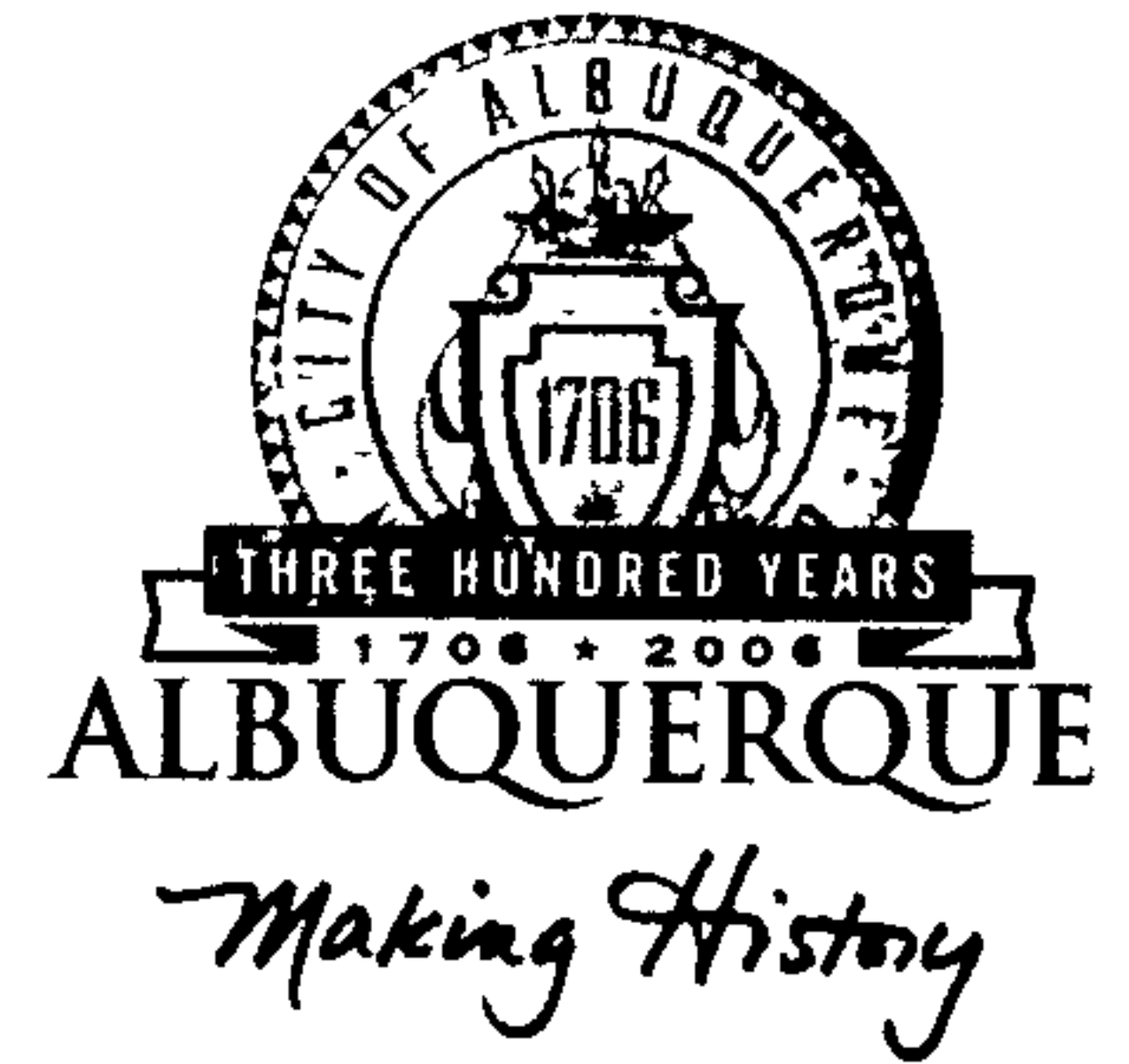


CITY OF ALBUQUERQUE



**"CORRECTED ADDRESS FROM 3901 RUTLEDGE RD. NE TO 3900
MASTHEAD ST. NE / 04-28-2006"**

April 24, 2006

Mr. Jeff Wooten, P.E.
BOHANNAN-HUSTON, INC.
7500 Jefferson Street NE – Courtyard 1
Albuquerque, NM 87109

**Re: U.S. FOREST SERVICE ALBUQUERQUE SERVICE CENTER
3900 Masthead St. NE**

P.O. Box 1293

Approval of Permanent Certificate of Occupancy (C.O.)

Engineer's Stamp dated 10/07/2005 (D-17/D3AA1)

Certification dated 04/11/2006

Albuquerque

Dear Jeff,

New Mexico 87103

Based upon the information provided in your submittal received 04/24/2006, the above referenced certification is approved for release of Permanent Certificate of Occupancy by Hydrology

www.cabq.gov

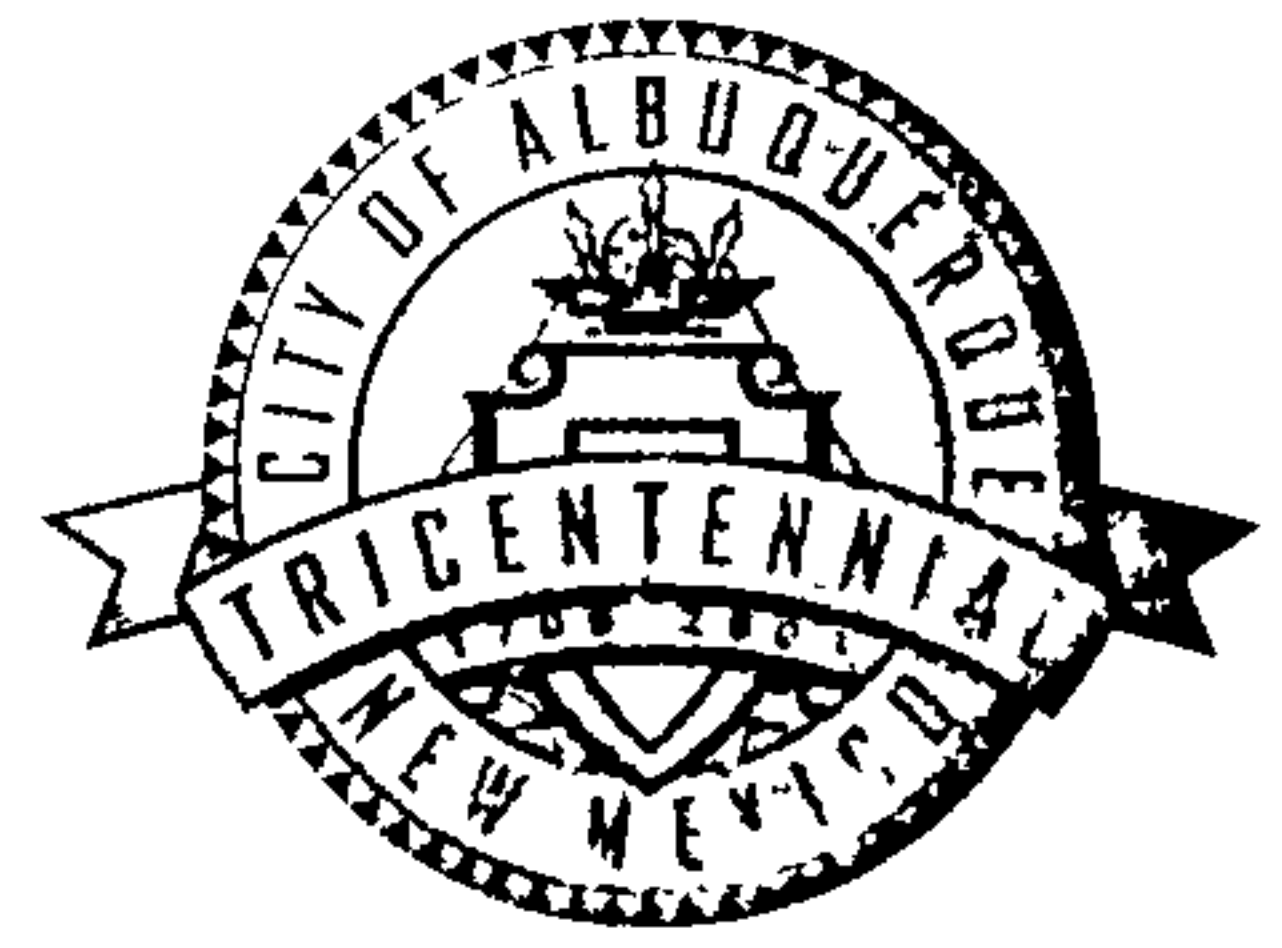
If you have any questions, you can contact me at 924-3982.

Sincerely,

Arlene V. Portillo
Plan Checker, Planning Dept. - Hydrology
Development and Building Services

C: Raquel Michel
CO Clerk
File

CITY OF ALBUQUERQUE



April 24, 2006

Mr. Jeff Wooten, P.E.
BOHANNAN-HUSTON, INC.
7500 Jefferson Street NE – Courtyard 1
Albuquerque, NM 87109

Re: U.S. FOREST SERVICE ALBUQUERQUE SERVICE CENTER
3901 Rutledge Road NE
Approval of Permanent Certificate of Occupancy (C.O.)
Engineer's Stamp dated 10/07/2005 (D-17/D3AA1)
Certification dated 04/11/2006

Dear Jeff,

Based upon the information provided in your submittal received 04/24/2006, the above referenced certification is approved for release of Permanent Certificate of Occupancy by Hydrology

If you have any questions, you can contact me at 924-3982.

Sincerely,

Arlene V. Portillo
Plan Checker, Planning Dept. - Hydrology
Development and Building Services

C: Raquel Michel
CO Clerk
File

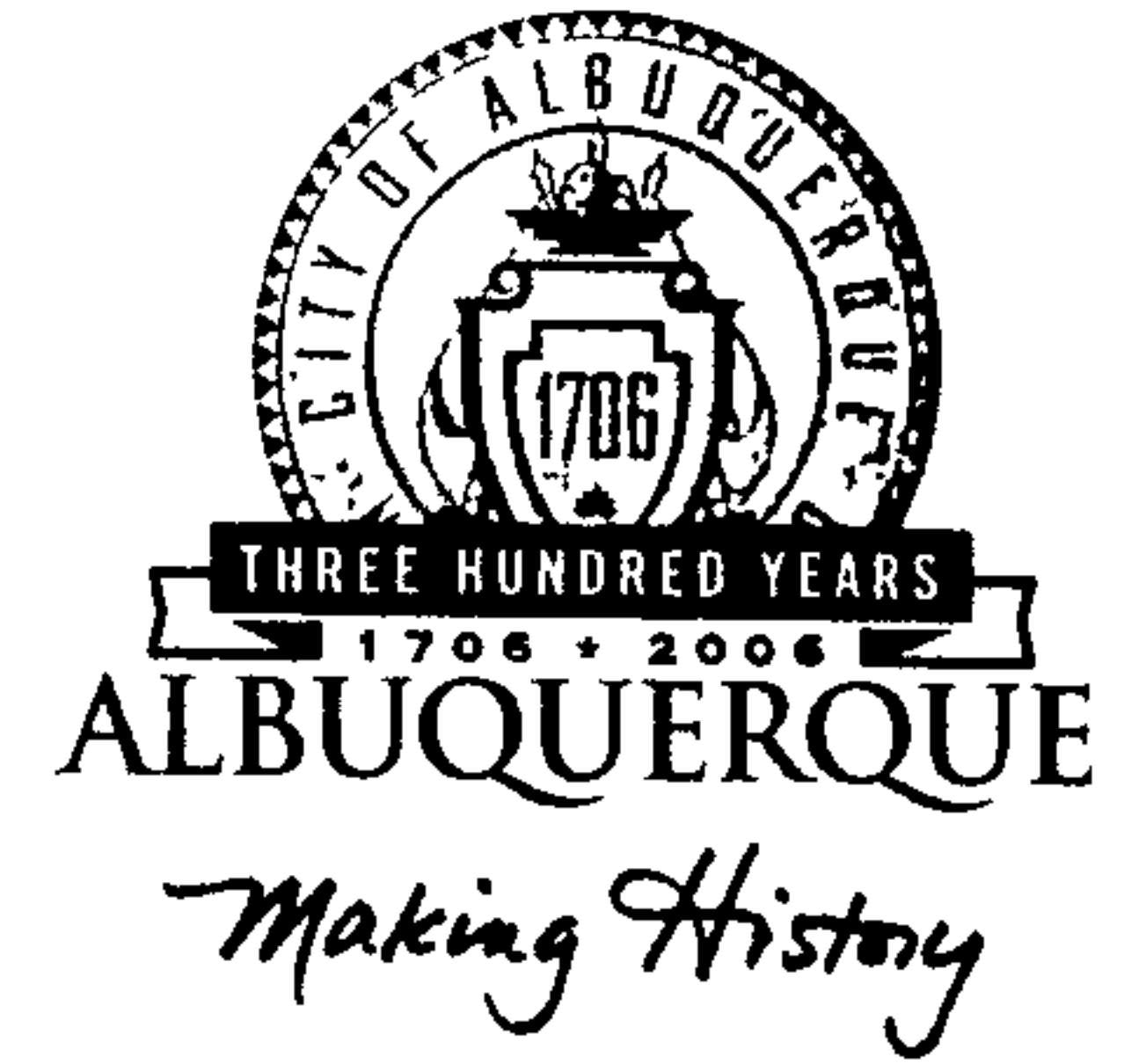
P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

CITY OF ALBUQUERQUE



October 18, 2005

Jeffery Todd Wooten, P.E.
Bohannon Huston Inc.
7500 Jefferson St. NE-Courtyard I
Albuquerque, NM 87109

Phase 1

**Re: US Forest Service Bldg, 3901 Rutledge Rd. NE,
Grading and Drainage Plan
Engineer's Stamp dated 10-07-05 (D17-D3AA1)**

Dear Mr. Wooten,

Based upon the information provided in your submittal received 10-07-05, the above referenced plan is approved for Building Permit, Grading Permit and Paving Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

This project requires a National Pollutant Discharge Elimination System (NPDES) permit. If you have any questions regarding this permit please feel free to call the DMD Storm Drainage Design section at 768-3654 (Charles Caruso).

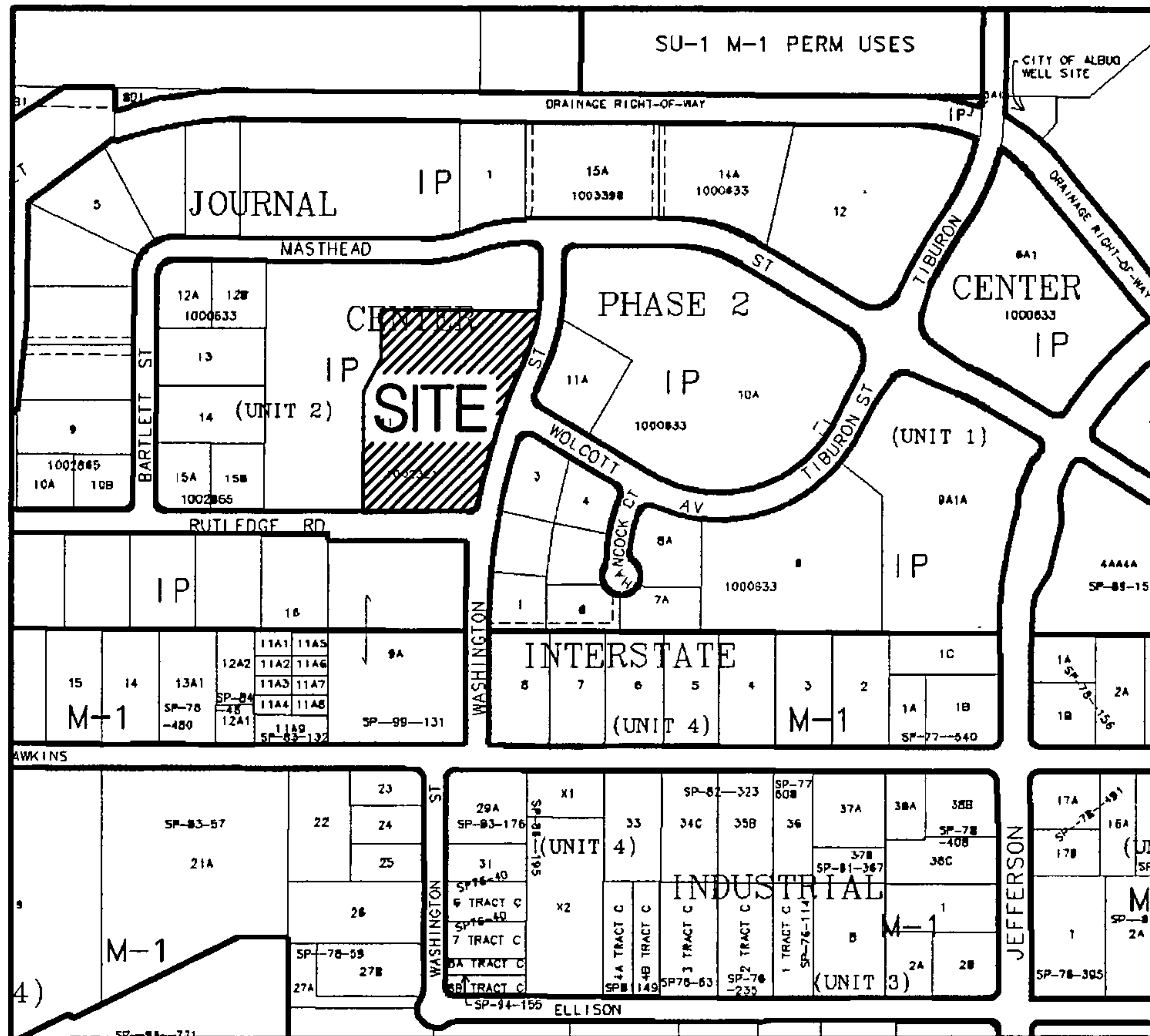
If you have any questions, you can contact me at 924-3695.

