTION	Commercial
DEMOLITION OF ANY STRUCTURES, 10,000 SQ FT OF GREATER BUILT OR RENOVATED BEFORE JANUARY 1, 1980?	NO
WAS THE PREDEVELOPMENT LAND USED FOR AGRICULTURE?	NO
COMMENCED EARTH DISTURBING ACTIVITIES?	NO
DISCHARGE TO MS4? MS4 NAME?	Albuquerque
SURFACE WATERS WITHIN 50FT?	NO
RECEIVING WATER?	Alameda Lateral
IS RECEIVING WATER IMPAIRED? TIER DESIGNATION	NO
WHAT ARE THE IMPAIRMENTS, IF ANY?	N/A
SWPPP CONTACT INFORMATION:	Madelyn Schauer, 505-895-1547, madelyn@inspectionsplus.com
ENDANGERED SPECIES CRITERIA:	CRITERION "A"; NO CRITICAL HABITATS CRITERION "A"
HISTORIC PRESERVATION CRITERIA:	PREEXISTING DEVELOPMENT

ESC Plan Standard Notes (2023-06-16)

- All Erosion and Sediment Control (ESC) work on these plans, except as otherwise stated or provided hereon shall be permitted, constructed, inspected, and maintained in accordance with:
  - The City Ordinance § 14-5-2-11, the ESC Ordinance,
  - The EPA’s 2022 Construction General Permit (CGP), and
  - The City Of Albuquerque Construction BMP Manual.
- All BMP’s must be installed prior to beginning any earth moving activities except as specified hereon in the Phasing Plan. Construction of earthen BMP’s such as sediment traps, sediment basins, and diversion berms shall be completed and inspected prior to any other construction or earthwork. Self-inspection is required after installation of the BMPs and prior to beginning construction.
- Self-inspections - In accordance with City Ordinance § 14-5-2-11(C)(1), “at a minimum a routine self-inspection is required to review the project for compliance with the Construction General Permit once every 14 days and after any precipitation event of 1/4 inch or greater until the site construction has been completed and the site determined as stabilized by the city. Reports of these inspections shall be kept by the person or entity authorized to direct the construction activities on the site and made available upon request.
- Corrective action reports must be kept by the person or entity authorized to direct the construction activities on the site and made available upon request.
- Final Stabilization and Notice of Termination (NOT) - In accordance with City Ordinance § 14-5-2-11(C)(1), self-inspections must continue until the site is “determined as stabilized by the city.” The property owner/operator is responsible for determining when the “Conditions for Terminating CGP Coverage” per CGP Part 8.2 are satisfied and then for filing their Notice of Termination (NOT) with the EPA. Each operator may terminate CGP coverage only if one or more of the conditions in Part 8.2.1, 8.2.2, or 8.2.3 has occurred. After filing the NOT with the EPA, the property owner is responsible for requesting a Determination of Stabilization from the City.
- When doing work in the City right-of-way (e.g. sidewalk, drive pads, utilities, etc.) prevent dirt from getting into the street. If dirt is present in the street, the street should be swept daily or prior to a rain event or contractor induced water event (e.g. curb cut or water test).
- When installing utilities behind the curb, the excavated dirt should not be placed in the street.
- When cutting the street for utilities the dirt shall be placed on the uphill side of the street cut and the area swept after the work is complete. A wattle or mulch sock may be placed at the toe of the excavated dirt pile if site constraints do not allow placing the excavated dirt on the uphill side of the street cut.
- ESC Plans must show longitudinal street slope and street names. On streets where the longitudinal slope is steeper than 2.5%, wattles/mulch socks or j-hood silt fence shall be shown in the front yard swale or on the side of the street.



