

# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Director



Mayor Timothy M. Keller

September 20, 2023

Verlyn Miller, P.E.  
Miller Engineering Consultants  
3500 Comanche NE, Bldg F  
Albuquerque, NM 87107

**RE: Cuesta Arriba Warehouse  
1320 Cuesta Arriba Ct. NE  
Grading and Drainage Plan  
Engineer's Stamp Date: 7/21/2023  
Hydrology File: D16D104**

Dear Mr. Miller:

Based upon the information provided in your submittal received 9/19/2023, the Grading & Drainage Plan is approved for Building Permit approval. Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter.

**PRIOR TO CERTIFICATE OF OCCUPANCY:**

1. Engineer's Certification, per the DPM Part 6-14 (F): *Engineer's Certification Checklist For Non-Subdivision* is required.
2. Please provide the executed paper Drainage Covenant (latest revision) printed on one-side only with Exhibit A and a check for \$25 made out to "Bernalillo County" for the stormwater quality ponds per Article 6-15(C) of the DPM to Hydrology for review. Once the review is done, Hydrology will send back an email stating our approval/comments.

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, [jhughes@cabq.gov](mailto:jhughes@cabq.gov), 505-924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 924-3695 or [tchen@cabq.gov](mailto:tchen@cabq.gov).

Sincerely,

Tiequan Chen, P.E.  
Principal Engineer, Hydrology  
Planning Department, Development Review Services



# City of Albuquerque

Planning Department  
Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

**Project Title:** Cuesta Arriba Warehouse **Building Permit #:** \_\_\_\_\_ **Hydrology File #:** \_\_\_\_\_  
**DRB#:** \_\_\_\_\_ **EPC#:** \_\_\_\_\_ **Work Order#:** \_\_\_\_\_  
**Legal Description:** Tract 17, Las Lomitas Business Park  
**City Address:** 1320 Cuesta Arriba Ct. NE, Albuquerque, NM 87113

**Applicant:** Groff Limited Partnership **Contact:** Laura Goff  
**Address:** 8100 Wyoming Blvd. NE M-4, #187, Albuquerque, NM 87113  
**Phone#:** 505-379-0236 **Fax#:** \_\_\_\_\_ **E-mail:** grofflp@gmail.co

**Other Contact:** Miller Engineering Consultanttss **Contact:** Verlyn Miller, P.E.  
**Address:** 3500 Comanche NE, Bldg. F, Albuquerque, NM 87107  
**Phone#:** 505-888-7500 **Fax#:** 505-888-3800 **E-mail:** vmiller@mecnm.com

**TYPE OF DEVELOPMENT:** \_\_\_\_\_ PLAT (# of lots) \_\_\_\_\_ RESIDENCE \_\_\_\_\_ DRB SITE ☒ ADMIN SITE

IS THIS A RESUBMITTAL? \_\_\_\_\_ Yes ☒ No

**DEPARTMENT** \_\_\_\_\_ TRANSPORTATION ☒ HYDROLOGY/DRAINAGE

Check all that Apply:

### TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
- ☒ GRADING PLAN
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE MASTER PLAN
- ☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ STREET LIGHT LAYOUT
- ☐ OTHER (SPECIFY) \_\_\_\_\_
- ☐ PRE-DESIGN MEETING?

### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING/ PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOODPLAIN DEVELOPMENT PERMIT
- ☐ OTHER (SPECIFY) \_\_\_\_\_

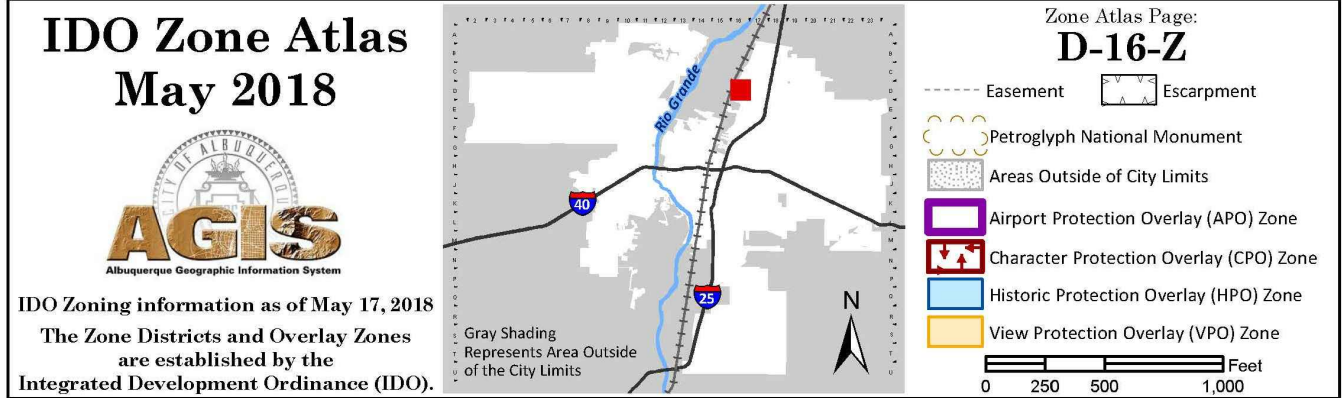
**DATE SUBMITTED:** 8/2/2023 **By:** Verlyn A. Miller

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_





### VICINITY MAP

SCALE: NOT TO SCALE

## DRAINAGE REPORT

### SITE LOCATION

The existing site is an approximate 1.29-acre parcel located 1320 Cuesta Arriba Court in Albuquerque, New Mexico. The site is located on the southeast corner of the cul-de-sac of Cuesta Arriba Court (see vicinity map this sheet).

### EXISTING CONDITIONS

The existing site is a parcel that is estimated at 1.2-acres and is currently undeveloped. The site has been mass graded wither perimeter walls on the west, south and east property lines. There is a large slope located along the east side of the site that slopes to an existing retaining wall. The parcel to the east also has a perimeter wall that would not allow any offsite flows. However there appears to be a small pipe at the southern portion of the property that is discharging runoff onto this site. We have been notified that this pipe will be removed to eliminate the discharge of offsite runoff to the site. The site currently slopes from east to west at a moderate slope. The site does not lie within a 100-year FEMA floodplain (see FEMA panel on this sheet).

### PROPOSED CONDITIONS

The proposed project will consist of two new commercial buildings with associated parking areas and landscape areas. The total impervious area for this site is estimated at 1.0 acres. The storm water quality volume for this disturbance area is estimated at 1649 cubic feet. Storm water quality ponds will be added to the west and north sides of the site. Both ponds have a cumulative volume of 2330 cubic feet. Overflow from these ponding areas will overflow into Cuesta Arriba Court. The drainage calculations and payment in lieu of calculations are indicated on this sheet.

### CONCLUSIONS

When fully developed as indicated on the grading and drainage plan, the runoff from the site will increase by an estimated at 1.68 cfs and 0.126 acre-feet during the 100-year, 24-hour event. Storm water runoff from the site will discharge to the two storm water quality ponds then west into Cuesta Arriba. The water harvest areas provided have adequate capacity to retain the storm water quality volume for this site.