Sincerely,

Rudy E. Rael, Associate Engineer
Planning Department.
Development and Building Services

C: Charles Caruso
CC: File

D-17/D3AAV



ZONE ATLAS PAGE D-17-Z
SCALE: 1"=600'±

LEGAL DESCRIPTION

TRACT 11-B OF JOURNAL CENTER UNIT 2, PHASE 2
ALBUQUERQUE, NM, NOVEMBER, 2005

CITY OF ALBUQUERQUE



June 13, 2006

Jeffery Todd Wooten, P.E.
Bohannon Huston Inc.
7500 Jefferson St. NE-Courtyard I
Albuquerque, NM 87109

**Re: Masthead Office Complex Phase II
Grading and Drainage Plan
Engineer's Stamp dated 5-23-06 (D17-D3AA1)**

Dear Mr. Wooten,

Based upon the information provided in your submittal received 5-25-06, the above referenced plan is approved for Building Permit, Grading Permit and Paving Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

This project requires a National Pollutant Discharge Elimination System (NPDES) permit. If you have any questions regarding this permit please feel free to call the DMD Storm Drainage Design section at 768-3654 (Charles Caruso).

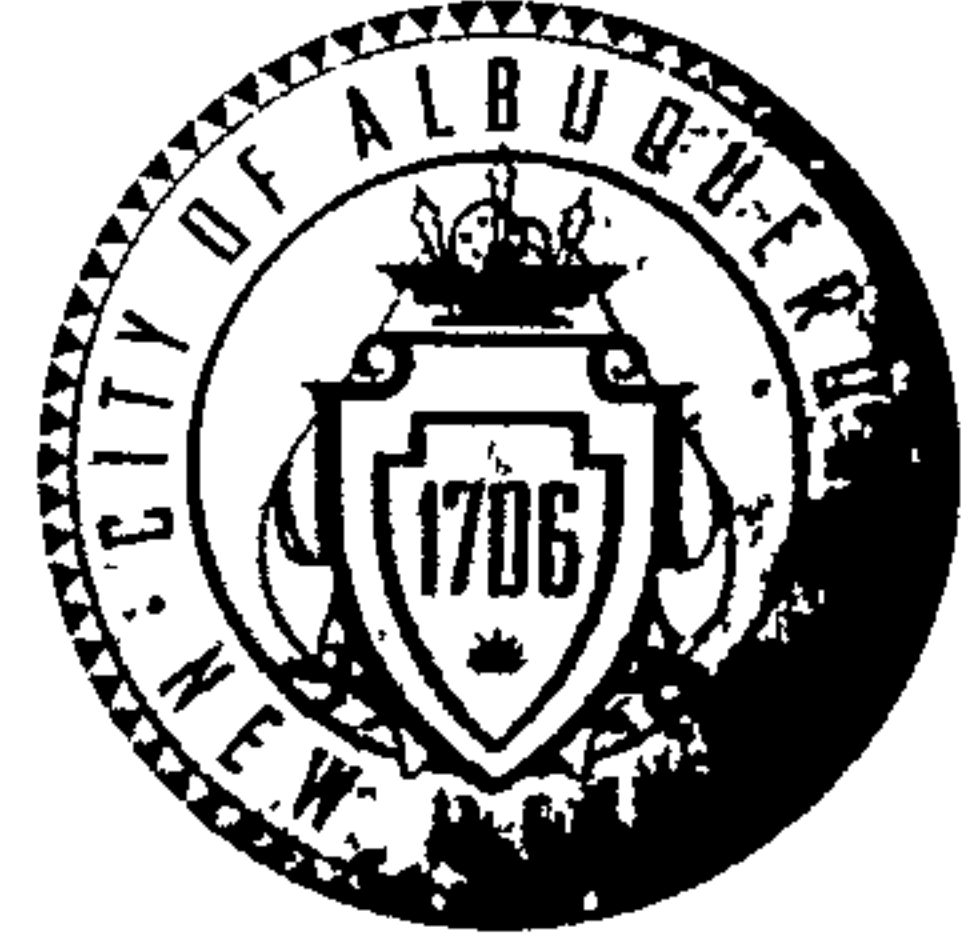
If you have any questions, you can contact me at 924-3977.

Sincerely,

Rudy E. Rael, Associate Engineer
Planning Department.
Development and Building Services

C: Charles Caruso
CC: File

CITY OF ALBUQUERQUE



February 4, 2011

Glenn S. Broughton, P.E.
Bohannon Huston
7500 Jefferson NE
Albuquerque, NM 87109

Re: USFS Phase II Grading and Drainage Plan
Engineer's Stamp date 1-26-11 (D17/D003AA1)

Dear Mr. Broughton,

Based upon the information provided in your submittal received 1-28-11, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

This is the plan to certify for release of Certificate of Occupancy.

If you have any questions, you can contact me at 924-3695.

Sincerely,

Curtis A. Cherne, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: file

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(Rev. 12/2005)

PROJECT TITLE: USFS Phase II ZONE MAP/DRG. FILE # D-17 / D-3A141
DRB#: 1004556 EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: Tract 11-B Journal Center Phase 2, Unit 2
CITY ADDRESS: _____

ENGINEERING FIRM: Bohannon Huston, Inc
ADDRESS: 7500 Jefferson NE
CITY, STATE: Albuquerque, NM

CONTACT: Glenn Broughton
PHONE: 823-1000
ZIP CODE: 87109

OWNER: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

ARCHITECT: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

SURVEYOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CONTRACTOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

TYPE OF SUBMITTAL:
____ DRAINAGE REPORT
____ DRAINAGE PLAN 1st SUBMITTAL
____ DRAINAGE PLAN RESUBMITTAL
____ CONCEPTUAL G & D PLAN
☒ GRADING PLAN
____ EROSION CONTROL PLAN
____ ENGINEER'S CERT (HYDROLOGY)
____ CLOMR/LOMR
____ TRAFFIC CIRCULATION LAYOUT
____ ENGINEER CERT (TCL)
____ ENGINEER CERT (DRB SITE PLAN)
____ OTHER (SPECIFY) _____

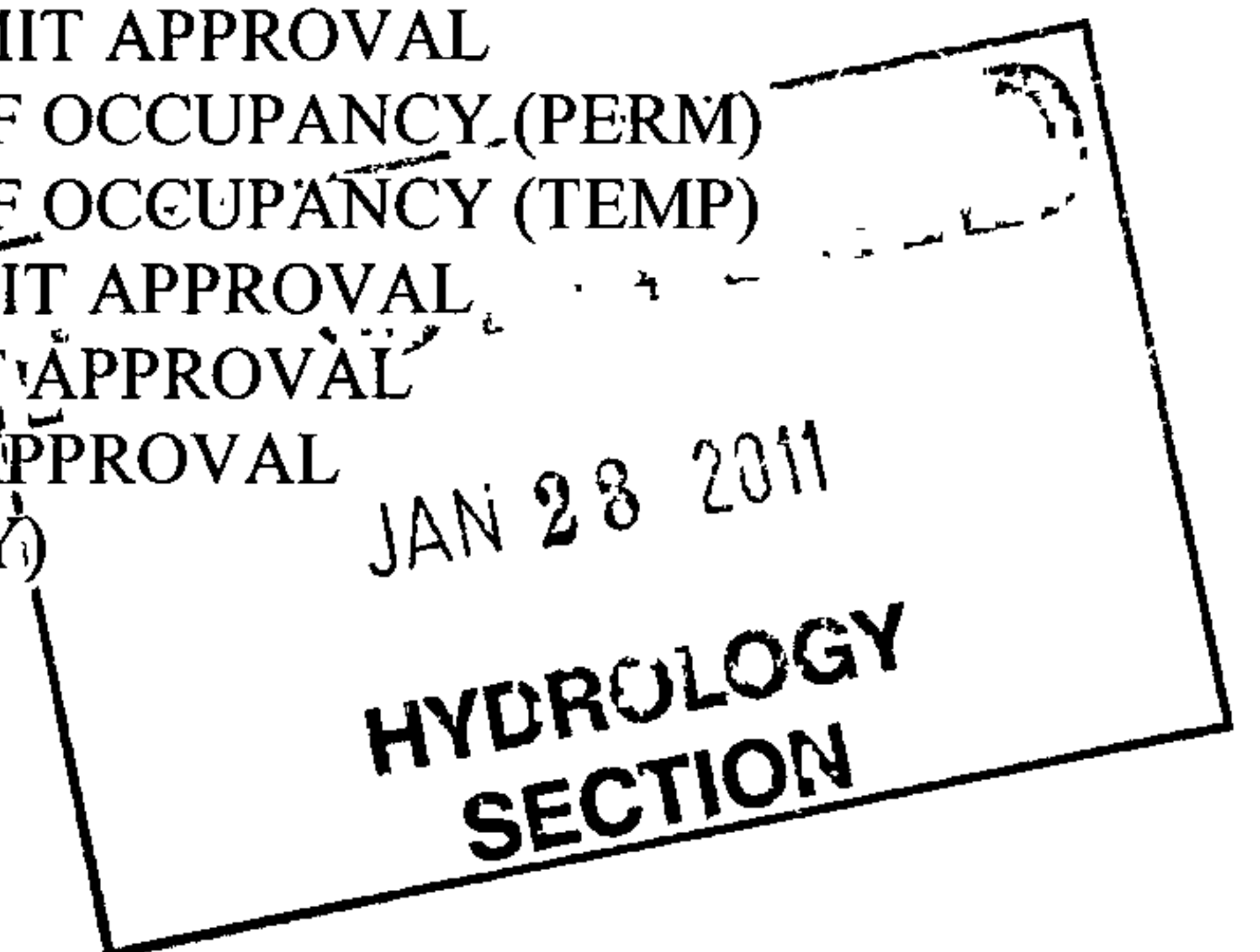
CHECK TYPE OF APPROVAL SOUGHT:
____ SIA/FINANCIAL GUARANTEE RELEASE
____ PRELIMINARY PLAT APPROVAL
____ S. DEV. PLAN FOR SUB'D APPROVAL
____ S. DEV. FOR BLDG. PERMIT APPROVAL
____ SECTOR PLAN APPROVAL
____ FINAL PLAT APPROVAL
____ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
____ CERTIFICATE OF OCCUPANCY (PERM)
____ CERTIFICATE OF OCCUPANCY (TEMP)
____ GRADING PERMIT APPROVAL
____ PAVING PERMIT APPROVAL
____ WORK ORDER APPROVAL
____ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:
____ YES
____ NO
____ COPY PROVIDED

SUBMITTED BY: Glenn Broughton DATE: January 28, 2011

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



Courtyard I
7500 Jefferson St. NE
Albuquerque, NM
87109-4335

www.bhinc.com

voice: 505.823.1000
facsimile: 505.798.7988
toll free: 800.877.5332

January 28, 2011

Mr. Curtis Cherne
Hydrology
City of Albuquerque
600 Second Street NW, 2nd Floor West
Albuquerque, NM 87102

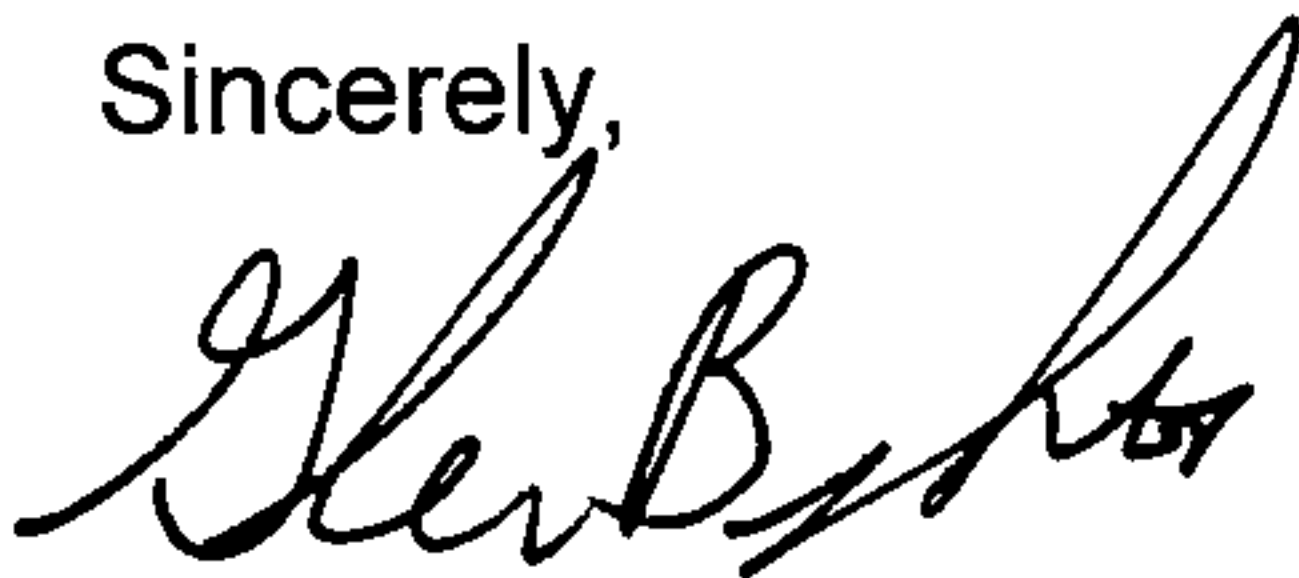
Re: Revised hydrology Submittal, US Forest Service Phase 2, Lot 11-B Journal Center
Phase 2, Unit 2 (D-17/D003AA1)

Dear Mr. Cherne:

In a letter from your office dated September 21, 2010, the above referenced project received hydrology approval for building permit. During construction, the owner requested site plan changes that had minor impacts to the site grading and drainage. The changes include revising the alignment and location of the retaining walls along the east property line. These changes do not significantly alter the peak flow rate or point of discharge from the originally approved grading and drainage plan. I have attached a copy of the revised Grading Plan and Drainage Management Plan. The revisions noted have been clouded on the Grading Plan.

The purpose of this letter is to request an updated hydrology approval for building permit. If you have any questions regarding this request, please contact me at 823-1000.