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SEDIMENT TRACK OUT CONTROL



- BMP Objectives**
- Sediment Control

BERMS AND SWALES



- BMP Objectives**
- Runoff Control
  - Run-on Diversion

SILT FENCE



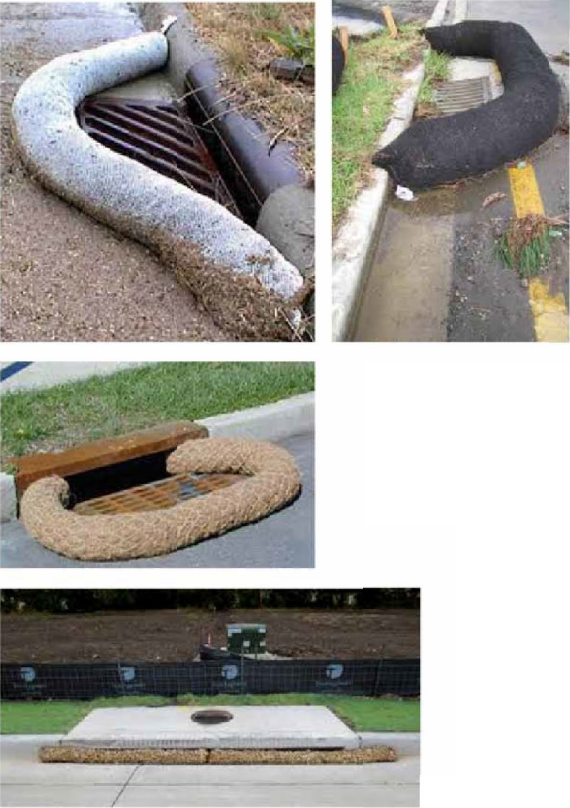
- BMP Objectives**
- Sediment Control
  - Sheet Flow Runoff Control
  - Wind Erosion Control

MULCH SOCK/STRAW WATTLE






- BMP Objectives**
- Sediment Control
  - Reduce Runoff Velocity
  - Inlet Protection

INLET PROTECTION



- BMP Objectives**
- Sediment Control
  - Sheet Flow Runoff Control
  - Wind Erosion Control

  CPESC STAMP	Cuesta Arriba Warehouse	
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- 

SECTION A-A

SECTION B-B

SCALE: 1" = 20'

City of Albuquerque  
Planning Department  
Development Review Services

**HYDROLOGY SECTION**

**APPROVED**

DATE: 9/20/2023

BY: *Hege Chan*

HydroTrans # D16D104

THE APPROVAL OF THESE PLANS AND REPORT SHALL NOT BE  
CONSIDERED TO PERMIT VIOLATIONS OF ANY CITY OR  
COUNTY ORDINANCE OR STATE LAW, AND DOES NOT PREVENT  
THE CITY OF ALBUQUERQUE FROM REQUESTING  
CORRECTIONS, OR FURTHER REVISIONS TO PLANS,  
SPECIFICATIONS, OR CONDITIONS. SUCH APPROVED PLANS  
SHALL NOT BE CHALLENGED WITHOUT A WRITTEN  
AUTHORIZATION.

APPROVAL OF GRADING & DRAINAGE PLAN(S) SHALL EXPIRE TWO (2) YEARS AFTER THE APPROVAL DATE BY THE CITY IF NO BUILDING PERMIT HAS BEEN PULLED ON THE DEVELOPMENT.