### GENERAL NOTES:

- EXISTING TOPOGRAPHIC SURVEY PERFORMED AND COMPILED BY PRECISION SURVEYS, INC., ALBUQUERQUE, NEW MEXICO NOVEMBER, 2019. MILLER ENGINEERING CONSULTANTS HAS UNDERTAKEN NO FIELD VERIFICATION OF THIS INFORMATION.
- PROJECT BENCHMARK IS A CITY OF ALBUQUERQUE SURVEY BRASS DISC STAMPED "13-016", HAVING AN ELEVATION OF 5073.471. NAVD 88.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL TEMPORARY SEDIMENT AND EROSION CONTROL DEVICES DURING THE CONSTRUCTION PHASE.
- CONTRACTOR SHALL OBTAIN A GRADING PERMIT FROM THE CITY OF ALBUQUERQUE, PRIOR TO ANY GRADING OR CONSTRUCTION.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION CONTRACTOR MUST CONTACT LINE LOCATING SERVICE 260-1990 FOR LOCATION OF EXISTING UTILITIES.
- ALL EMBANKMENTS SHALL BE PLACED AND COMPACTED IN LIFTS OF MAXIMUM OF 8". THE EMBANKMENTS SHALL BE WETTED AND COMPACTED TO 95% OPTIMUM DENSITY PER ASTM D1557 AND 95% UNDER ALL STRUCTURES INCLUDING DRIVEWAYS AND PARKING LOTS.
- THE CONTRACTOR SHALL FIELD VERIFY LOCATION AND SIZE OF ALL UTILITIES PRIOR TO CONSTRUCTION.
- ALL WORK PERFORMED SHALL COMPLY WITH THE REQUIREMENTS OF THE CITY OF ALBUQUERQUE STORM DRAINAGE REGULATIONS. ALL WORK PERFORMED SHALL COMPLY WITH THE REQUIREMENTS OF THE CITY OF ALBUQUERQUE "GRADING AND DRAINAGE DESIGN REQUIREMENTS AND POLICIES FOR LAND DEVELOPMENT."
- THE OWNER, CONTRACTOR AND/OR BUILDER SHALL COMPLY WITH ALL APPROPRIATE LOCAL, STATE AND FEDERAL REGULATIONS AND REQUIREMENTS.
- THE CONTRACTOR SHALL TAKE ALL APPROPRIATE AND REASONABLE MEASURES TO PREVENT SEDIMENT OR POLLUTANT LADEN STORM WATER FROM EXITING THE SITE DURING CONSTRUCTION. STORMWATER MAY BE DISCHARGED IN A MANNER, WHICH COMPLIES WITH THE APPROVED GRADING AND DRAINAGE PLAN.
- THE CONTRACTOR SHALL TAKE ALL APPROPRIATE MEASURES TO PREVENT THE MOVEMENT OF CONSTRUCTION RELATED SEDIMENT, DUST, MUD, POLLUTANTS, DEBRIS, WASTE, ETC FROM THE SITE BY WIND, STORM FLOW OR ANY OTHER METHOD EXCLUDING THE INTENTIONAL, LEGAL TRANSPORTATION OF SAME IN A MANNER ACCEPTABLE BY THE CITY.
- THE CONTRACTOR SHALL NOT DISTURB AREAS OUTSIDE THE AREAS SHOWN AS "SLOPE LIMITS" ON THE GRADING AND DRAINAGE PLAN.
- SEE ARCHITECTURAL DRAWINGS FOR SIDEWALK AND HANDICAPPED RAMPS, DETAILS AROUND THE BUILDING.
- THE CONTRACTOR SHALL CONTACT THE PROJECT ENGINEER FOR CLARIFICATION IF THERE ARE ANY SPOT ELEVATIONS ON THE GRADING AND DRAINAGE PLAN WHICH APPEAR TO BE AMBIGUOUS OR DO NOT MEET THE INTENT OF THE GRADING AND DRAINAGE PLAN.
- THE CONTRACTOR SHALL CONTACT THE PROJECT ENGINEER FOR CLARIFICATION IF THERE ARE SIDEWALKS OR CONCRETE FLATWORK WHICH DOES NOT MEET ADA ACCESSIBILITY REQUIREMENTS. ALL SIDEWALKS SHALL HAVE A MAXIMUM CROSS SLOPE OF 2.0%, ALL SIDEWALKS SHALL HAVE A MAXIMUM LONGITUDINAL SLOPE OF 5.0%, AND ALL RAMPS SHALL HAVE A MAXIMUM LONGITUDINAL SLOPE OF 15:1.
- ALL SIDEWALKS AND CONCRETE FLATWORK SHALL HAVE A MINIMUM OF 0.5% SLOPE. CONTRACTOR SHALL CONTACT PROJECT ENGINEER IF THERE ARE SIDEWALKS OR CONCRETE FLATWORK WHICH DO NOT MEET THIS REQUIREMENT.
- THE CONTRACTOR SHALL SUBMIT MATERIAL SUBMITTALS, CUT SHEETS AND SHOP DRAWINGS FOR ALL CIVIL RELATED ITEMS FOR REVIEW PRIOR TO CONSTRUCTION.
- THIS PROJECT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE 2019 EDITION OF THE NEW MEXICO STATE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAY AND BRIDGE CONSTRUCTION (GRAY BOOK). ALL UTILITY WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITION OF THE AMERICAN PUBLIC WORKS ASSOCIATION, NEW MEXICO CHAPTER, STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
- ALL EXISTING MANHOLES, VALVES AND METERS SHALL BE ADJUSTED TO NEW FINISH GRADE.
- THE CONTRACTOR SHALL SUBMIT A SEED MIX DESIGN TO THE OWNER FOR REVIEW AND APPROVAL PRIOR TO STARTING THE SEEDING ON THE PROJECT. THE SEED MIX DESIGN SHALL BE A SEED MIX RECOMMENDED BY NRCS FIELD OFFICE REPRESENTATIVE APPROPRIATE FOR PROJECT LOCATION.

ALL DISTURBED AREAS, NOT ADDRESSED BY ARCHITECTURAL LANDSCAPE PLAN WITH SLOPES OF LESS THAN 3:1 SHALL RECEIVE CLASS "A" SEEDING. ANY SLOPES THAT ARE 3:1 OR STEEPER SLOPES SHALL RECEIVE STEEP SLOPE SEEDING. THE STEEP SLOPE SEEDING SHALL CONSIST OF SEEDING IN CONJUNCTION WITH A 100% COCONUT FIBER BLEND EROSION BLANKET (NORTH AMERICAN GREEN C125) OR APPROVED EQUAL.