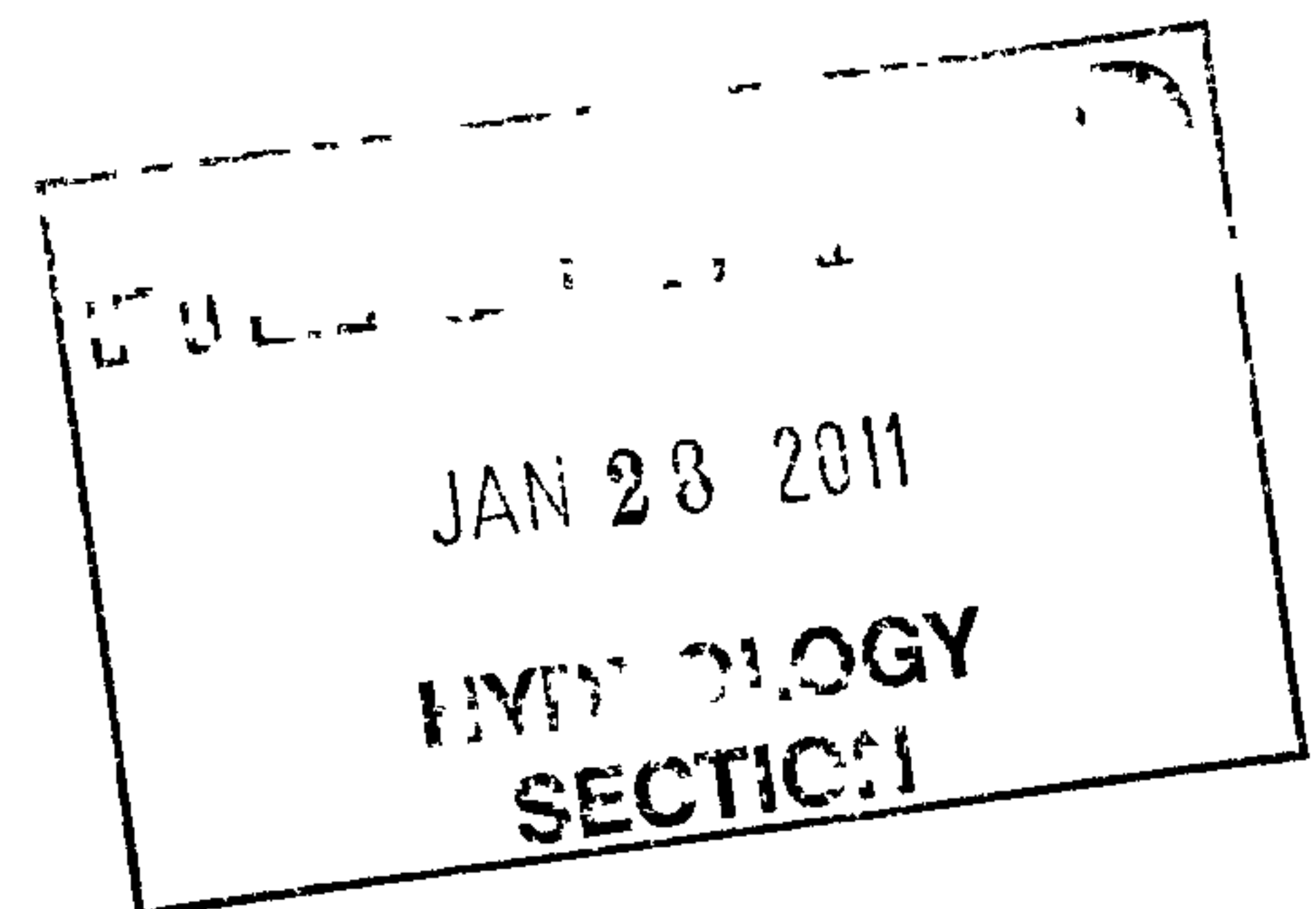
Sincerely,



Glenn S. Broughton, P.E.
Project Engineer
Community Development and Planning

GSB/cc
Enclosures

cc: Matthew Proehl, Reid & Associates
Kurt Browning, Titan Development

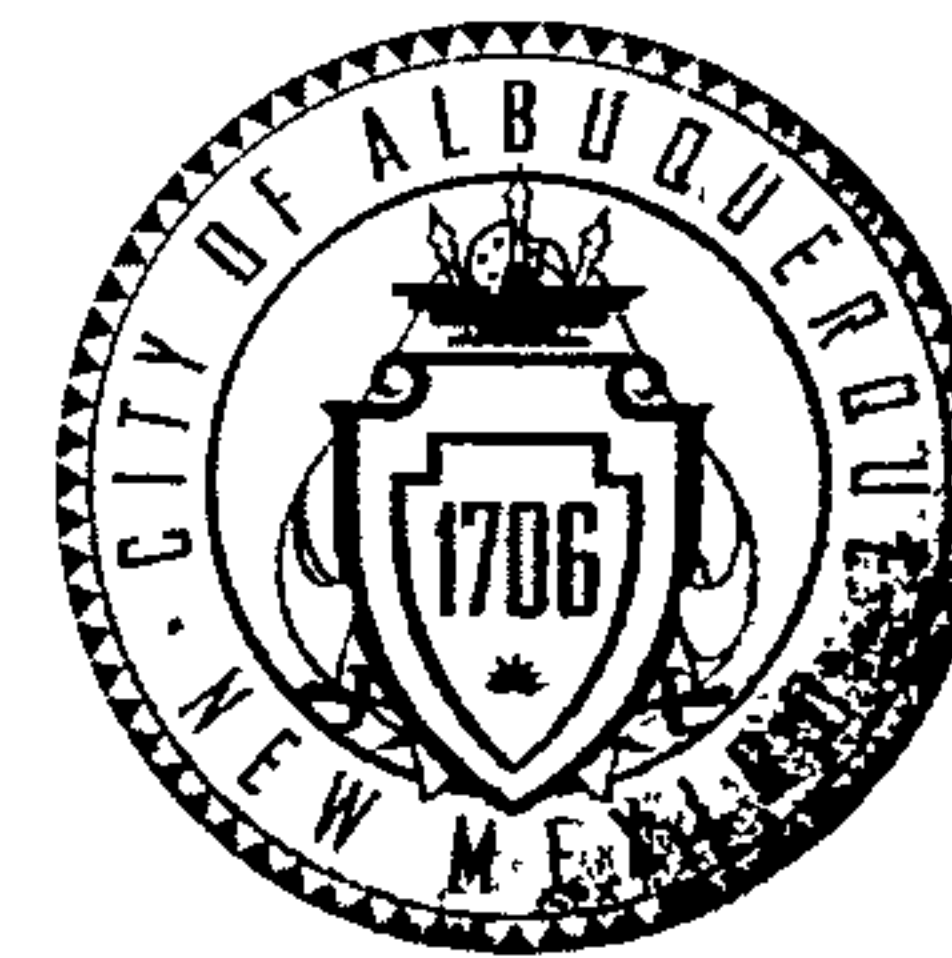


ENGINEERING ▲

SPATIAL DATA ▲

ADVANCED TECHNOLOGIES ▲

CITY OF ALBUQUERQUE



June 29, 2011

Glenn Broughton, PE
BOHANNAN-HUSTON, INC.
7500 Jefferson Street NE Courtyard I
Albuquerque, NM 87109

**Re: USFS Phase II, 4000 Masthead NE,
Request for 90-Day Temporary C.O.—Approved
Engineer's Stamp dated: 01/26/11 (D-17/D003A1)
Certification dated: 06-29-11**

Dear Mr. Broughton,

Based upon the information provided in your submittal received 06-29-11, the above referenced certification is approved for release of a 90 Day Temporary Certificate of Occupancy by Hydrology.

If you have any questions, you can contact me at 924-3982.

Sincerely,

Timothy E. Sims
Plan Checker—Hydrology,
Development and Building Services

C: CO Clerk—Katrina Sigala
File

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(Rev. 12/2005)

PROJECT TITLE: USFS Phase II ZONE MAP/DRG. FILE # D-17 / 8003AA-1
DRB#: 1004556 EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: Tract 11-B Journal Center Phase 2, Unit 2

CITY ADDRESS: 4000 Washington

ENGINEERING FIRM: Bohannon Huston, Inc
ADDRESS: 7500 Jefferson NE
CITY, STATE: Albuquerque, NM

CONTACT: Glenn Broughton
PHONE: 823-1000
ZIP CODE: 87109

OWNER: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

ARCHITECT: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

SURVEYOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CONTRACTOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☒ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER CERT (TCL)
☐ ENGINEER CERT (DRB SITE PLAN)
☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM)
☒ CERTIFICATE OF OCCUPANCY (TEMP)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
☐ NO
☐ COPY PROVIDED

SUBMITTED BY: Glenn Broughton



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

CITY OF ALBUQUERQUE



July 25, 2011

Glenn Broughton, PE
BOHANNAN-HUSTON, INC.
7500 Jefferson Street NE Courtyard I
Albuquerque, NM 87109

Masthead
Re: USFS Phase II, 4000 Rutledge Rd NE,
Request for Permanent C.O. - Approved
Engineer's Stamp dated: 1-26-11 (D-17/D003AA1)
Certification dated: 06-28-11

Dear Mr. Steffen,

Based upon the information provided in the Certification received 07-23-11, the above referenced Certification is approved for a release of a Permanent Certificate of Occupancy by Hydrology.

If you have any questions, you can contact me at 924-3982.

Sincerely,

Timothy E. Sims
Timothy E. Sims,
Plan Checker—Hydrology Section
Development and Building Services

C: CO Clerk—Katrina Sigala
File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(Rev. 12/2005)

PROJECT TITLE: USFS Phase II ZONE MAP/DRG. FILE # D-17 / 103AM
DRB#: 1004556 EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: Tract 11-B Journal Center Phase 2, Unit 2
CITY ADDRESS: _____

ENGINEERING FIRM: Bohannon Huston, Inc
ADDRESS: 7500 Jefferson NE
CITY, STATE: Albuquerque, NM

CONTACT: Glenn Broughton
PHONE: 823-1000
ZIP CODE: 87109

OWNER: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

ARCHITECT: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

SURVEYOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CONTRACTOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☒ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT
☒ ENGINEER CERT (TCL)
☐ ENGINEER CERT (DRB SITE PLAN)
☐ OTHER (SPECIFY) _____

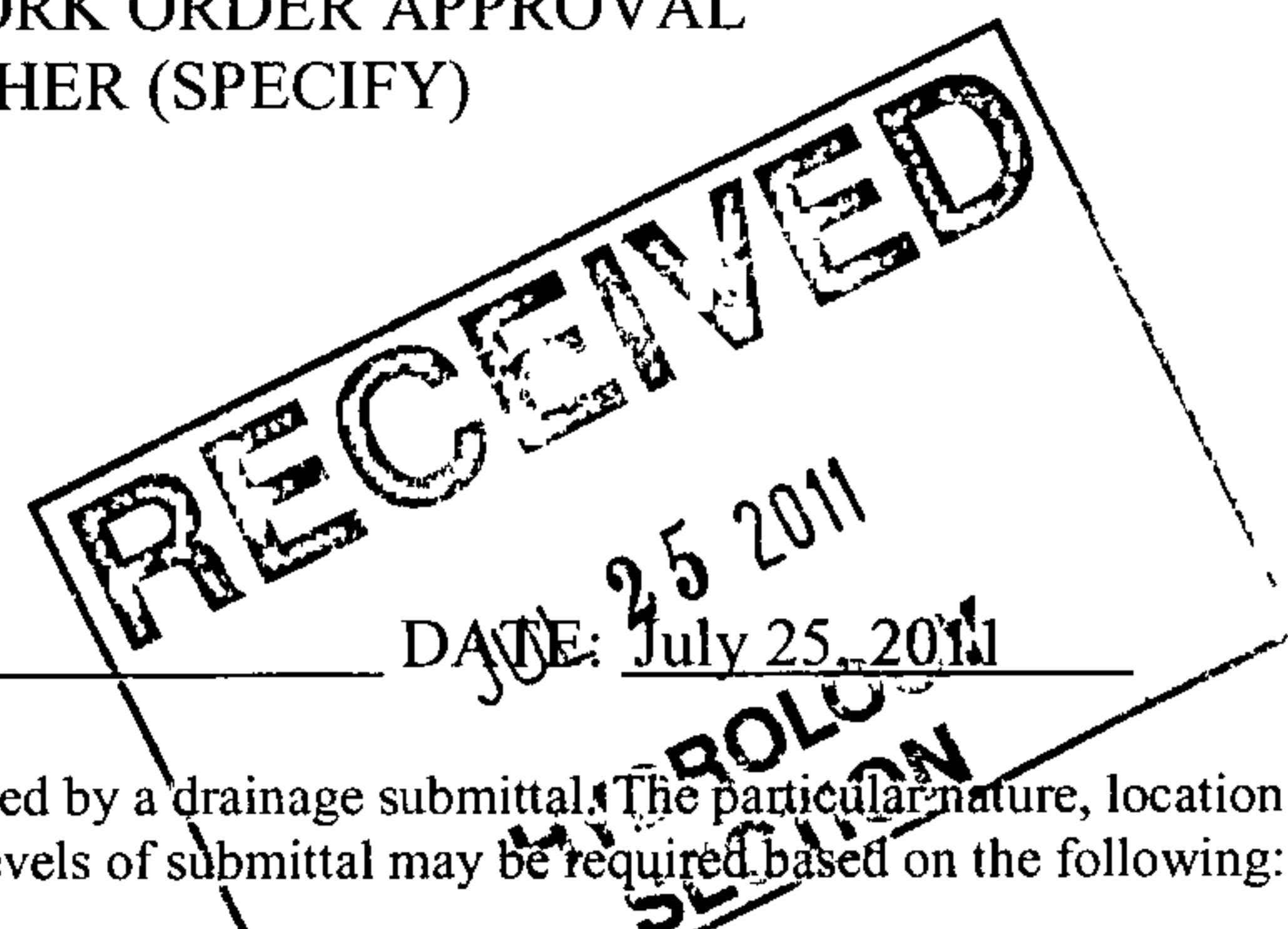
CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TEMP)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
☐ NO
☐ COPY PROVIDED

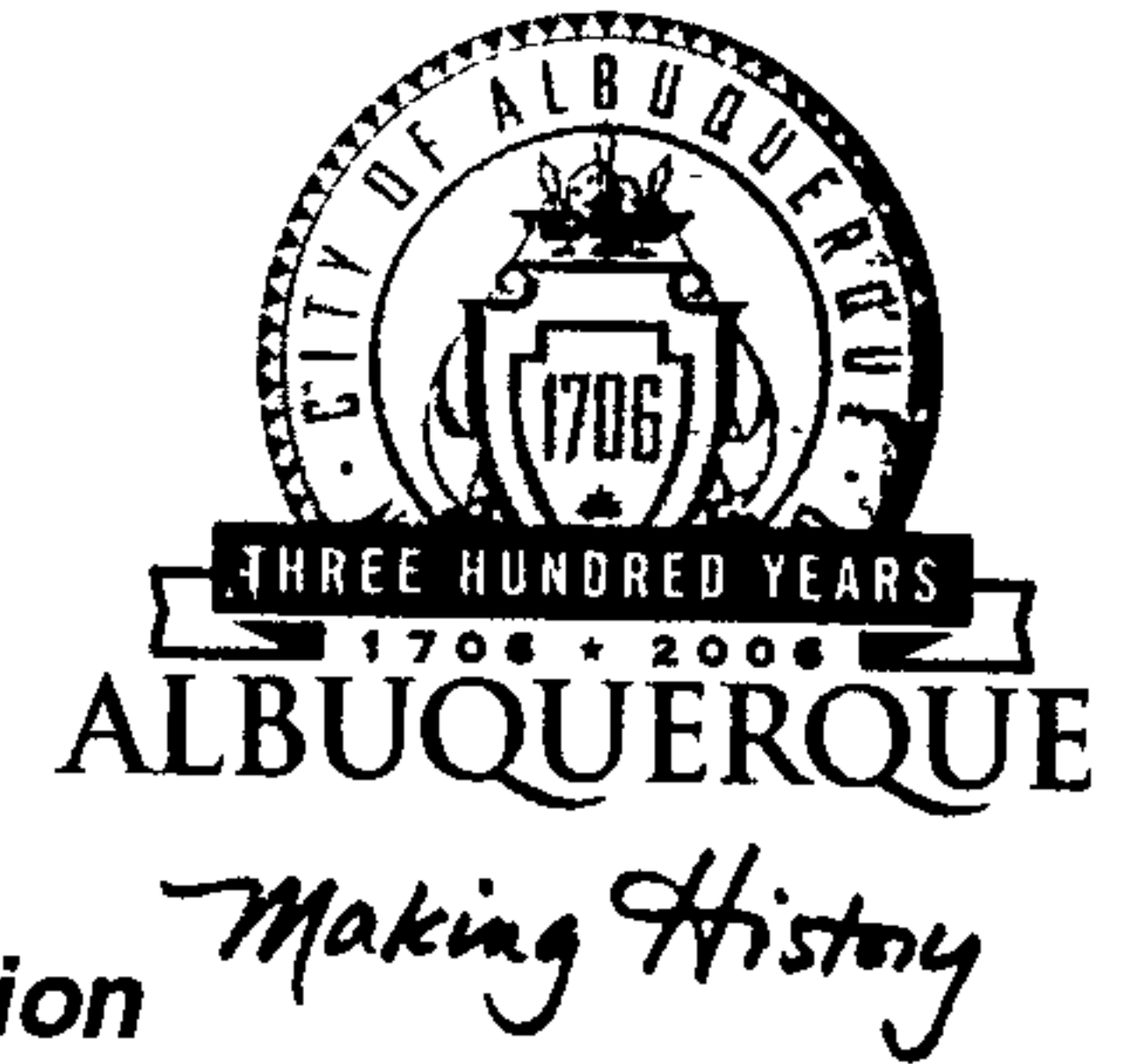
SUBMITTED BY: Glenn Broughton



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services Section**

April 25, 2006

Mr. Bruce Stidworthy, PE
BOHANNAN-HUSTON, INC.
7500 Jefferson St. NE – Courtyard 1
Albuquerque, NM 87109

Re: Certification Submittal for Final Building Certificate of Occupancy for
U.S. FOREST SERVICE ALBUQUERQUE SERVICE CENTER,
[D-17 / D3AA1]
3901 Rutledge Road NE
Engineer's Stamp Dated 04/24/06

P.O. Box 1293

Dear Mr. Stidworthy:

Albuquerque

The TCL / Letter of Certification submitted on April 24, 2006 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to the Building and Safety Section.