- 38.00  
FG
- MATCH TC  
(95.19)
- TC
- FL
- INV
- FG
- TG

SD

STORM DRAIN LINE  
PROPOSED MAJOR CONTOUR  
PROPOSED MINOR CONTOUR  
EXISTING MAJOR CONTOUR  
EXISTING MINOR CONTOUR

NEW ASPHALT PAVING

NEW BUILDING FOOTPRINT

NEW CONCRETE

- 1 NEW BUILDING. SEE ARCHITECTURAL DRAWINGS FOR DETAILS
- 2 NEW 48" CONCRETE VALLEY GUTTER. SEE DETAIL SHEET C-501
- 3 NEW HEAVY DUTY HOT MIX ASPHALT. SEE DETAIL SHEET C-501.
- 4 NEW SWQV RETENTION POND #1. INV=39.0. SEE DETAILS THIS SHEET.
- 5 NEW 4'-6" WIDE BY 6" DEEP CONCRETE CHANNEL. SEE DETAIL SHEET C-501
- 6 NEW 2x24" WIDE CONCRETE SIDEWALK CULVERT. SEE DETAIL SHEET C-501.
- 7 EXISTING CULVERT TO BE REMOVED TO ELIMINATE OFFSITE RUNOFF FLOW.
- 8 NEW SWQV RETENTION POND #2. INV=41.0.
- 9 NEW 6" THICK CONCRETE SLAB. SEE DETAIL C-C THIS SHEET.
- 10 NEW RETAINING WALL. SEE STRUCTURAL FOR DETAILS.
- 11 NEW 4' CURB CUT.
- 12 NEW 36" WIDE CONCRETE PAD BETWEEN BUILDING AND CONCRETE VALLEY GUTTER. SEE SECTION C-C.
- 13 NEW CONCRETE DRIVE PAD WITH HANDICAP RAMPS PER COA DETAIL #2425. SEE DETAIL SHEET C-501.
- 14 SIDEWALK TRANSITION TO OFFSET PER COA DETAIL #2432.
- 15 NEW CONCRETE SIDEWALK/FLATWORK PER ARCHITECTURAL SHEETS.
- 16 SAWCUT EXISTING WALL SECTION TO ALLOW FOR NEW CONCRETE CHANNEL.



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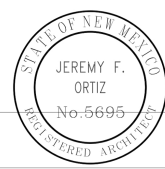


MILLER ENGINEERING CONSULTANTS

**Engineers • Planners**  
3500 COMANCHE, NE  
BUILDING F  
ALBUQUERQUE, NM 87105  
(505)888-7500  
(505)888-3800 (FAX)  
WWW.MECNM.COM



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11-01-2019



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www.archisarchitects.com

CUESTA ARRIBA WAREHOUSE

1320 CUESTA ARRIBA CRT NE  
ALBUQUERQUE NEW MEXICO 87113

Project No. 23-014	Drawn by:DLW
	Checked by:VAM

Issue Date:  
JULY 25, 2023


 Date: \_\_\_\_\_  
 Revisions: \_\_\_\_\_

Sheet Title:








GRADING AND  
DRAINAGE  
PLAN


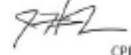

Sheet No.

C-101



Latitude: 35.169749  
 Longitude: -106.607840

-  Retention Basin (3)
-  Cobbled Drainage Swale (3)
-  Steep slopes - Do not disturb soil where marked (1)
-  Limit of Disturbance (4)
-  Pre-Construction Water Flow/Slope (6)
-  Pre/Post-Construction Water Flow/Slope (4)
-  Cut-back Curbs (8)
-  Retaining Wall (30)
-  Property Boundary (5)
-  Stabilized Construction Entrance/Exit (1)
-  Insert Inlet Protection (3x) at nearest downstream inlet within 400' (2)
-  Water Truck (1)
-  Street Sweeping (1)
-  NOI/Site Notice Posting (1)
-  Stockpiles (1)
-  Spill Kit - near Material Storage (1)
-  Portable Toilet - MUST be staked and at least 10 ft. from any impervious surface (1)
-  Dumpster (1)
-  Portable Concrete Washout Bin w/ Sign (1)
-  Curb-Cut (1)
-  Material Storage (1)

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	 <b>INSPECTIONS PLUS</b>	

**OPERATOR:**



Insight Construction, LLC  
3909 12th Street NW  
Albuquerque, NM 87107  
505-888-7927

Dave Brown  
Project Manager  
505-506-8412  
dave@insightnm.com

**OWNER:**

Groff Limited Partnership  
8100 Wyoming Blvd NE M-4 #187  
Albuquerque, NM 87113

Lara Groff  
505-379-0236  
grofflp@gmail.com

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