## HYDROLOGY CALCULATIONS

Precipitation Zone 2 - 100-year Storm			P(360) = 2.35 in		P(1440) = 2.75 in				
Basin	Basin Area (Ac)	Land Treatment Factors				Ew (in)	V(100-6) (af)	V(100-24) (af)	Q(100) (cfs)
		A	B	C	D				
Existing Conditions									
Site	1.290	0.000	0.000	1.290	0.000	1.130	0.121	0.121	4.051
Total	1.290							0.121	4.051
Proposed Conditions									
Site	1.290	0.000	0.000	0.210	1.080	1.96	0.211	0.247	5.735
Total	1.290							0.247	5.735

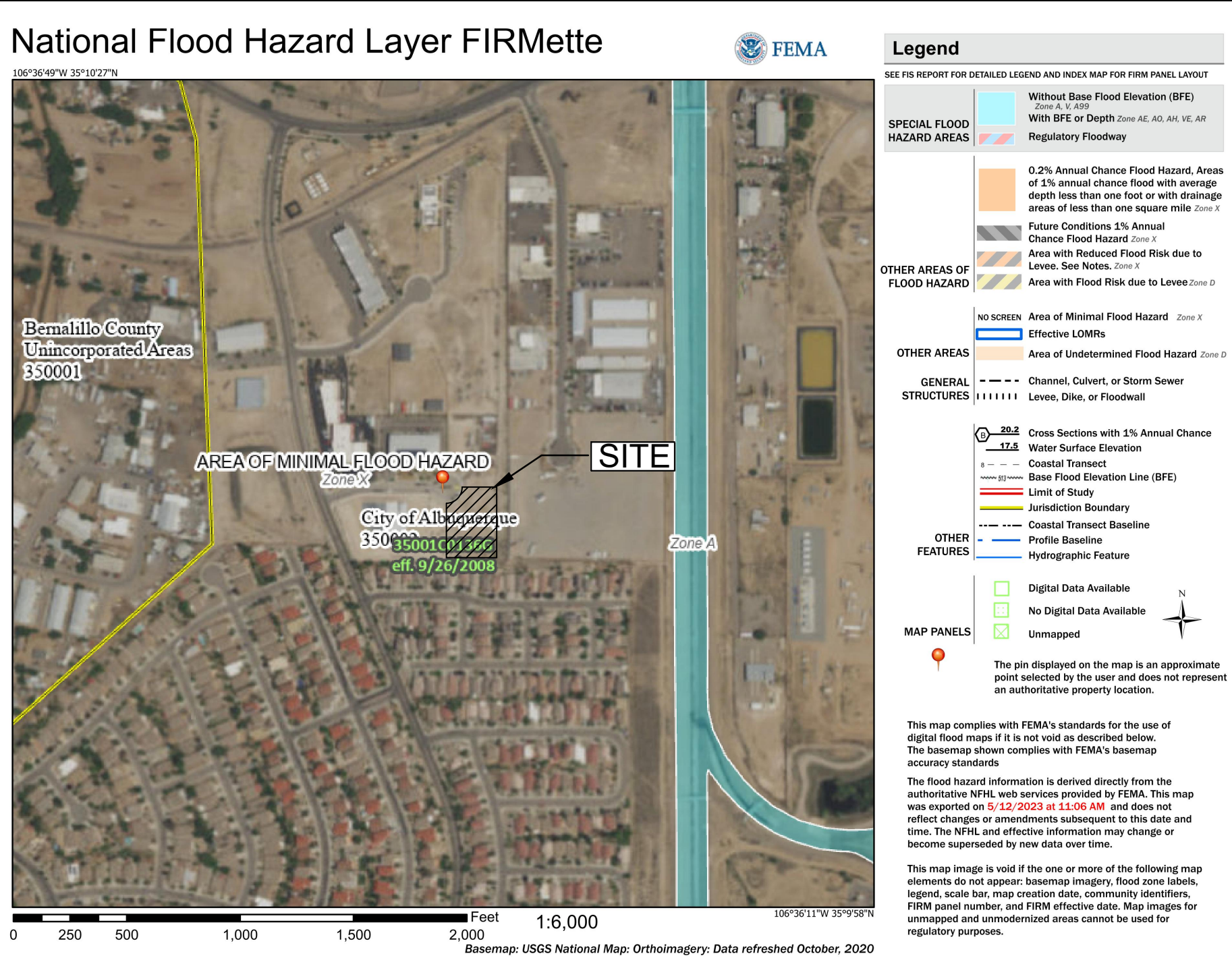
## WATER HARVEST AREA

WHA #1			
Pond Rating Table			
Side Slope			
Elev. (ft)	Area (sq ft)	Volume (cf)	Cum Volume (cf)
39	1087	0	0
40	2739	1913.000	1913.000

WHA #2			
Pond Rating Table			
Side Slope			
Elev. (ft)	Area (sq ft)	Volume (cf)	Cum Volume (cf)
41	156	0	0
42	787	471.250	471.250

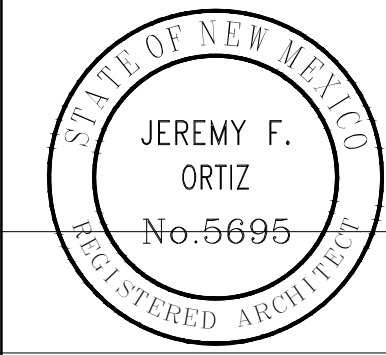
## STORM WATER QUALITY CALCULATIONS

$$SWQV = (0.42"/12 * 47,125 SF) = 1649 \text{ CUBIC FEET}$$



### FLOOD ZONE MAP

SCALE: NOT TO SCALE



11-01-2019



SUITE 102 D  
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www.archisarchitects.com

CUESTA ARRIBA WAREHOUSE

1320 CUESTA ARRIBA CRT NE  
ALBUQUERQUE, NEW MEXICO 87113

Project No. 23-014  
Drawn by:DLW  
Checked by:VAM

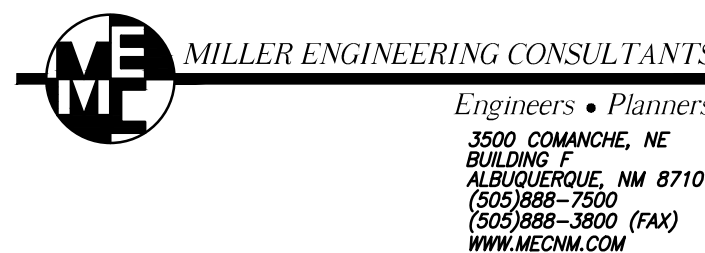
Issue Date:  
JULY 25, 2023

Revisions:	Date:				

Sheet Title:  
HYDROLOGY

Sheet No.