New Mexico 87103

Sincerely,

www.cabq.gov

Wilfred Gallegos, P.E.
Traffic Engineer
Development and Building Services
Planning Department

c: Gloria Saavedra
Engineer
Hydrology file
CO Clerk

CITY OF ALBUQUERQUE



~~"CORRECTED ADDRESS FROM 3901 RUTLEDGE RD. NE 1706-3901"~~
~~MASTHEAD ST. NE 7.04-28-2006"~~ ALBUQUERQUE

Making History

**Planning Department
Transportation Development Services Section**

April 25, 2006

Mr. Bruce Stidworthy, PE
BOHANNAN-HUSTON, INC.
7500 Jefferson St. NE – Courtyard 1
Albuquerque, NM 87109

Re: Certification Submittal for Final Building Certificate of Occupancy for
U.S. FOREST SERVICE ALBUQUERQUE SERVICE CENTER,
[D-17 / D3AA1]
3900 MASTHEAD STREET NE
Engineer's Stamp Dated 04/24/06

P.O. Box 1293

Dear Mr. Stidworthy:

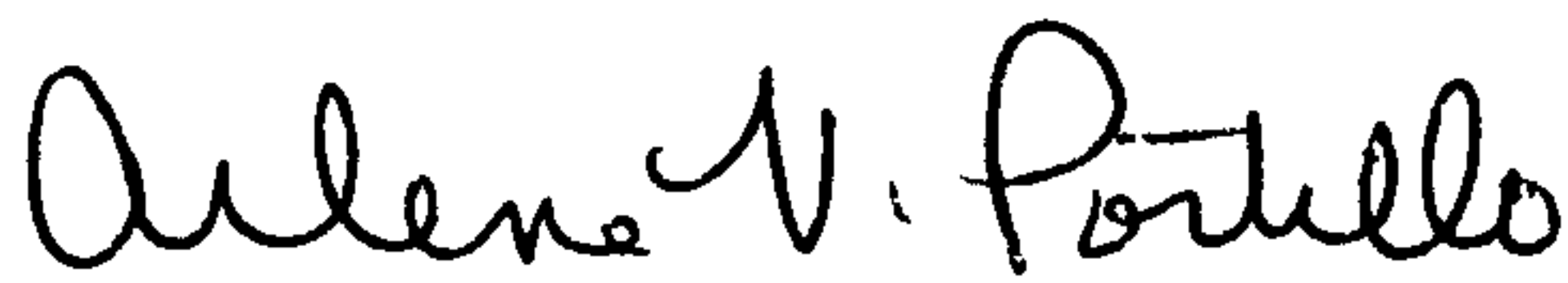
Albuquerque

The TCL / Letter of Certification submitted on April 24, 2006 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to the Building and Safety Section.

New Mexico 87103

Sincerely,

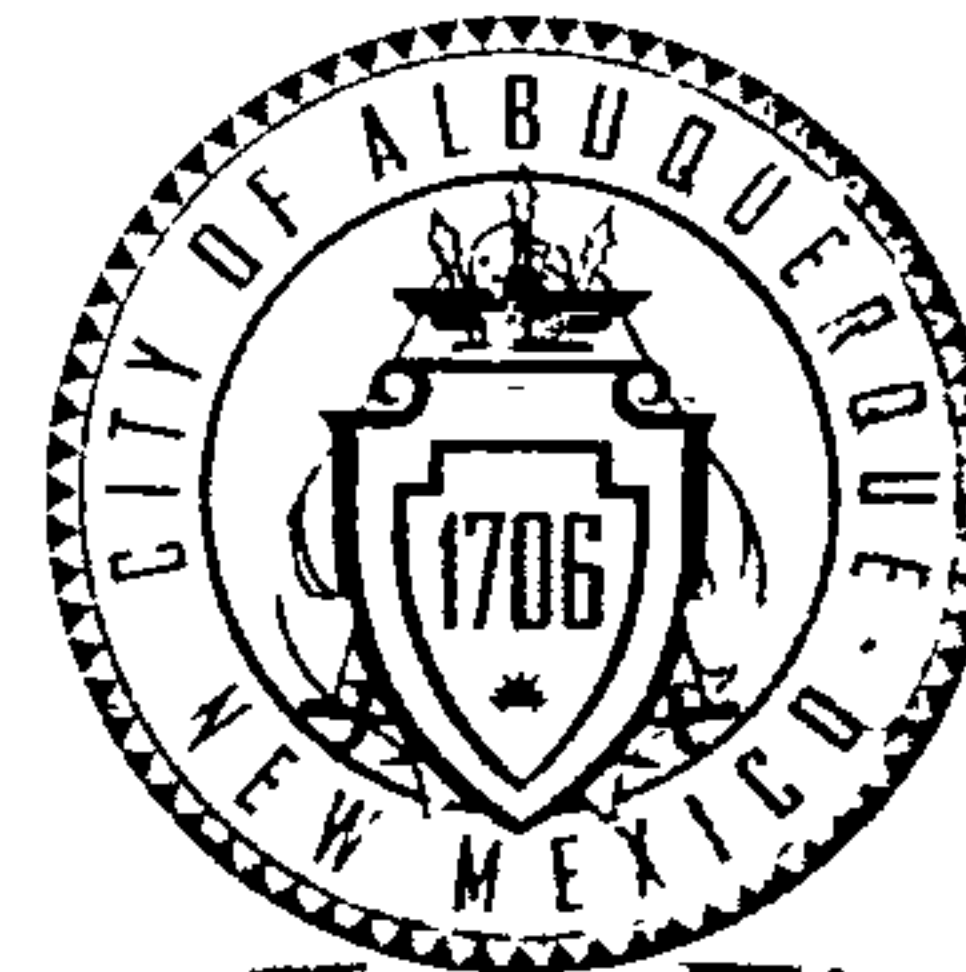
www.cabq.gov

for 
Wilfred Gallegos, P.E.
Traffic Engineer

Development and Building Services
Planning Department

c: Gloria Saavedra
Engineer
Hydrology file
CO Clerk

CITY OF ALBUQUERQUE



July 25, 2011

Glenn S. Broughton P.E.
Bohannon Huston
Courtyard I
7500 Jefferson St. NE
Albuquerque, NM 87109-4335

Re: **USFS PHASE II, 4000 ~~Battle~~ Rd. NE**

Permanent Certificate of Occupancy – Transportation Development

DRB Site Plan Project 1004556 (D17/D0003AA1)

Certification dated 07-25-11

Dear Mr. Broughton,

Based upon the information provided in your submittal received 07-25-11, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, you can contact me at 924-3630

Sincerely,

Nilo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer, Planning Dept.
Development and Building Services

C: -- CO Clerk
File

DRB 1004556

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(Rev. 12/2005)

SHTS C1.0
C1-1

PROJECT TITLE: USFS Phase II ZONE MAP/DRG. FILE # D-17 /D003AA-1
DRB#: 1004556 EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: Tract 11-B Journal Center Phase 2, Unit 2
CITY ADDRESS: _____

ENGINEERING FIRM: Bohannon Huston, Inc
ADDRESS: 7500 Jefferson NE
CITY, STATE: Albuquerque, NM

CONTACT: Glenn Broughton
PHONE: 823-1000
ZIP CODE: 87109

OWNER: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

ARCHITECT: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

SURVEYOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CONTRACTOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☒ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT
- ☒ ENGINEER CERT (TCL)
- ☐ ENGINEER CERT (DRB SITE PLAN)
- ☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY) _____

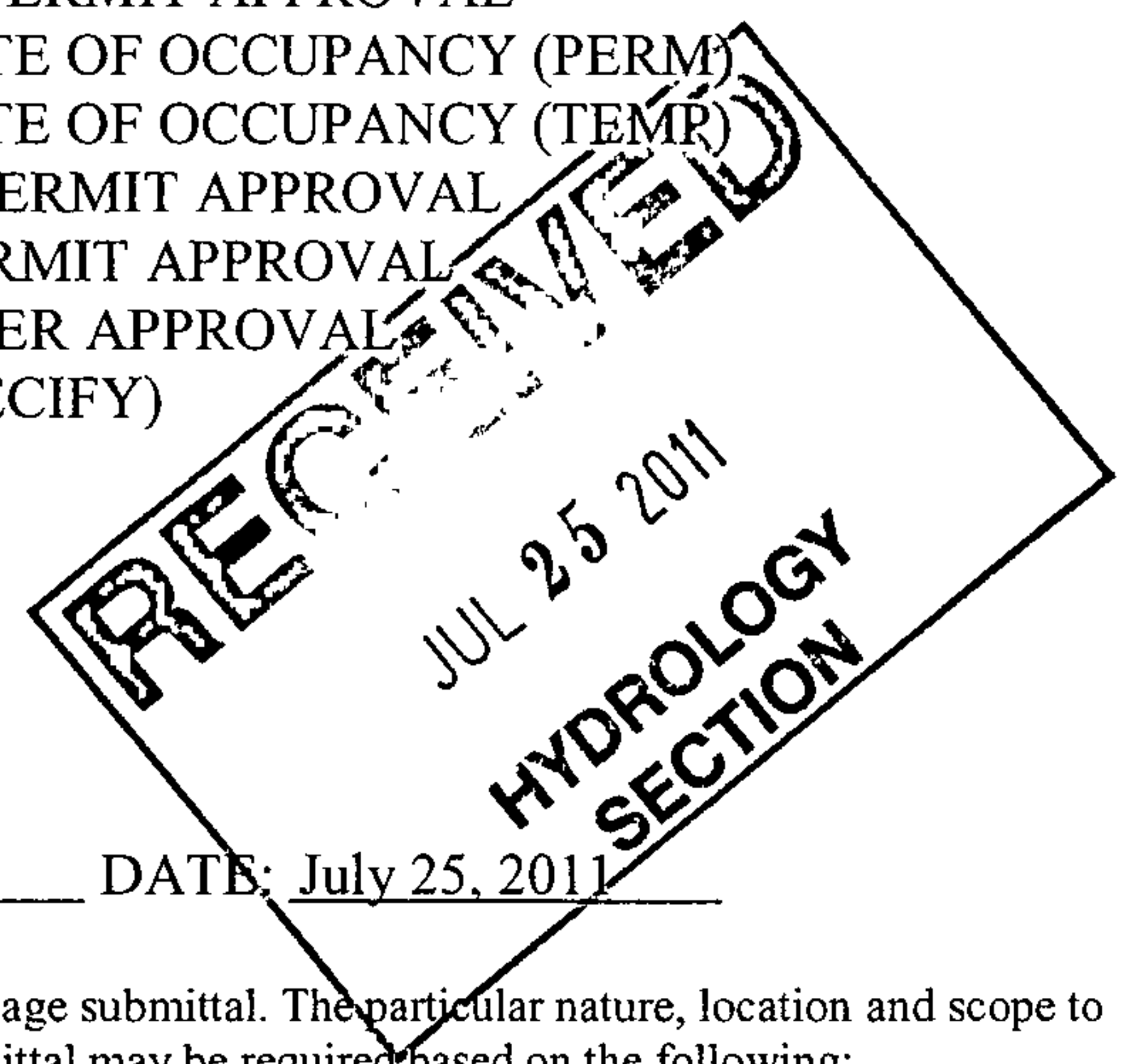
WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED

SUBMITTED BY: Glenn Broughton DATE: July 25, 2011

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



July 25, 2011

Mr. Nilo Salgado
City of Albuquerque
600 Second Street NW
2nd Floor West
Albuquerque, NM 87102

Re: USFS Phase II Traffic Circulation Layout Certification

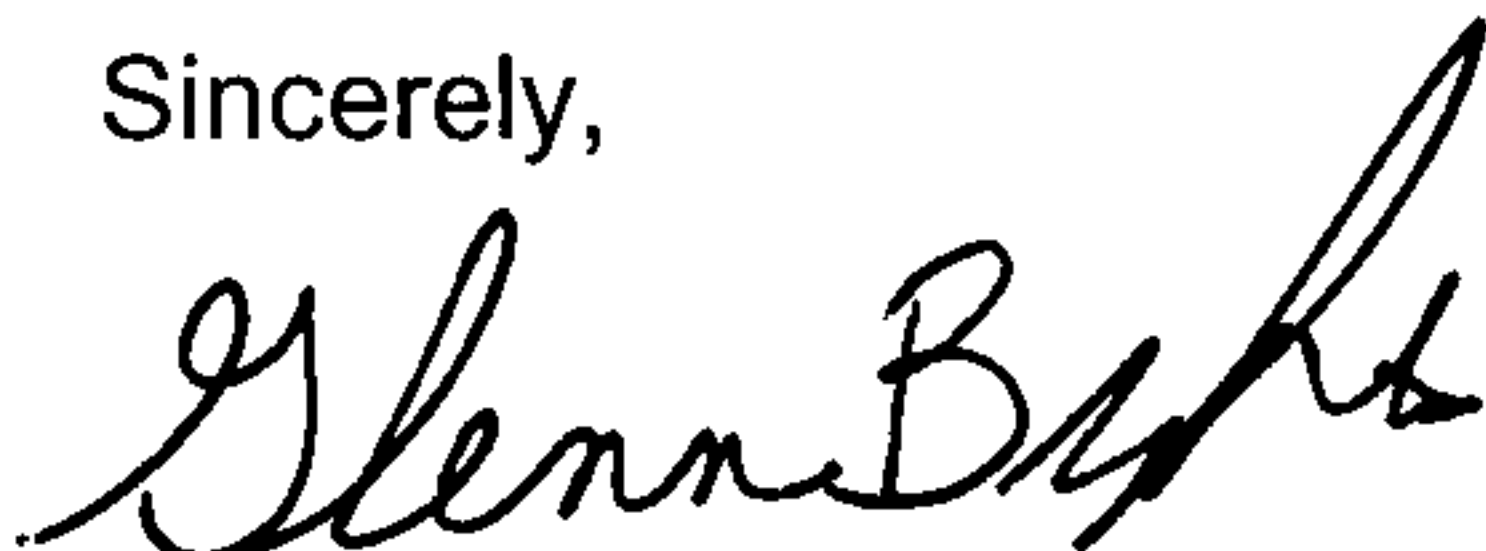
Dear Nilo:

I, Glenn Broughton, NMPE 14171, of the firm Bohannon Huston, Inc., hereby certify that this project has been constructed in substantial compliance with and in accordance with the design intent of the approved Amended Site Plan dated April 29, 2011. I further certify that I have personally visited the project site on July 23, 2011 and have determined by visual inspection that the approved amended site plan dated April 29, 2011 is representative of actual site conditions and is true and correct to the best of my knowledge and belief.