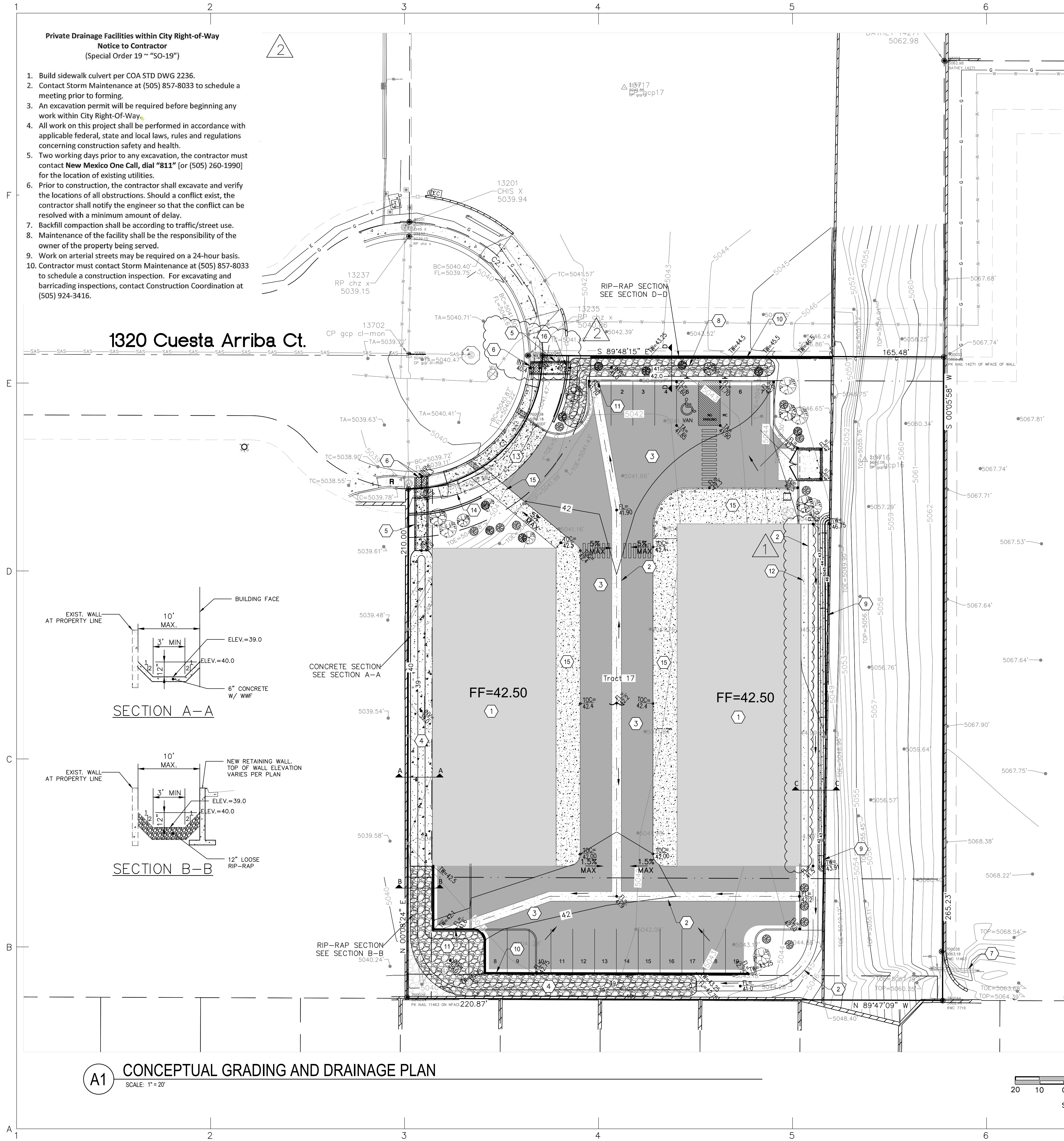
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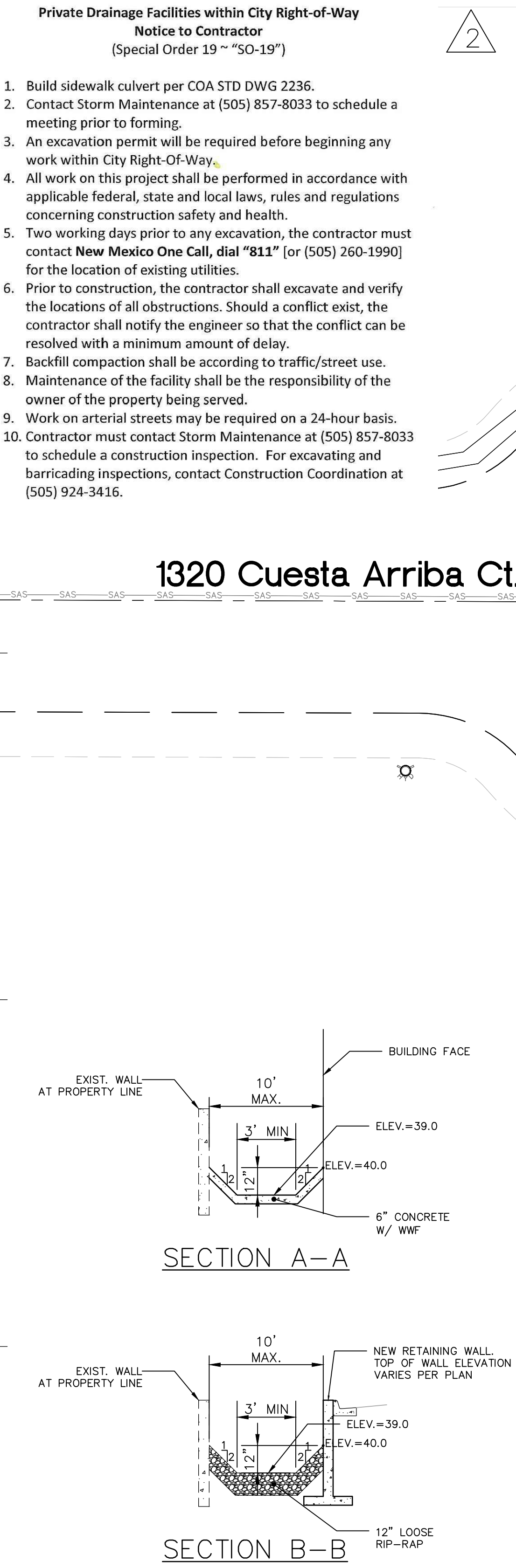
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(505) 988-3600 (FAX)  
WWW.MECHM.COM



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**A1 CONCEPTUAL GRADING AND DRAINAGE PLAN**  
SCALE: 1"=20'



- KEYED NOTES**
- 1 NEW BUILDING. SEE ARCHITECTURAL DRAWINGS FOR DETAILS
  - 2 NEW 48" CONCRETE VALLEY GUTTER. SEE DETAIL SHEET C-501
  - 3 NEW HEAVY DUTY HOT MIX ASPHALT. SEE DETAIL SHEET C-501.
  - 4 NEW SWQV RETENTION POND #1. INV=39.0. SEE DETAILS THIS SHEET.
  - 5 NEW 4'-6" WIDE BY 6" DEEP CONCRETE CHANNEL. SEE DETAIL SHEET C-501.
  - 6 NEW 2x24" WIDE CONCRETE SIDEWALK CULVERT. SEE DETAIL SHEET C-501.
  - 7 EXISTING CULVERT TO BE REMOVED TO ELIMINATE OFFSITE RUNOFF FLOW.
  - 8 NEW SWQV RETENTION POND #2. INV=41.0.
  - 9 NEW 6" THICK CONCRETE SLAB. SEE DETAIL C-C THIS SHEET.
  - 10 NEW RETAINING WALL. SEE STRUCTURAL FOR DETAILS.
  - 11 NEW 4' CURB CUT.
  - 12 NEW 36" WIDE CONCRETE PAD BETWEEN BUILDING AND CONCRETE VALLEY GUTTER. SEE SECTION C-C.
  - 13 NEW CONCRETE DRIVE PAD WITH HANDICAP RAMPS PER COA DETAIL #2425. SEE DETAIL SHEET C-501.
  - 14 SIDEWALK TRANSITION TO OFFSET PER COA DETAIL #2432.
  - 15 NEW CONCRETE SIDEWALK/FLATWORK PER ARCHITECTURAL SHEETS.
  - 16 SAWCUT EXISTING WALL SECTION TO ALLOW FOR NEW CONCRETE CHANNEL.