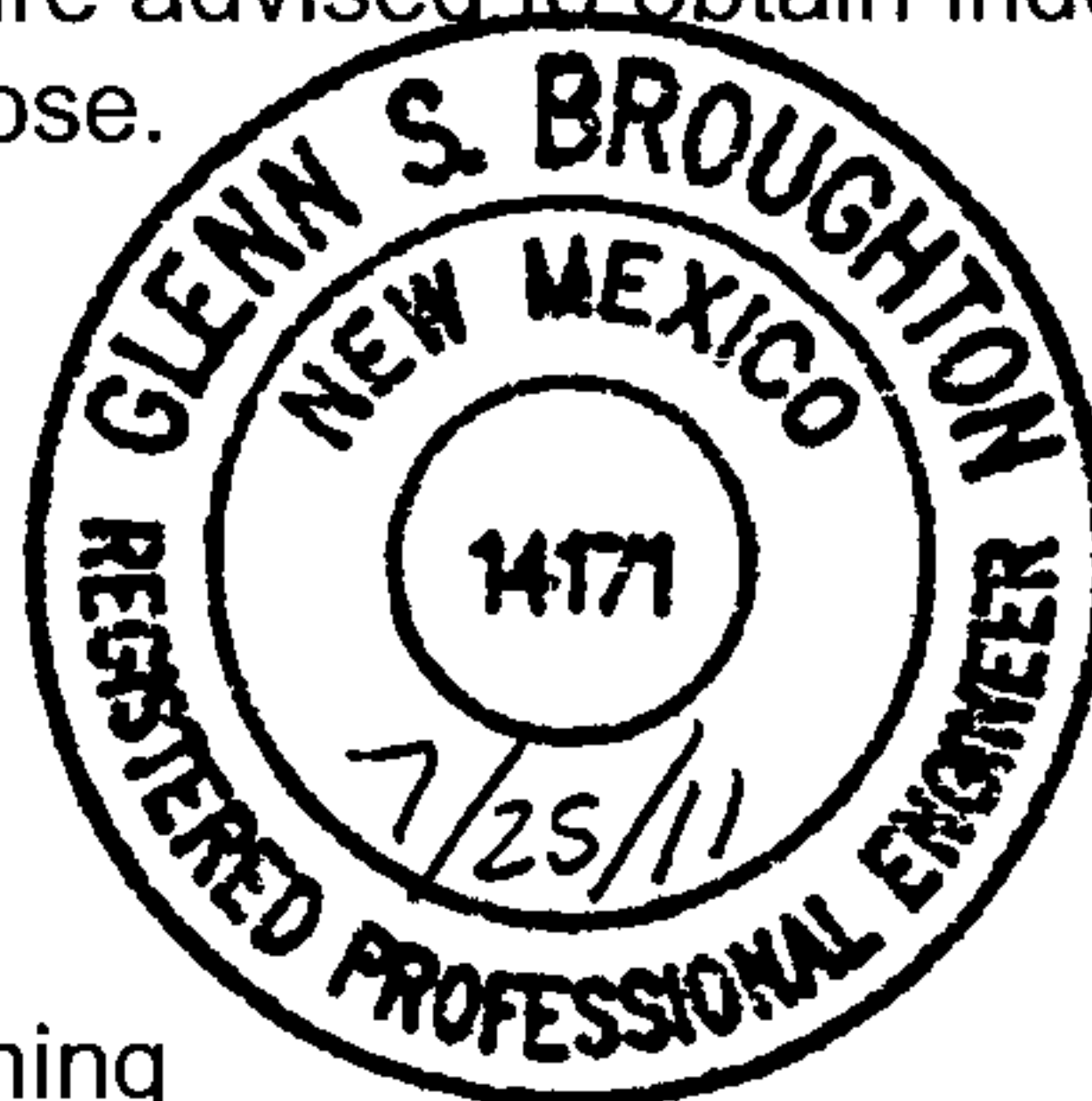
This certification is submitted in support of a request for permanent certificate of occupancy.

The record information presented here on is not necessarily complete and intended only to verify substantial compliance of the traffic circulation layout aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Sincerely,



Glenn S. Broughton, P.E.
Project Manager
Community Development & Planning



GSB/tms
Enclosure





DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(Rev. 12/2005)

PROJECT TITLE: USFS Phase II ZONE MAP/DRG. FILE # D-17 10034A1
DRB#: 1004556 EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: Tract 11-B Journal Center Phase 2, Unit 2
CITY ADDRESS: 4000 Masthead NE

ENGINEERING FIRM: Bohannon Huston, Inc
ADDRESS: 7500 Jefferson NE
CITY, STATE: Albuquerque, NM

CONTACT: Glenn Broughton
PHONE: 823-1000
ZIP CODE: 87109

OWNER: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

ARCHITECT: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

SURVEYOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CONTRACTOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT
☒ ENGINEER CERT (TCL)
☐ ENGINEER CERT (DRB SITE PLAN)
☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:

☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM)
☒ CERTIFICATE OF OCCUPANCY (TEMP)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:

☐ YES
☐ NO
☐ COPY PROVIDED

06-29-11
RD approved 90 day temp
-verbal

JUN 29 2011

HYDROLOGY
SECTION

SUBMITTED BY: Glenn Broughton DATE: June 29, 2011

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

~~###~~
GLEN.

BROUGHTON

BHI

B-17/D 003A1

L-798-7872

Note (26) Wants to change
this from 2412

Courtyard I
7500 Jefferson St. NE
Albuquerque, NM
87109-4335
www.bhinc.com
voice: 505.823.1000
facsimile: 505.798.7988
toll free: 800.877.5332

CLIENT/COURIER TRANSMITTAL

To: Mr. Nilo Salgado
City of Albuquerque
600 Second Street NW
2nd Floor West
Albuquerque, NM 87102

Requested by: Glenn Broughton

Date: June 29, 2011

Time Due: ☐ This A.M.
☒ This P.M.
☐ Rush _____
☐ By Tomorrow

Phone:

Job No.: 20110060

Job Name: USFS Phase II

DELIVERY VIA

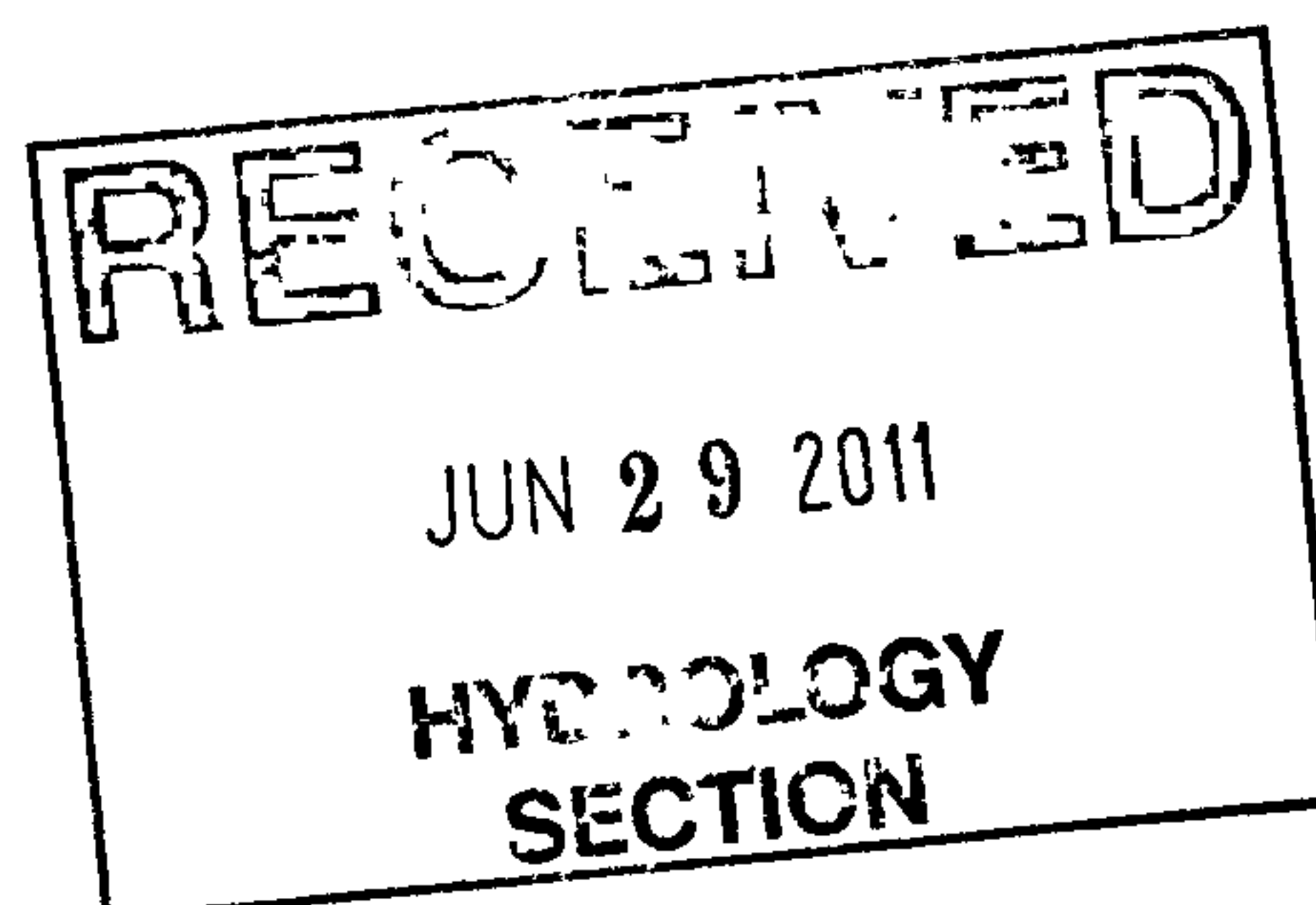
☒ Courier ☐ Federal Express
☐ Mail ☐ UPS
☐ Other

PICK UP

Item: _____

<u>ITEM NO.</u>	<u>QUANTITY</u>	<u>DESCRIPTION</u>
1	1	Traffic Circulation Layout Certification letter
2	1	Site Plan

COMMENTS / INSTRUCTIONS



REC'D BY: _____ DATE: _____ TIME: _____

June 29, 2011

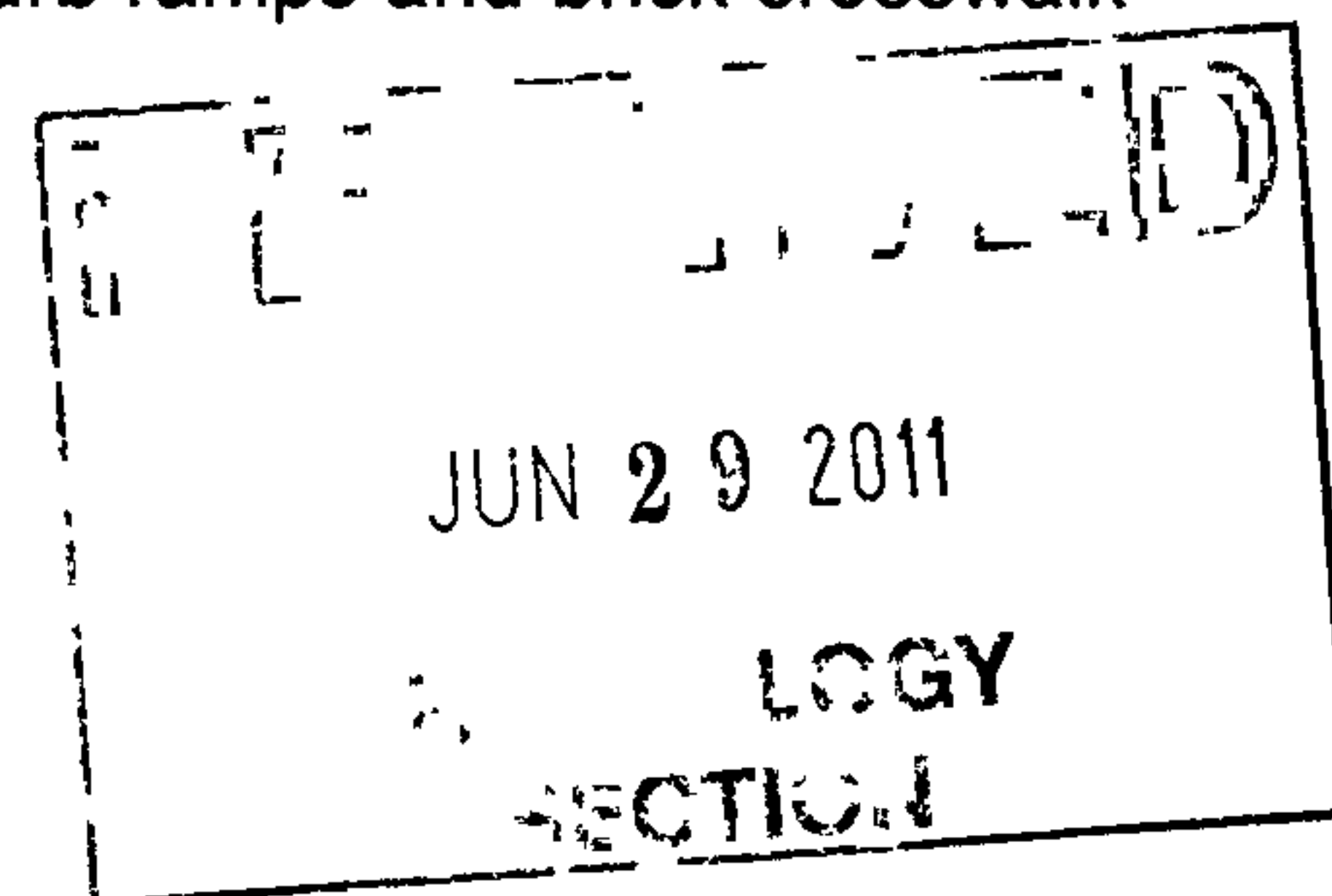
Mr. Nilo Salgado
City of Albuquerque
600 Second Street NW
2nd Floor West
Albuquerque, NM 87102

Re: USFS Phase II Traffic Circulation Layout Certification

Dear Nilo:

I, Glenn Broughton, NMPE 14171, of the firm Bohannon Huston, Inc., hereby certify that this project has been constructed in substantial compliance with and in accordance with the design intent of the approved Amended Site Plan dated April 29, 2011. I further certify that I have personally visited the project site on June 29, 2011 and have determined by visual inspection that the data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief with the exception of the following items noted below that are incomplete. For reference the item number listed below corresponds with the number sequence on the enclosed site plan:

1. Install monument sign
2. Install curb ramp and sidewalk connection to existing public sidewalk
3. Install Fire Lane striping on curb
4. Install 6' wide pigmented concrete crosswalk and curb ramps on west side of drive isle
5. Install 6' long bench
6. Install 6' long bench
7. Install curb ramp
8. Install Fire Lane striping on curb
9. Install bike racks
10. Install asphalt pavement within hatched area and curb on north side of parking area
11. Install pavement markings and signage
12. Install pavement marking for word 'COMPACT'
- 13. Install curb, paving, pavement markings, curb ramps and brick crosswalk
14. Install light pole
15. Install raised planter / seat wall
16. Install Fire Lane striping on curb
17. Install motorcycle parking signs
18. Install motorcycle parking signs
19. Install Fire Lane striping on curb



Engineering ▲

Spatial Data ▲

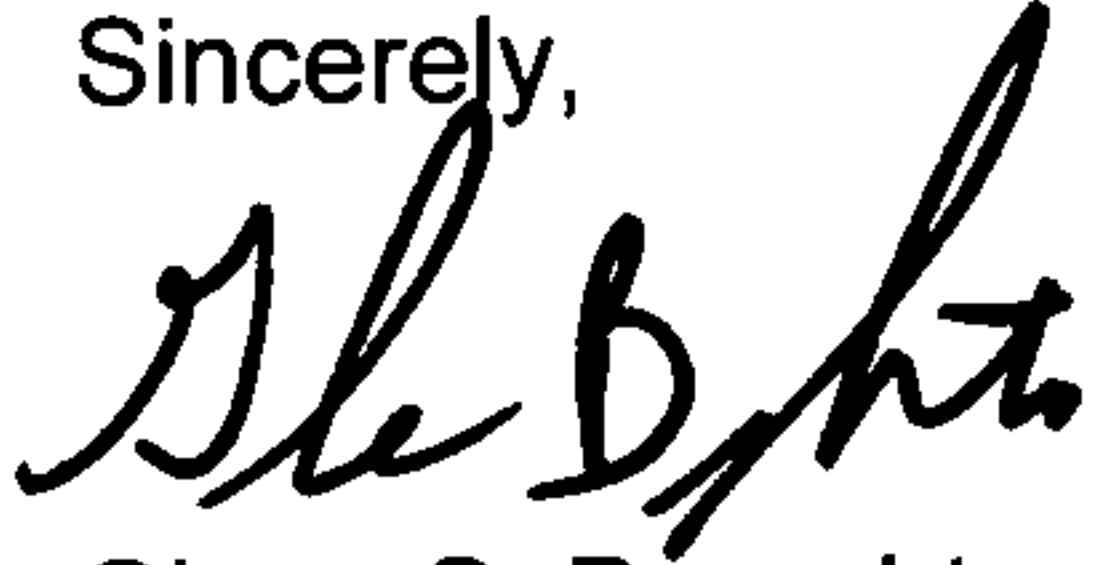
Advanced Technologies ▲

Mr. Nilo Salgado
City of Albuquerque
June 29, 2011
Page 2

This certification is submitted in support of a request for temporary certificate of occupancy.

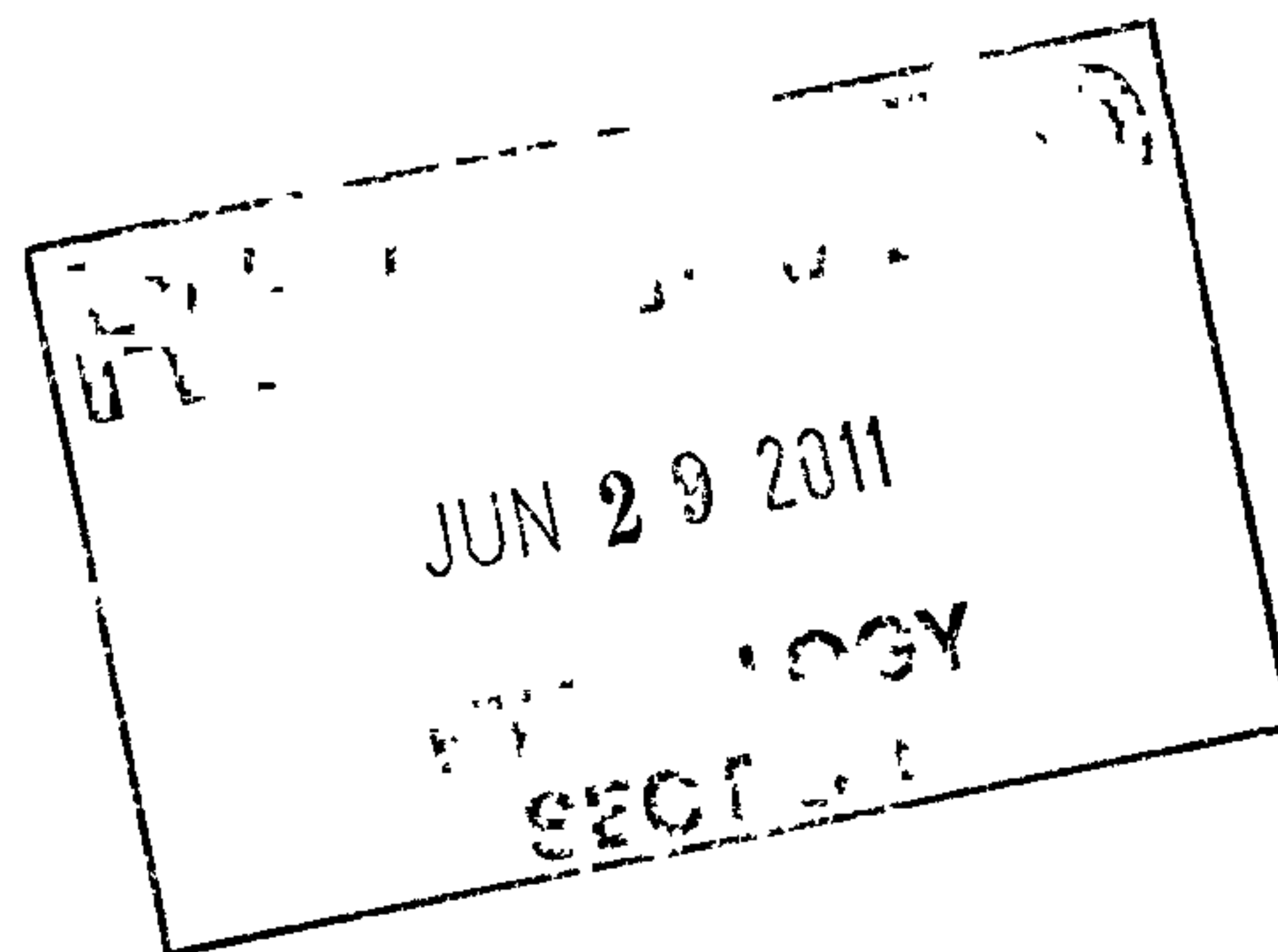
The record information presented here on is not necessarily complete and intended only to verify substantial compliance of the traffic circulation layout aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Sincerely,

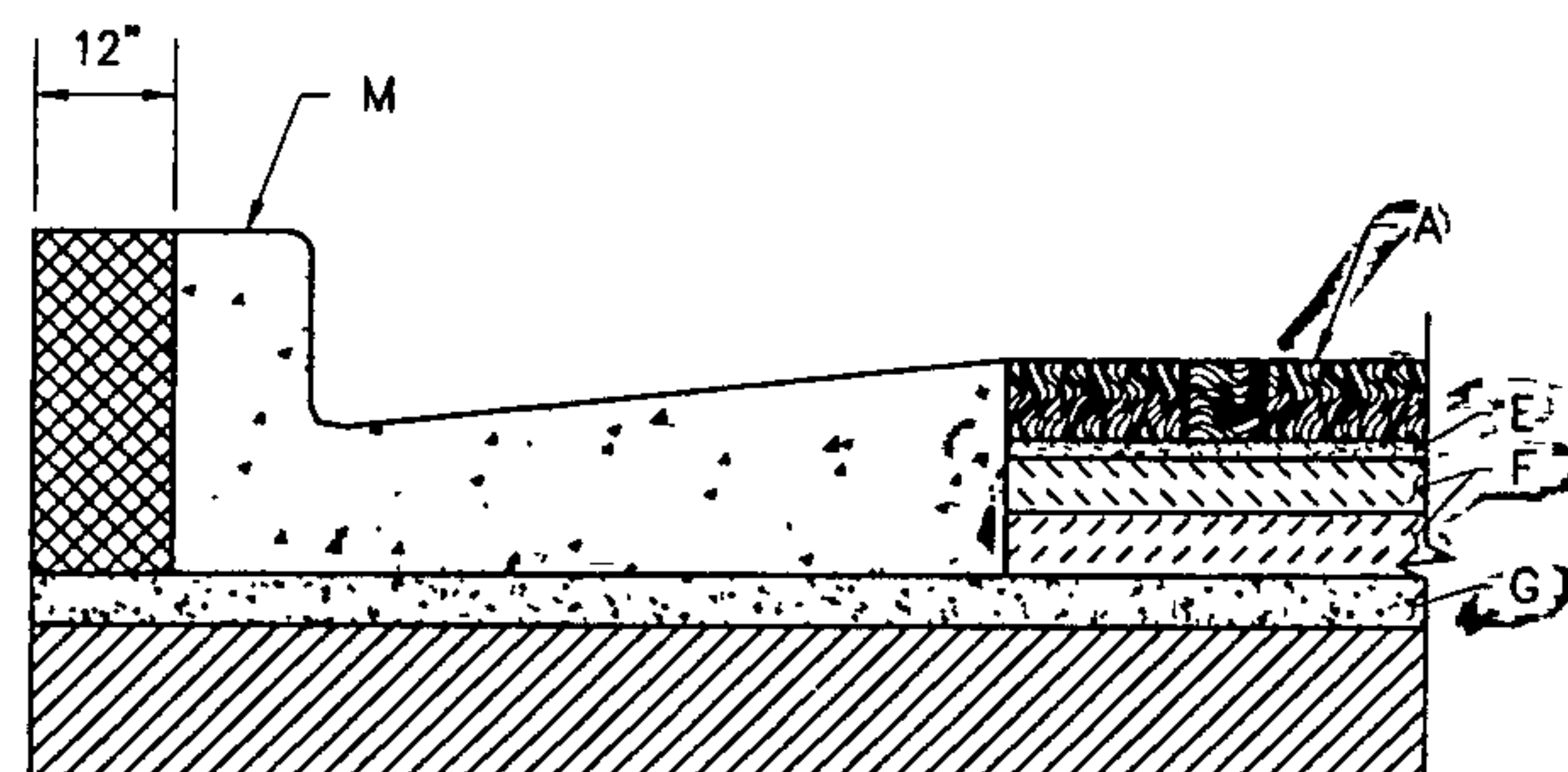
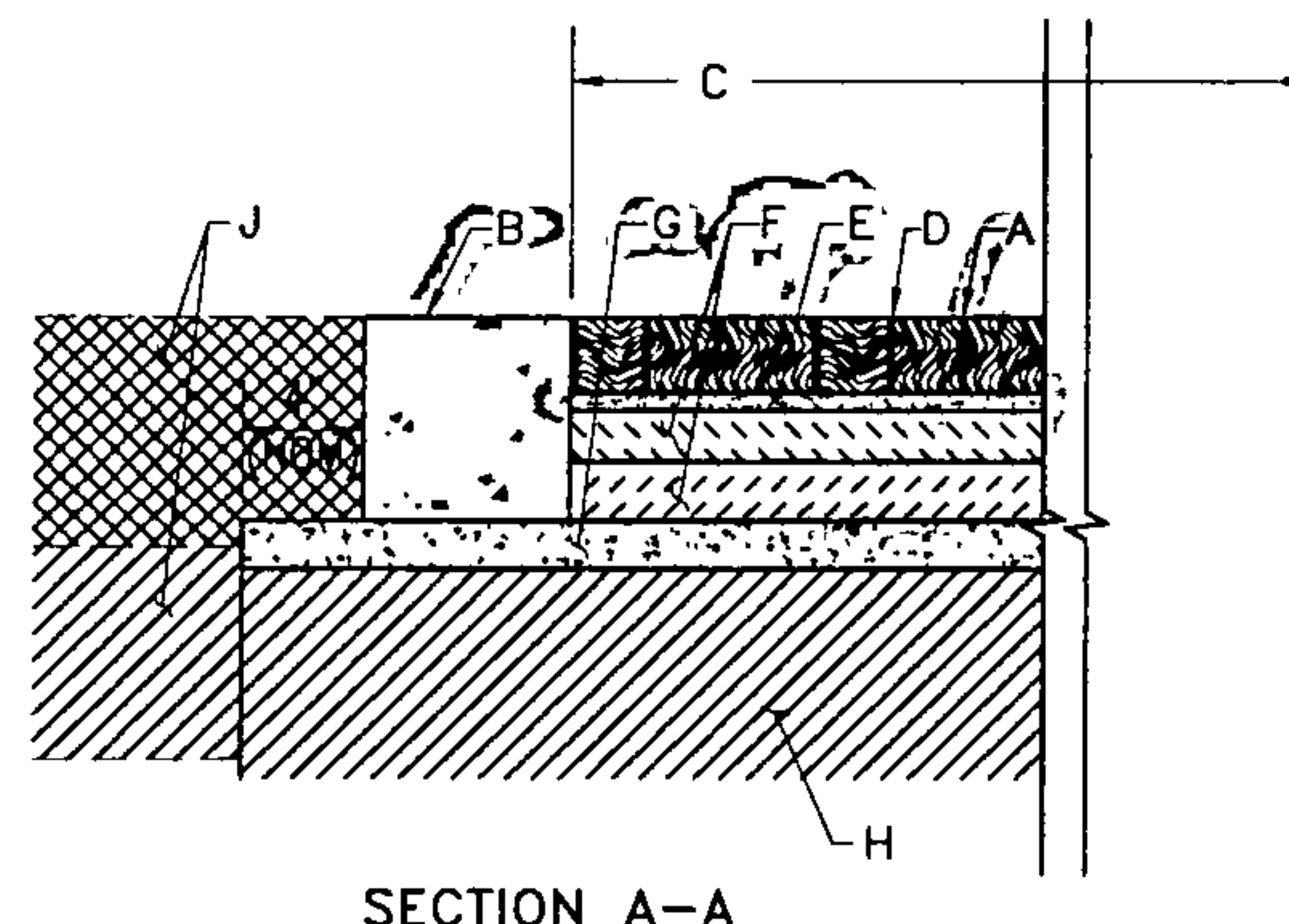
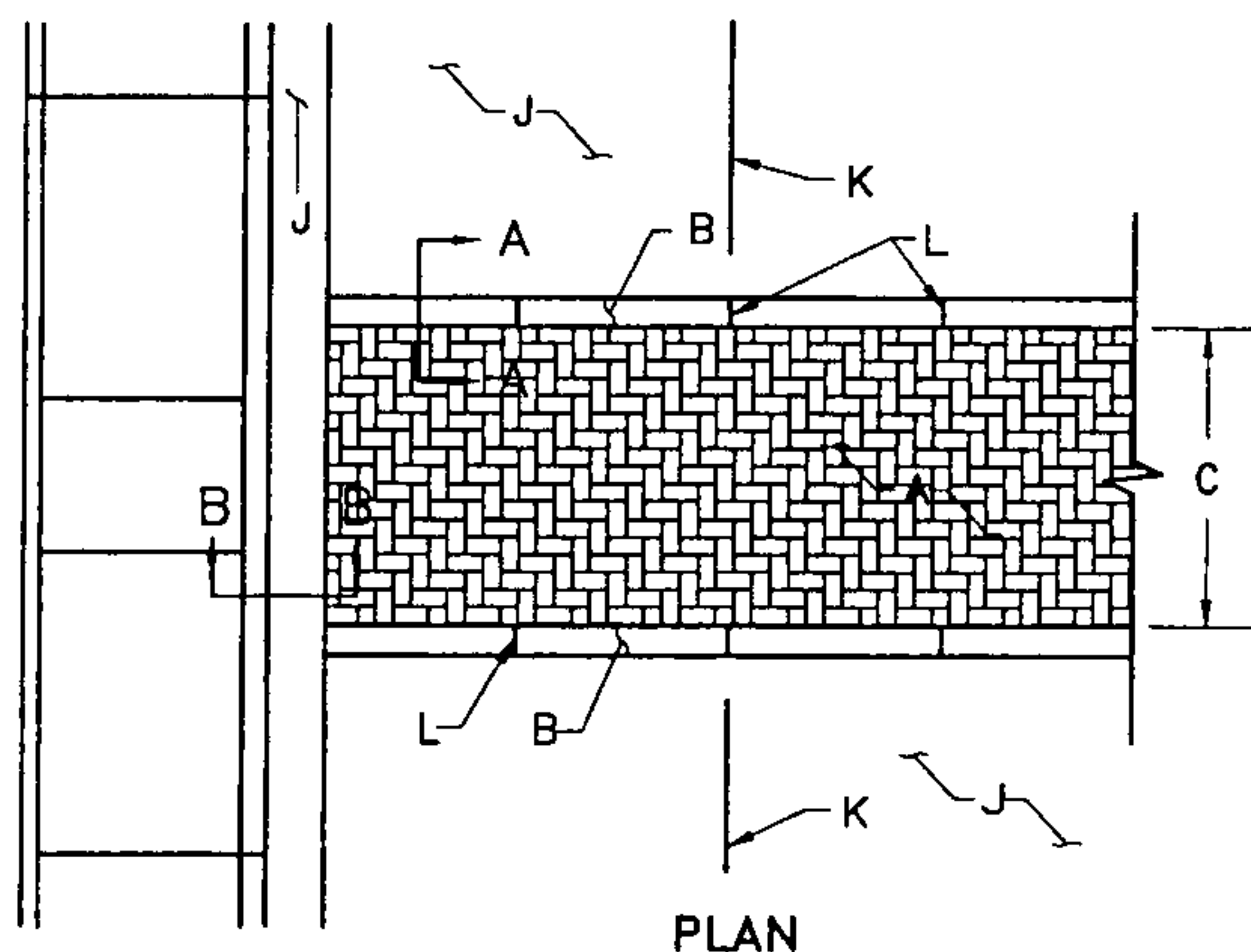


Glenn S. Broughton, P.E.
Project Manager
Community Development & Planning

GSB/tms
Enclosure







CONSTRUCTION NOTES:

- A. 4x8" (NOM) x 3 1/8" CONCRETE BRICK PAVERS, $f'_m=8000$ psi, COMPLYING WITH REQUIREMENTS OF ASTM C936, STANDARD SPECIFICATIONS FOR SOLID CONCRETE INTERLOCKING PAVEMENT UNITS, COLOR AS SPECIFIED BY THE ENGINEER.
- B. PORTLAND CEMENT CONCRETE EDGE RESTRAINT CURB, $h=8"$ x $b=14"$ x $l=6"$ (NOM) BETWEEN CONTROL JOINTS.
- C. WIDTH OF CROSSWALK BETWEEN RESTRAINT CURBS SHALL BE ADJUSTED SO THAT THE TRIMMING OF CONCRETE BRICK PAVERS WILL NOT BE REQUIRED ADJACENT TO RESTRAINT CURBS.
- D. JOINTS BETWEEN BRICKS SHALL BE APPROX. 1/16" TO 1/8" TO ALLOW FOR SAND FILLER.
- E. BEDDING SAND 1" (NOM) MIN.
- F. 2-2" (NOM) LIFTS, TYPE C OR S-IV ASPHALT-CONCRETE (SECTIONS 116, 336)
- G. 1-2" (NOM) LIFT, TYPE B OR S-III ASPHALT CONCRETE (SECTIONS 116, 336)
- H. 12" COMPACTED SUBGRADE, 95% COMPACTION.
- I. STREET PAVEMENT SECTION.
- J. TRAFFIC LANE LINE (TYP).
- K. CONTROL JOINT.
- L. CURB & GUTTER.
- M. GAPS OCCURRING AT THE INTERFACE BETWEEN THE CONCRETE BRICK PAVERS AND ADJACENT CURB & GUTTER AND OTHER MATERIALS SHALL BE FILLED WITH SAW CUT PAVERS WITH A MIN. DIMENSION OF THE PAVEMENT NOT LESS THAN 2". GAPS LESS THAN 3/8" SHALL BE FILLED WITH SAND.