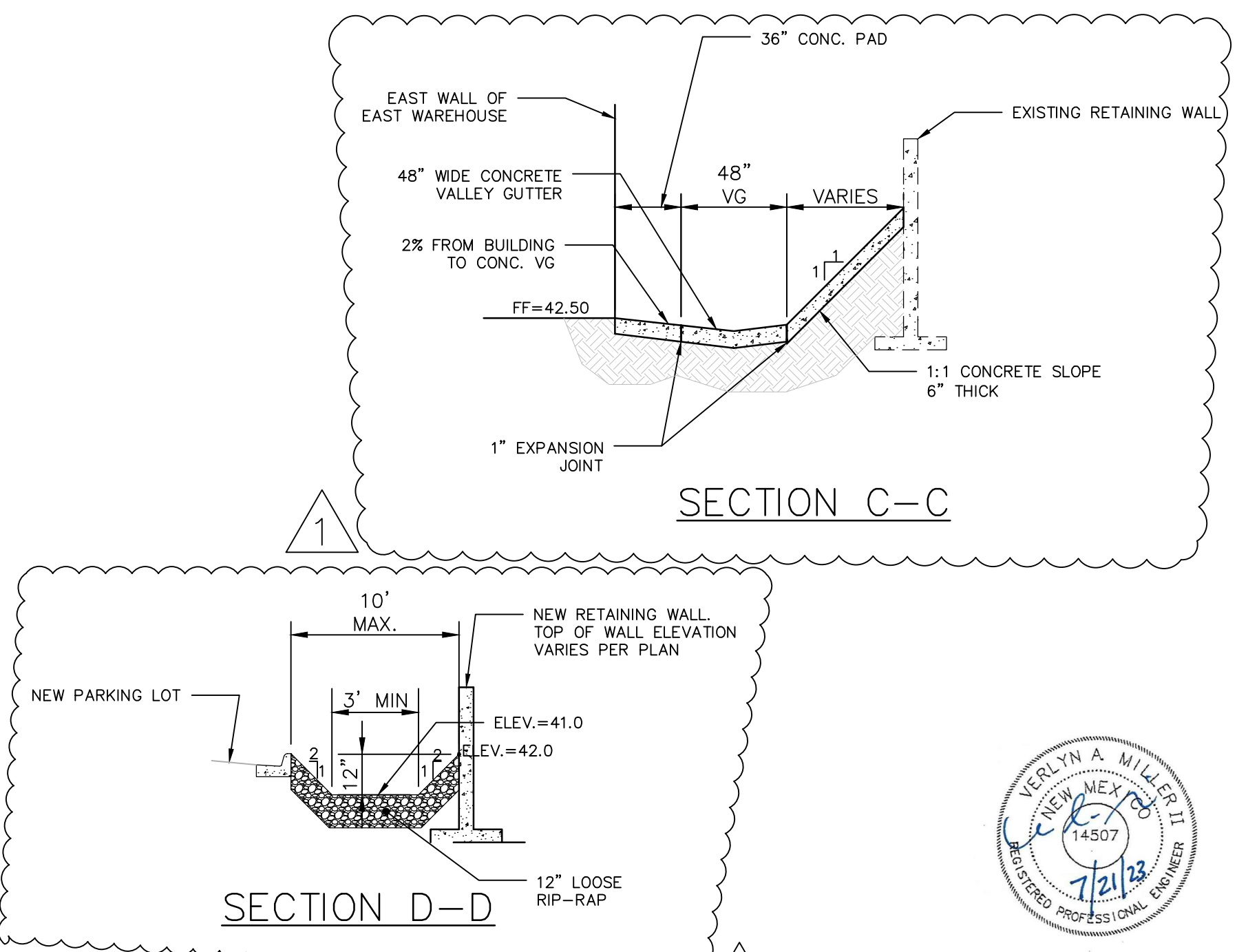
City of Albuquerque  
Planning Department  
Development Review Services  
**HYDROLOGY SECTION**  
**APPROVED**  
DATE: 9/20/2023  
BY: *Lyene Cha*  
HydroTrans # D16D104

THE APPROVAL OF THESE PLANS AND ANY CITY OF ALBUQUERQUE SHALL NOT BE CONSIDERED TO BE A GUARANTEE OF THE ACCURACY OF THE INFORMATION PROVIDED HEREON. THE CITY OF ALBUQUERQUE SHALL NOT BE RESPONSIBLE FOR ANY DAMAGE TO PERSONS OR PROPERTY ARISING FROM THE USE OF THESE PLANS. THE CITY OF ALBUQUERQUE SHALL NOT BE RESPONSIBLE FOR ANY DAMAGE TO PERSONS OR PROPERTY ARISING FROM THE USE OF THESE PLANS. THE CITY OF ALBUQUERQUE SHALL NOT BE RESPONSIBLE FOR ANY DAMAGE TO PERSONS OR PROPERTY ARISING FROM THE USE OF THESE PLANS.

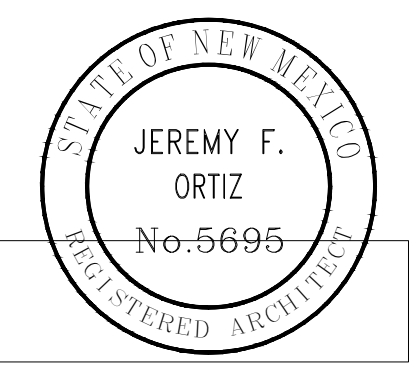
APPROVAL OF GRADING & DRAINAGE PLANS SHALL EXPIRE TWO (2) YEARS AFTER THE APPROVAL DATE BY THE CITY IF NO BUILDING PERMIT HAS BEEN FILED ON THE DEVELOPMENT.

**LEGEND:**

- 38.00 FG PROPOSED SPOT ELEVATIONS (FINISHED GRADE)
- MATCH TC (95.19) MATCH TO EXISTING ELEVATIONS
- TC TOP OF CONCRETE
- FL FLOW LINE
- INV INVERT
- FG FINISH GRADE
- TG TOP OF GRATE
- GRADE BREAK-HIGH POINT
- SD SWALE
- STORM DRAIN LINE
- 5895 PROPOSED MAJOR CONTOUR
- 5895 PROPOSED MINOR CONTOUR
- 5895 EXISTING MAJOR CONTOUR
- 5895 EXISTING MINOR CONTOUR
- NEW ASPHALT PAVING
- NEW BUILDING FOOTPRINT
- NEW CONCRETE