GENERAL NOTES

1. CONCRETE PAVERS SHALL BE INSTALLED IN A MODULAR 90° HERRINGBONE PATTERN.
2. EDGE RESTRAINT CURB SHALL HAVE CONTROL JOINTS INSTALLED AT LANE LINES AND THE VENTER OF EACH TRAFFIC LANE CROSSED. IF TRAFFIC LANES ARE NOT DEFINED OF A NON-STANDARD WIDTH CONTROL JOINTS SHALL BE EVENLY SPACED THE LENGTH OF THE RESTRAINING CURB AT 6' (NOM) INTERVALS.
3. BEDDING AND JOINT SAND SHALL BE DRY, WASHED CONCRETE SAND COMPLYING WITH REQUIREMENTS OF ASTM C33, STANDARD SPECIFICATIONS FOR CONCRETE AGGREGATE.
4. WIDTH OF CROSSWALK SHALL BE ADJUSTED SO THAT NO TRIMMING OF CONCRETE PAVERS IS REQUIRED BETWEEN RESTRAINT CURBS.
5. OTHER TYPES OF ACCEPTABLE CONTAINMENT WALLS MAY BE USED WHEN DETAILED ON THE CONSTRUCTION PLANS AND APPROVED BY THE ENGINEER.
6. INSTALLATION PROCESS:
 1. PLACE DRY CONCRETE SAND ON COMPACTED ASPHALT CONCRETE AND SCREED TO A UNIFORM DEPTH NOT LESS THAN 1".
 2. PLACE BRICK PAVERS ON THE CONCRETE SAND IN PATTERN AND JOINT WIDTH(S) SPECIFIED.
 3. VIBRATE PAVERS INTO THE SAND BEDDING WITH A PLATE VIBRATOR. A MINIMUM OF TWO PASSES OF THE VIBRATOR SHALL BE MADE ACROSS THE BRICK SURFACE. VIBRATOR SHALL BE CAPABLE OF 3,000 TO 5,000 LBS. CENTRIFUGAL COMPACTION FORCE, OPERATED AT A FREQUENCY OF 80 TO 90 HERTZ.
 4. SWEEP FILL DRY CONCRETE SAND INTO THE JOINTS AND VIBRATE ACROSS THE BRICK PAVEMENT SURFACE. REPEAT SAND SWEEP FILL UNTIL ALL JOINTS WILL NO LONGER TAKE SAND UNDER THE VIBRATOR ACTION.
 5. VIBRATION SHALL NOT OCCUR WITHIN 3 FEET OF AN UNRESTRAINED EDGE OR LAYING FACES OF THE BRICK SURFACES. ALL BRICK PAVERS PLACED 3 FEET OR GREATER FROM THE LAYING FACE SHALL BE COMPACTED WITH SAND-FILLED JOINTS AT THE COMPLETION OF THE DAY'S WORK. COVER THE REMAINING UNCOMPACTED AREA EXPOSED SAND BEDDING WITH WATERPROOF COVERING.
 6. SWEEP OFF EXCESS SAND WHEN COMPACTION IS COMPLETED.
 7. FINISH SURFACE CONSTRUCTION SHALL NOT DEVIATE FROM THE SPECIFIED ELEVATION BY MORE THAN 3/8" UNDER A 10-FT STRAIGHTEDGE. THE FINISHED ELEVATION OF PAVERS SHALL BE 1/8" TO 1/4" ABOVE ADJACENT DRAINAGE INLETS, EDGE RESTRAINTS, PAVEMENT, AND TOE OF GUTTER PANS, EXCEPT WHERE ADJACENT TO AN ACCESS RAMP WHERE THE PAVEMENT SHALL BE FLUSH TO 1/8" ABOVE THE TOE OF CURB.

REVISIONS	CITY OF ALBUQUERQUE
	PAVING
	STREET SECTION USING CONCRETE PAVERS
	DWG. 2412 JANUARY 2003

ALTERNATIVE:

① BRICK OVER
8" concrete
will work

(per discussion 3:40pm)
w/ Bruce S. & 7/18/11
Glen Broughton

CITY OF ALBUQUERQUE



September 21, 2010

Glenn S. Broughton, P.E.
Bohannon Huston
7500 Jefferson NE
Albuquerque, NM 87109

Re: USFS Phase II Grading and Drainage Plan
Engineer's Stamp date 9-3-10 (D17/D003AA1)

Dear Mr. Broughton,

Based upon the information provided in your submittal received 9-3-10 and 9-21-10, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

If you have any questions, you can contact me at 924-3695.

Sincerely,

Curtis A. Cherne, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

C: file

CITY OF ALBUQUERQUE



June 21, 2010

Glenn S. Broughton, P.E.
Bohannon Huston
7500 Jefferson NE
Albuquerque, NM 87109

Re: USFS Phase II Grading and Drainage Plan
Engineer's Stamp date 6-17-10 (D17/D003AA1)

Dear Mr. Broughton,

Based upon the information provided in your submittal received 6-18-10, the above referenced plan is approved for Site Development Plan for Building Permit action by the DRB, Rough Grading Permit and Foundation Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

This project requires a National Pollutant Discharge Elimination System (NPDES) permit for storm water discharge and a Topsoil Disturbance Permit since it is disturbing $\frac{3}{4}$ of an acre or more.

If you have any questions, you can contact me at 924-3695.

Sincerely,

Curtis A. Cherne, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: file
Kathy Verhage, DMD

CANCELLATION AND RELEASE OF AGREEMENT AND COVENANT

D17/D003AA7

THIS CANCELLATION AND RELEASE OF AGREEMENT AND COVENANT is made and entered into as of the 13th day of October, 2003, by the City of Albuquerque, ("the City").

WHEREAS, the City and Tiburon Investment Corporation entered into an Agreement and Covenant (the "Agreement") dated February 22, 2001. The Agreement was recorded August 2, 2001 in Book A-22 at page 8250 to 8250 as Document No. 2001089938 in the records of the Bernalillo County Clerks Office, New Mexico.

WHEREAS, all of the conditions prior to cancellation of the Agreement have been satisfied, and the parties wish to cancel the Agreement and Covenant.

THEREFORE, City of Albuquerque hereby cancels terminates and releases the Agreement and Covenant.

IN WITNESS WHEREOF, the undersigned has executed this Cancellation and Release of Agreement and Covenant as of the day and year first above written.

CITY OF ALBUQUERQUE
a municipal corporation

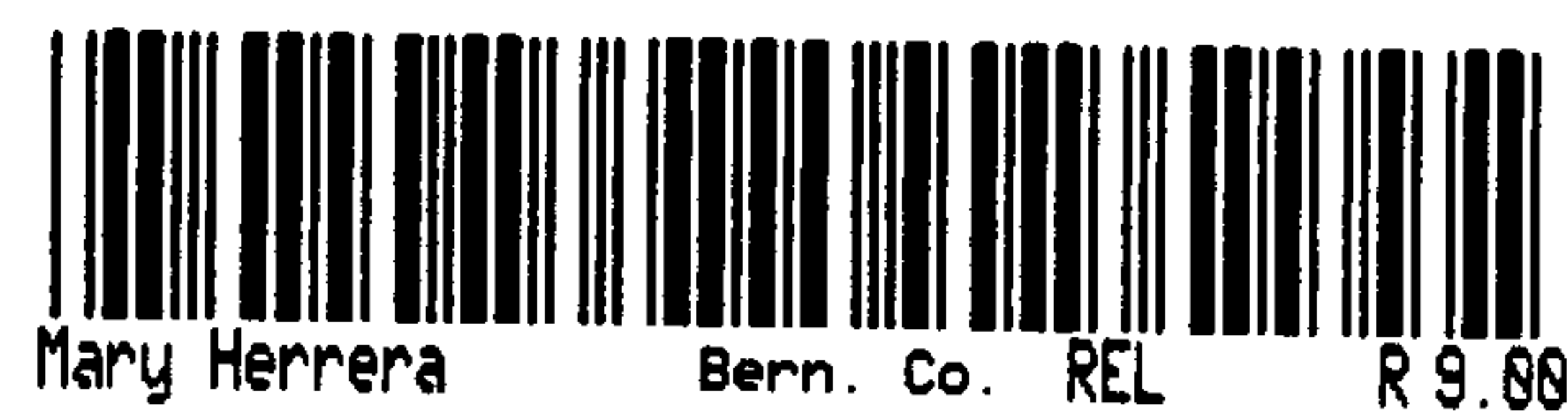
By: [Signature] 10/13/03
Its: City Engineer 10/17/03 cf 10/8/03

STATE OF NEW MEXICO)
) ss.
COUNTY OF BERNALILLO)

This instrument was acknowledged before me on October 13, 2003 by Fred J. Aguirre, City Engineer, of the City of Albuquerque, a municipal corporation, on behalf of the corporation.

[Signature]
Notary Public

My Commission Expires:
11-15-2003



2003188832
5971863
Page: 1 of 1
10/14/2003 01:50P
Bk-A66 Pg-8438

CONTRACT CONTROL FORM

PRELIMINARY REVIEW

Contact Person Kathy Jaramillo
Phone No. 924-3996

Project # 651781
CCN# 200100955
New or Ext. #

Type of Agreement: release of agreement & covenant

Description/Project Name: Journal Center, Phase 2

Planning Dept./Div.: Design Review

Developer: Tiburon Investment

Contract Amount \$ -0-

SIA Contract Period: 10/13/03 - closed

Contract Amount \$

SIA Contract Period:

Contract Amount \$

S/W Contract Period:

DRAFT CONTRACT:

Rec'd by Legal: Rejected/Returned to Dept.: /

Returned to Legal: / Approved: Initials:

FINANCIAL GUARANTY:

Letter of Credit No.: Date: Attached: Yes No. Initial

Other: Type Date: Attached: Yes No. Initial

FINAL CONTRACT REVIEW

APPROVALS REQUIRED:

	<u>Date Delivered</u>	<u>Returned to Dept.</u>	<u>Approved By</u>	<u>Approval Date</u>
Utility Div	<u>10/6/03</u>	<u>10/6/03</u>	<u>BUB</u>	<u>10/6/03</u>
Hydrology Div	<u>10/6/03</u>	<u>10/6/03</u>	<u>BUB</u>	<u>10/6/03</u>
Transportation Div	<u>10/7/03</u>	<u>10/7/03</u>	<u>Q</u>	<u>10/7/03</u>
DRC Chairman	<u>10/8/03</u>	<u>10/8/03</u>	<u>cf</u>	<u>10/8/03</u>
Legal Dept	<u>10/8/03</u>	<u>10/13/03</u>	<u>FA</u>	<u>10/13/03</u>
City Engineer	<u>10/8/03</u>	<u>10/13/03</u>	<u>FA</u>	<u>10/13/03</u>
PWD Director	<u> </u>	<u> </u>	<u> </u>	<u> </u>
Finance	<u> </u>	<u> </u>	<u> </u>	<u> </u>
City Clerk	<u> </u>	<u> </u>	<u> </u>	<u> </u>
CAO	<u> </u>	<u> </u>	<u> </u>	<u> </u>

DISTRIBUTION:

	<u>Date:</u>	<u>By:</u>
User Department.	<u>10/15/03</u>	<u>16</u>
Vendor	<u>10/17/03</u>	<u>JDL</u>
City Clerk	<u>10/17/03</u>	<u>JDL</u>
Treasury	<u> </u>	<u> </u>
Other: <u> </u>	<u> </u>	<u> </u>

ADDENDUM TO COVER PAGE

10/8/03

(Date)

TO: Kevin Curran, Assistant City Attorney, Legal Department

FROM: Project Administrator, Project Review Sec., PWD

SUBJECT: PROJECT TITLE: Journal Center, Phase 2 PROJECT # 651781

The attached documents have been review, approved, initialed and/or signed by the DRC Chairman and are submitted for your action as noted.

8/17/0

<u>ITEM</u>	<u>ACTION</u>		<u>Comments</u>
	<u>Review & Approval</u>	<u>Reference</u>	
Procedure "A".....	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>	_____
Procedure "B".....	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>	_____
Procedure "B" Modified Non Work Order.....	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>	_____
Procedure "C".....	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>	_____
Procedure "C" Modified.....	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>	_____
Special Agreement.....	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>	_____
Sidewalk Deferral Agreement.....	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>	_____
Amendment.....	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>	_____
Assignment.....	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>	_____
Financial Guarantee.....	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>	_____
Construction Paperwork:			
Contractors Proposal.....	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>	_____
Performance/Warranty Bonds.....	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>	_____
Labor/Material Bonds.....	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>	_____
Certificate of Insurance.....	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>	_____
Engineers Cost Estimate.....	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>	_____
Extension.....	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>	_____
Release/Agreement.....	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>	_____
Release/Financial Guarantee.....	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>	_____
Calling Notice.....	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>	_____
Letter of Commitment.....	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>	_____
Reduction Letter.....	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>	_____
License Agreement.....	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>	_____
Monitoring Well Permit.....	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>	_____
Agreement & Covenant..... <u>release</u>	<input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<input checked="" type="checkbox"/> <input type="checkbox"/>	_____
Drainage Covenant.....	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>	_____
Revocable Permit.....	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>	_____
Encroachment.....	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>	_____
Permanent Easement.....	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>	_____
Temporary Easement.....	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>	_____

Other:

Please Call Kathy at 3996 if you have any questions regarding the above or when the documents are ready to be picked up.

No. of Attachments (1)

1700

Scanned to DMD

651781

2/22/01

AGREEMENT AND COVENANT

This Agreement and Covenant, between the City of Albuquerque, New Mexico ("City") and TIBURON INVESTMENT CORPORATION, ("User") is made in Albuquerque, New Mexico and is entered into as of the date of recording this Agreement with the Bernalillo County Clerk.

1. Recital. The User is the owner of certain real property ("User's Property") located at WASHINGTON STREET AND WOLCOTT AVENUE N.E., in Albuquerque, New Mexico, and more particularly described as: (give legal description and filing information) TRACT 8A-1, JOURNAL CENTER PHASE 2, UNIT 1, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON March 15, 2001 IN VOLUME 2001C, FOLIO 84 AS DOCUMENT NO. 2001029156.

The City is the owner of certain real property, easement or public right-of-way ("City's Property") in the vicinity of, contiguous to, abutting or within User's Property, and more particularly described as: BLANKET DRAINAGE EASEMENT ON TRACT 8A-1, JOURNAL CENTER PHASE 2, UNIT 1, FILED IN THE OFFICE OF THE CLERK OF BERNALILLO COUNTY, NEW MEXICO ON March 15, 2001 IN VOLUME 2001C, FOLIO 84 AS DOCUMENT NO. 2001029156

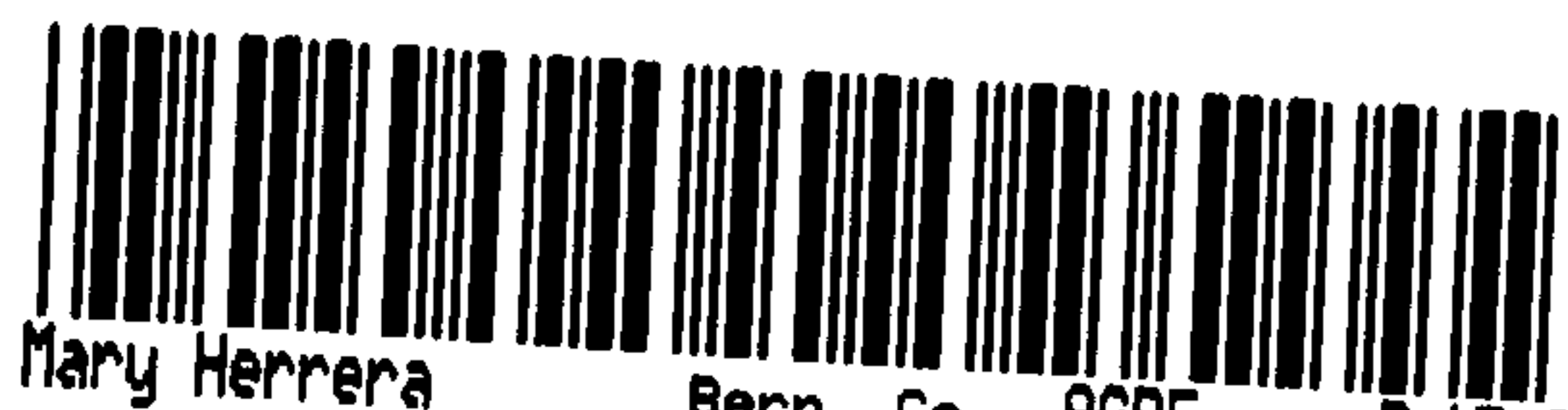
The User wishes to construct upon, improve or repair and to maintain the following "Improvement" on the City's Property (or already has done so): TEMPORARY EARTHEN OUTFALL CHANNEL

A sketch of the proposed or existing Improvement is attached as Exhibit A and made a part of this Agreement.

The City agrees to permit the Improvement to exist on the City's Property provided the User complies with the terms of this Agreement.

2. City Use of City's Property and City Liability. The City has the right to enter upon the City's Property at any time and perform whatever inspection, installation, maintenance, repair, modification or removal ("Work") it deems appropriate without liability to the User. If the Work affects the Improvement the City will not be financially or otherwise responsible for rebuilding or repairing the Improvement. The User promptly will repair the Improvement to the City's satisfaction. The cost of repairing the Improvement will be paid by User.

3. User's Responsibility for Improvement. The User will be solely responsible for constructing, maintaining, repairing and, if required, removing the Improvement, all in



3. User's Responsibility for Improvement. The User will be solely responsible for constructing, maintaining, repairing and, if required, removing the Improvement, all in accordance with standards required by the City as per the approved Grading and Drainage Plan File D17/D3AA on file at the City Engineer's office. The User will be solely responsible for paying all related costs. The User will be solely responsible for paying all related costs. The User will not permit the Improvement to constitute a hazard to the health or safety of the general public or to interfere with the City's use of the City's Property. The User will conform with all applicable laws, ordinances and regulations.

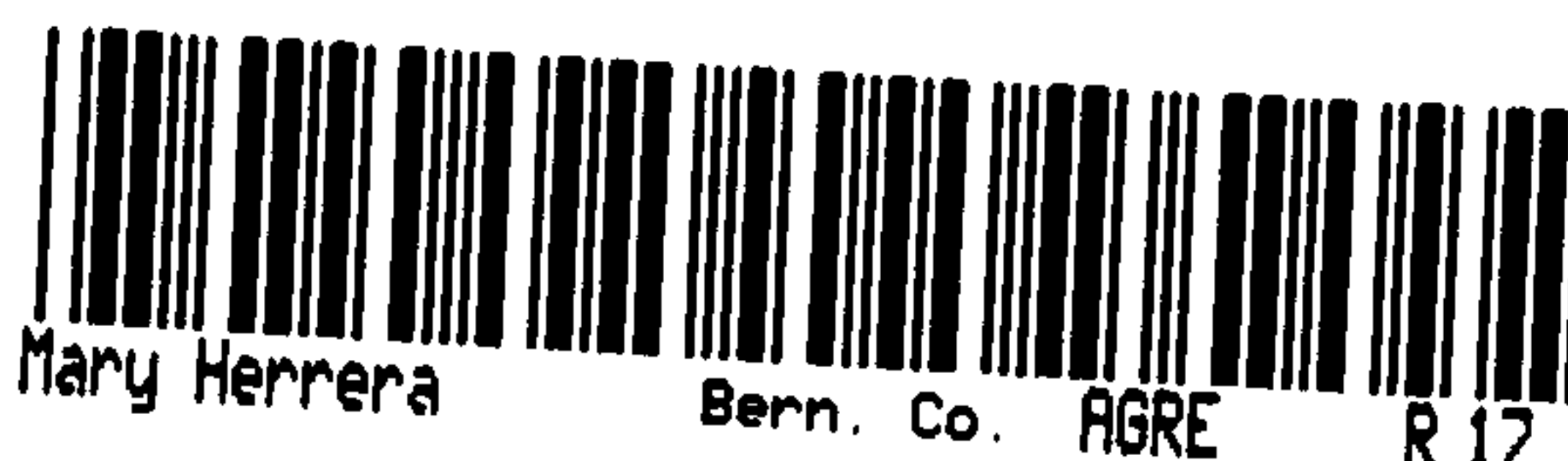
4. Use of the Improvement. If the City's Property is a public right-of-way, it shall be open to the use of the general public at all times, subject to reasonable curtailment during periods of construction, maintenance or repair.

5. Demand for Repair, Modification or Removal. The City may send written notice ("Notice") to the User requiring the User to repair, modify or remove the Improvement within 30 days ("Deadline") and the User will comply promptly with the requirements of the Notice. If removal is demanded, the City also may require the User to return the City's Property to its original condition by the Deadline. The User will perform all required work by the Deadline, at User's sole expense.

6. Failure to Perform by User and Emergency Work by City. If the User fails to comply with the terms of the Notice by the Deadline stated, or, if the City determines that an emergency condition exists, the City may perform the work itself. The City then may assess the User for the cost of the work and for any other expenses or damages which result from User's failure to perform. The User agrees promptly to pay the City the amount assessed. If the User fails to pay the City within thirty (30) days after the City gives the User written notice of the amount due, the City may impose a lien against User's Property for the total resulting amount.

7. Cancellation of Agreement and Release of Covenant. This Agreement may be canceled and User's covenants released by the City at will by the City's mailing to the User notice of the City's intention to record a Cancellation and Release with the Bernalillo County Clerk. The Cancellation and Release will be effective thirty (30) days after the date of mailing the notice to the User unless a later date is stated in the notice or the Cancellation and Release. After the effective date, the City will record the Cancellation and Release with the Bernalillo County Clerk.

8. Condemnation. If any part of the User's Property is ever condemned by the City, the User will forego all claims to compensation for any portion of User's structure which encroaches on City Property and for severance damage to the remaining portion of User's structure on User's Property.



9. Assessment. Nothing in this Agreement shall be construed to relieve the User, his heirs, assigns and successors from an assessment against User's Property for improvements to the City Property under a duly authorized and approved Special Assessment District. The parties specifically agree that the value of the Improvement will not reduce the amount assessed by the City.

10. Notice. For purposes of giving formal written notice to the User, User's address is:

Tiburon Investment Corporation, 6400 Wyoming Blvd., NE, Albuquerque, NM 87109

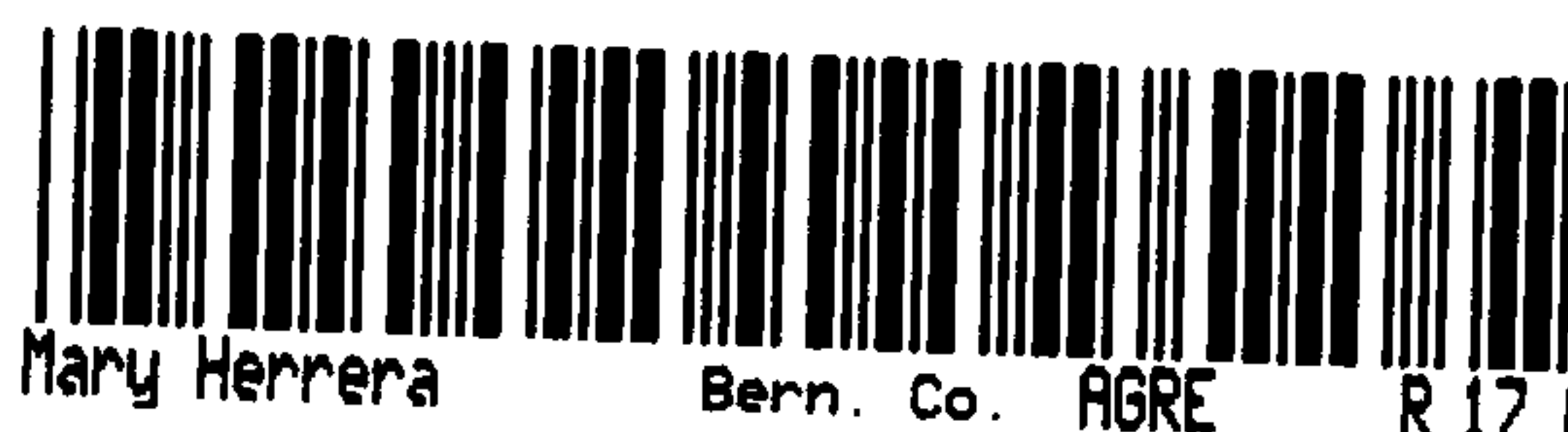
Notice may be given to the User either in person or by mailing the notice by regular U.S. mail, postage paid. Notice will be considered to have been received by the User within 3 days after the notice is mailed if there is no actual evidence of receipt. The User may change User's address by giving written notice of the change by certified mail, return receipt requested, to the City Engineer at P.O. Box 1293, Albuquerque, New Mexico 87103.

11. Indemnification. The User agrees to defend, indemnify and hold harmless the City, its officials, agents and employees from and against any and all claims, actions, suits or proceedings of any kind brought against said parties as a result of User's use of the City's Property. To the extent, if at all, Section 56-7-1 NMSA 1978 is applicable to this Agreement, this Agreement to indemnify will not extend to liability, claims, damages, losses or expenses, including attorney's fees, arising out of (1) the preparation or approval of maps, drawings, opinions, reports, surveys, change orders, designs or specifications by the indemnitee, or the agents or employees of the indemnitee; or (2) the giving of or the failure to give direction or instructions by the indemnitee, where such giving or failure to give directions or instructions is the primary cause of bodily injury to persons or damage to property.

12. Term. This Agreement shall continue until revoked by the City pursuant to Section 7 above.

13. Binding on User's Property. The covenants and obligations of the User set forth herein shall be binding on User, his heirs assigns and successors and on User's Property and constitute covenants running with User's Property until released by the City.

14. Entire Agreement. This Agreement contains the entire agreement of the parties and supersedes any and all other agreements or understandings, oral or written, whether previous to the execution hereof or contemporaneous herewith.



15. Changes of Agreement. Changes to this Agreement are not binding unless made in writing, signed by both parties.

16. Construction and Severability. If any part of this Agreement is held to be invalid or unenforceable, the remainder of the Agreement will remain valid and enforceable if the remainder is reasonably capable of completion.

17. Captions. The captions to the sections or paragraphs of this Agreement are not part of this Agreement and will not affect the meaning or construction of any of its provisions.

CITY OF ALBUQUERQUE:

By: *Fred J. Aguirre*
Chief Administrative Officer

Dated: 2-22-01

USER:

By: *Richard J. Ellison*
Title: Treasurer

Dated: 2-9-01

APPROVED:

Fred J. Aguirre 2/22/01
Director, Public Works Dept.
KJE 2/22/01

Reviewed by:

Fred J. Aguirre
City Engineer 2/22/01

CITY'S ACKNOWLEDGMENT

STATE OF NEW MEXICO)

) ss

COUNTY OF BERNALILLO)

This instrument was acknowledged before me on February 22,
199~~2001~~, by Fred J. Aguirre ^{for} Chief Administrative Officer for the City of
Albuquerque, a New Mexico municipal corporation, on behalf of the corporation.

Gloria A. Saavedra
Notary Public

My Commission Expires:

11-15-2003



USER'S ACKNOWLEDGMENT

STATE OF NEW MEXICO)
) ss.
COUNTY OF BERNALILLO)

This instrument was acknowledged before me on 2-09,
19 2001, by Richard L. Elkins, _____, on behalf of _____
Tiburon Investment Corp

Laura L Banda
Notary Public

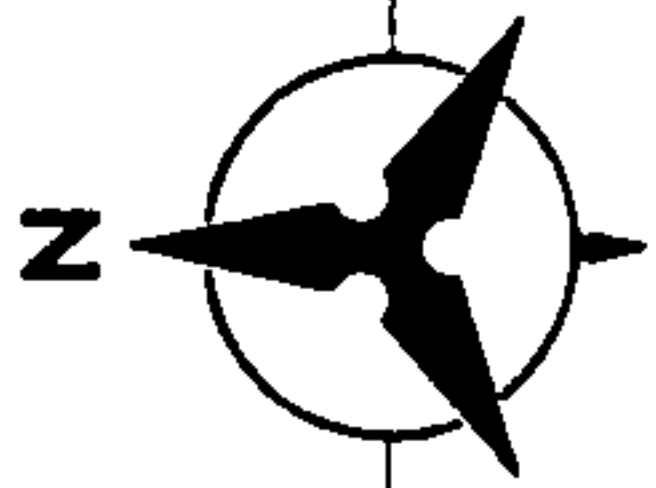
My Commission Expires:

5-10-04



TEMPORARY DRAINAGE BLANKET EASEMENT

EXHIBIT "A"



SCALE: NONE

TRACT 8A-1
52.9183 Acres

A TEMPORARY BLANKET DRAINAGE
EASEMENT WITHIN TRACT 8A-1 IS GRANTED
TO THE CITY OF ALBUQUERQUE WITH
THE FILING OF THIS PLAT

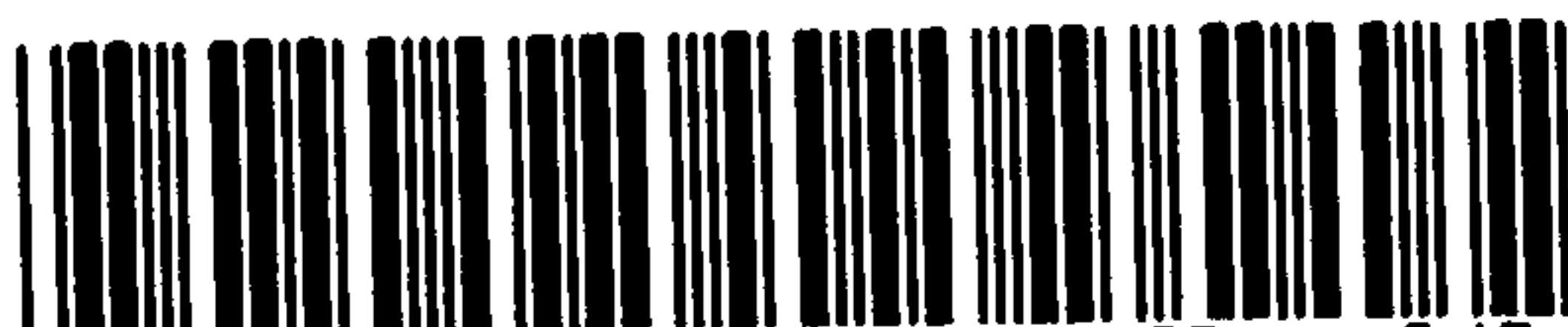
TEMPORARY
DRAINAGE
PATH
EARTHEN
OUTFALL
CHANNEL
CR

MASTHEAD STREET
(ROW VACATED BY VACATION ACTION NO. 00410-00000-01190)

SNAPROLL STREET
(ROW VACATED BY VACATION
ACTION NO. 00410-00000-01190)

Exist 10' Public Drainage Easement
Filed June 30, 1983 (C21-126)
VACATED BY VACATION ACTION

TRACT 8A-1
52.9183 Acres



2001089938

5541038

Page: 6 of 6

08/02/2001 01:31P

Rk-822 Pa-8250