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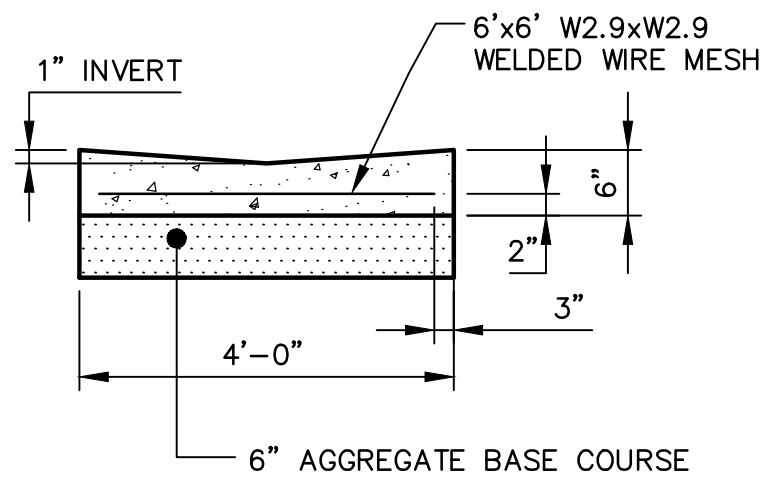
Revisions:	Date:	DELETED ROW STRIP	COA COMMENTS
1	09-06-2023		
2	09-14-2023		

Sheet Title:  
GRADING AND DRAINAGE PLAN

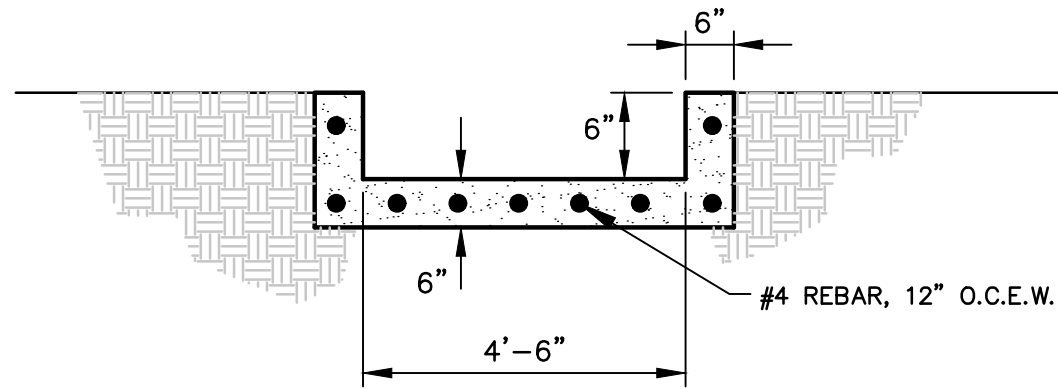
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**C-101**



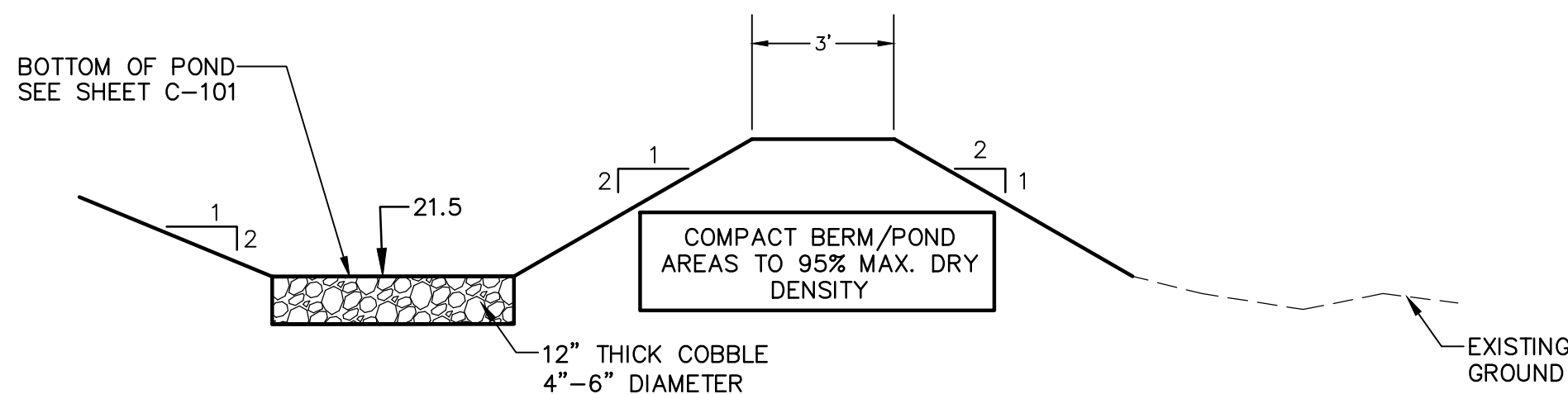
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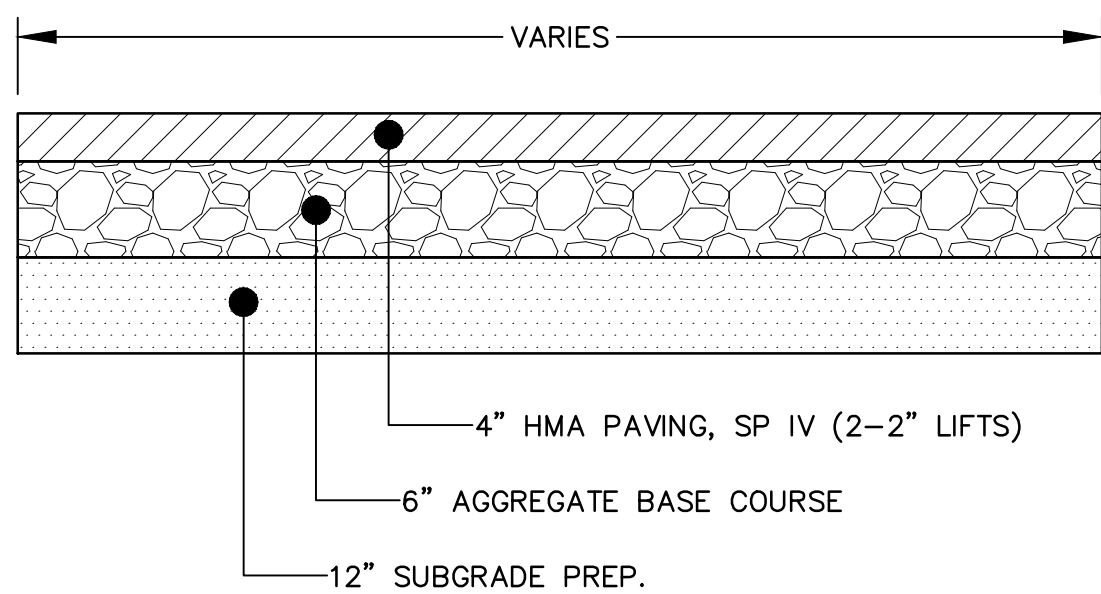
**6"x48" CONCRETE VALLEY GUTTER DETAIL**  
SCALE: NONE



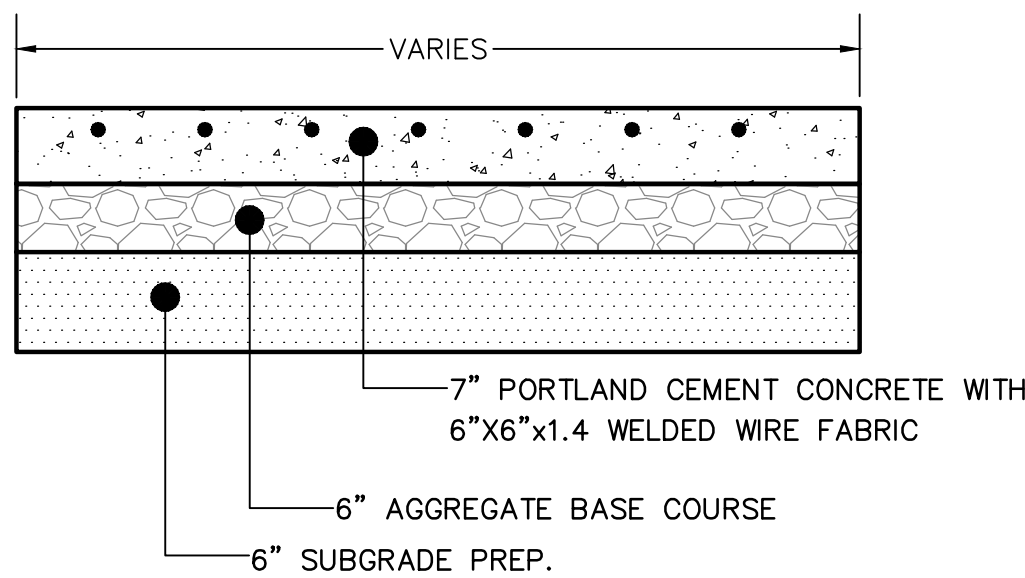
**E1 CONCRETE CHANNEL DETAIL**  
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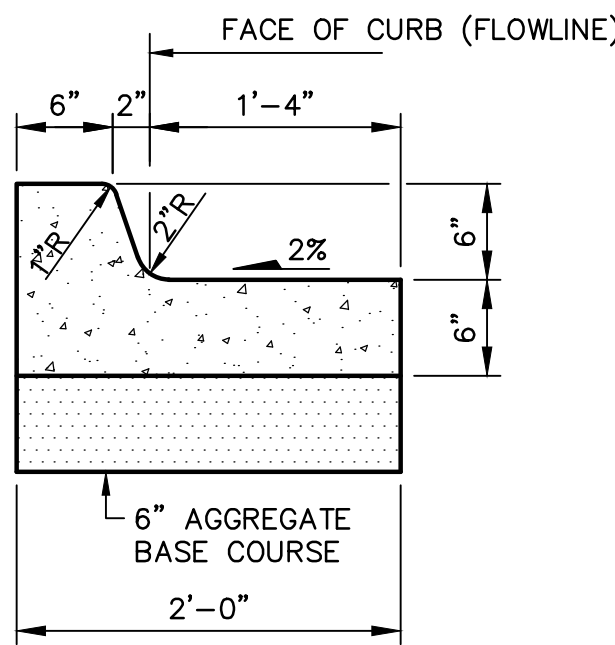
**D1 TYPICAL WATER HARVEST SECTION**  
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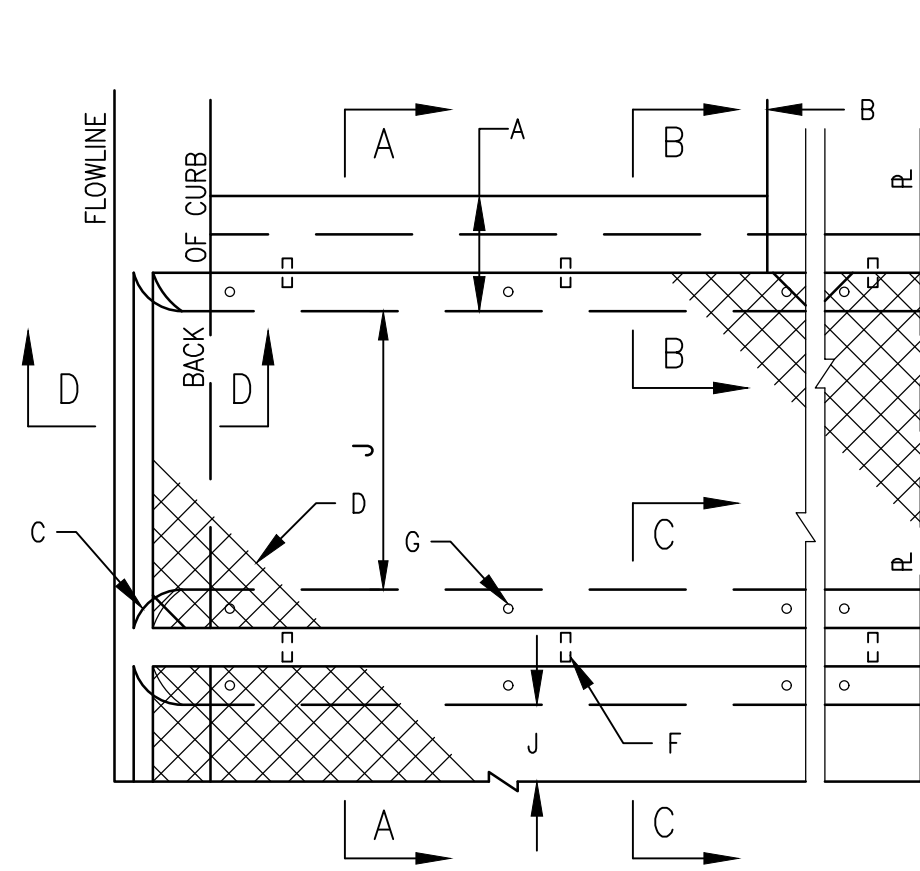
**B1 HEAVY DUTY ASPHALT PAVING DETAIL**  
SCALE: NOT TO SCALE



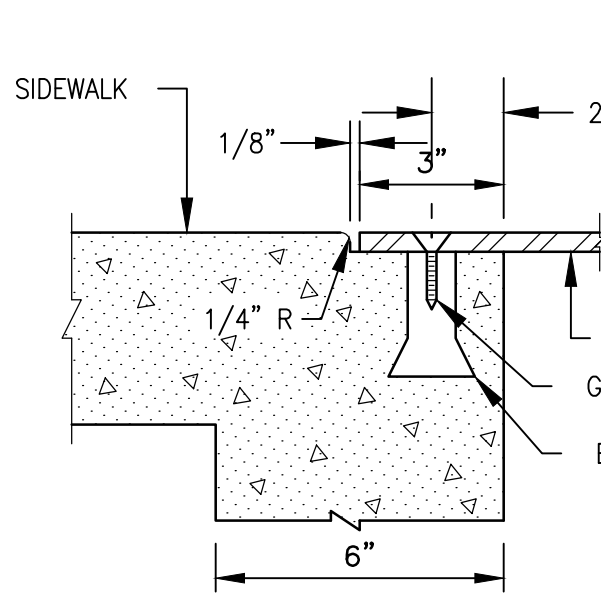
**B3 HEAVY DUTY CONCRETE PAVING SECTION**  
SCALE: NOT TO SCALE



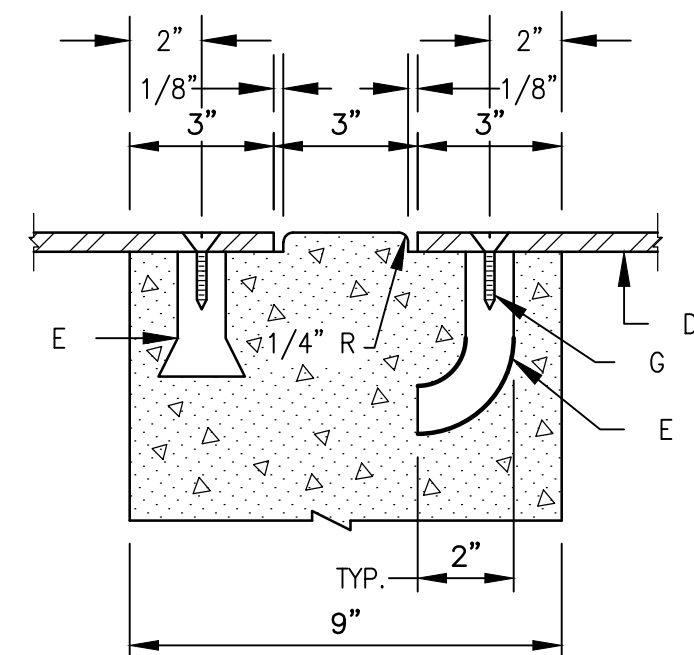
**F4 TYPICAL CURB AND GUTTER SECTION**  
SCALE: NOT TO SCALE



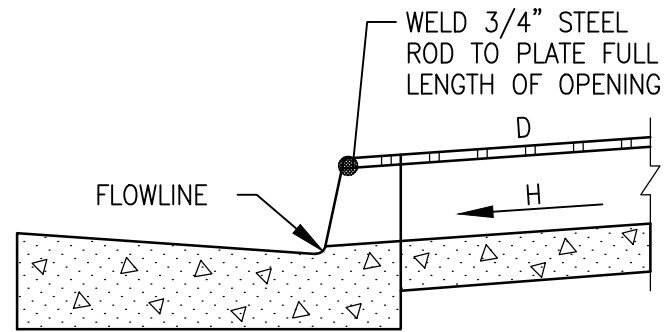
**PLAN SINGLE AND OR MULTIPLE CULVERT**



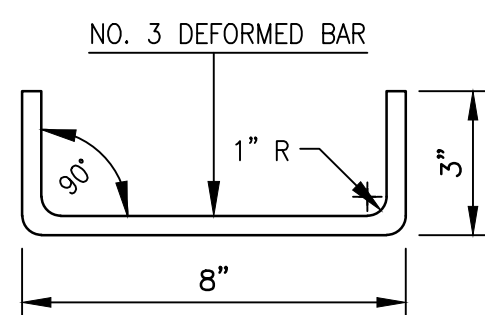
**SECTION B-B**



**SECTION C-C**



**SECTION D-D**



**DOWEL DETAIL**

**GENERAL NOTES:**

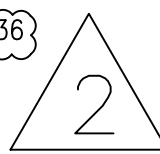
1. PLACING OF DRAIN THRU EXIST. SIDEWALK AND CURB & GUTTER REQUIRES THAT ENTIRE SIDEWALK AND C & G STONES BE REMOVED AND REPLACED AS DETAILED HEREIN.
2. BOTTOM SLAB OF CULVERT SHALL BE POURED MONOLITHICALLY WITH NEW GUTTER.
3. THE INVERT SHALL BE TROWELED TO PRODUCE A HARD POLISHED SURFACE OF MAX. DENSITY AND SMOOTHNESS. INVERT SHALL BE V-SHAPED TO WITHIN 3" OF OUTLET, THEN WARPED TO PARALLEL FLOWLINE AT OUTLET, UNLESS OTHERWISE SHOWN.
4. ALL EXPOSED CONC. SURFACE SHALL MATCH GRADE, COLOR, FINISH AND SCORING OF ADJACENT CURB AND SIDEWALK.
5. SIDEWALK REPLACED DURING CONSTRUCTION SHALL BE POURED MONOLITHICALLY WITH CULVERT WALLS.
6. IF ROD ANCHORS ARE USED, DRILL & TAP FOR F.H. MACHINE SCREW. ATTACH ANCHORS TO PLATE AND SECURE PLATE IN PLACE PRIOR TO POURING OF WALLS.
7. LENGTH OF EACH PLATE SHALL BE SUCH THAT THE WEIGHT WILL NOT EXCEED 300 LBS. AND SHALL BE STRESS RELIEVED AFTER FABRICATION. CLEAN SURFACE OF PLATE AND FRAMING MEMBERS AND PAINT W/ ONE SHOP COAT RED OXIDE AND TWO FINISH COATS ALUMINUM PAINT (AASHTO M 69).
8. ALL SIDEWALK CULVERTS SHALL EXTEND 12" BEYOND THE EDGE OF SIDEWALK TO ENSURE SIDEWALK SAFETY.

**SIDEWALK CULVERT CONSTRUCTION NOTES:**

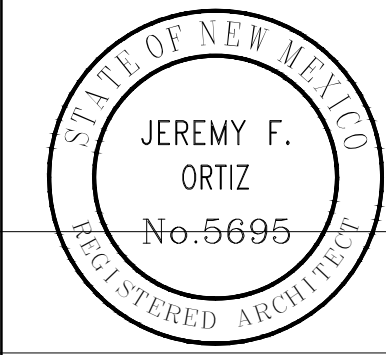
- A. MATCH NEAREST CONTROL JOINT, INSTALL 1/2" EXPANSION JOINT.
- B. EDGE OF SIDEWALK OR SETBACK (VARIABLE).
- C. 3" RADIUS (TYPICAL).
- D. 3/8" CHECKERED STEEL PLATE (PRINT PER NOTE 7, ABOVE. FOR SECURING PLATE USE 1" x 5" S.S. ROD ANCHOR, "RED HEAD MULTI-SEC II SRM-38" ANCHOR" OR APPROVED EQUAL. INSTALL PER MANUFACTURER'S INSTRUCTIONS AT MAX. 24" O.C., A MINIMUM OF 2 PER SIDE AND ONE WITH 6" OF EACH END.
- E. CONSTRUCTION JOINT IS OPTIONAL. IF USED, SPACE DOWELS AT 18" O.C. MAX., 1/2" MINIMUM FROM FACE OF CONCRETE.
- F. 3/8" - 16 X 1 1/4" COUNTERSUNK, F.H., STAINLESS STEEL MACHINE SCREW.
- G. SLOPE 1/4" PER FT. MIN.
- H. DRAIN WIDTH PER PLAN (12", MIN., 24" MAX.).

**C6 SIDEWALK CULVERT DETAIL**

SCALE: NOT TO SCALE  
COA STANDARD DETAIL # 2236



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Project No. 23-014  
Drawn by:DLW  
Checked by:VAM

Issue Date:  
JULY 25, 2023

Date:	Revisions:
09-06-2023	DELETE NOW CURB DTL
09-14-2023	COA COMMENTS

Sheet Title:

MISCELLANEOUS  
DETAILS

Sheet No.

C-501