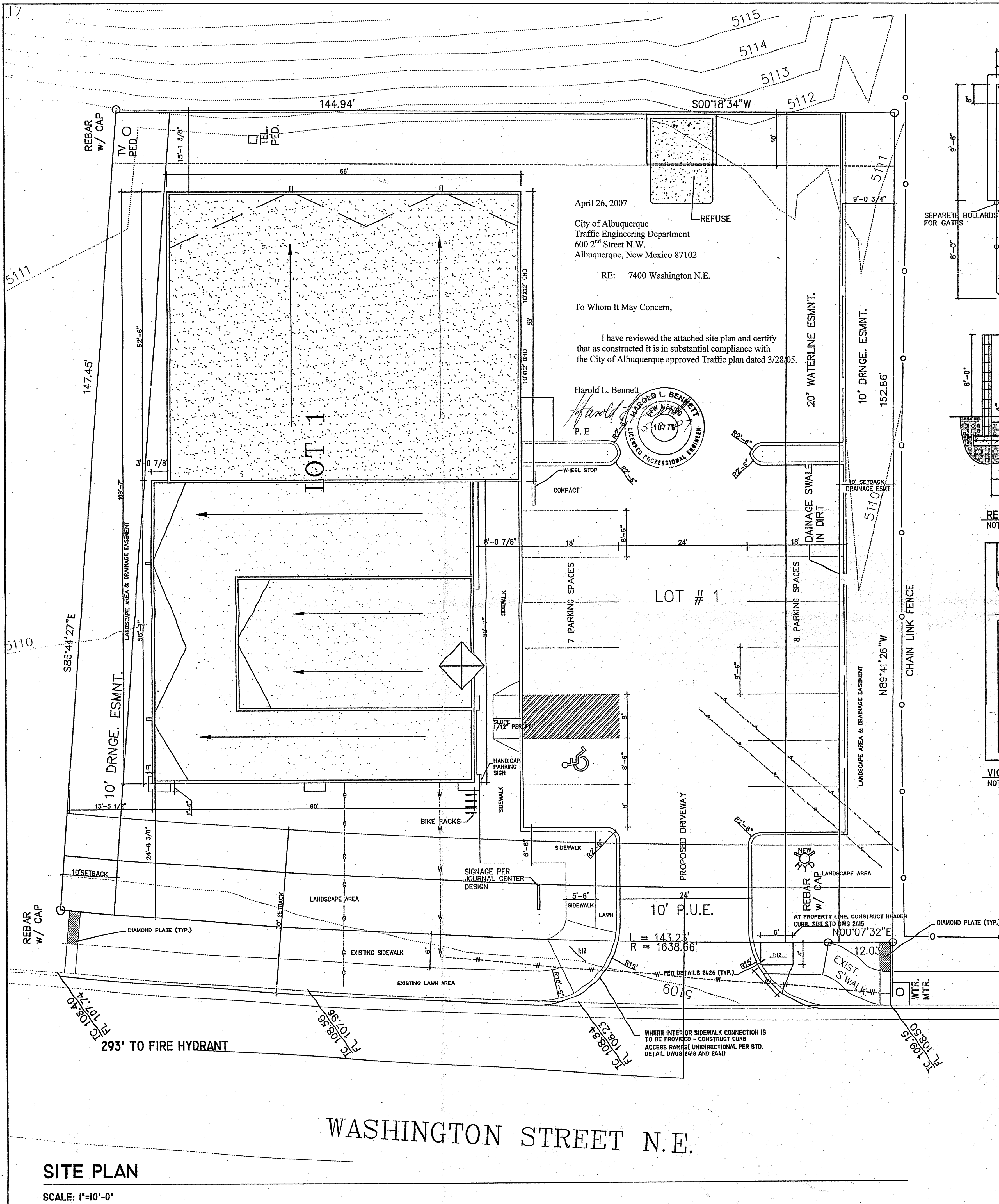




April 26, 2007
 City of Albuquerque
 Traffic Engineering Department
 600 2nd Street N.W.
 Albuquerque, New Mexico 87102

RE: 7400 Washington N.E.

To Whom It May Concern,

I have reviewed the attached site plan and certify that as constructed it is in substantial compliance with the City of Albuquerque approved Traffic plan dated 3/28/05.

Harold L. Bennett
 P.E.
 5187780
 PROFESSIONAL ENGINEER

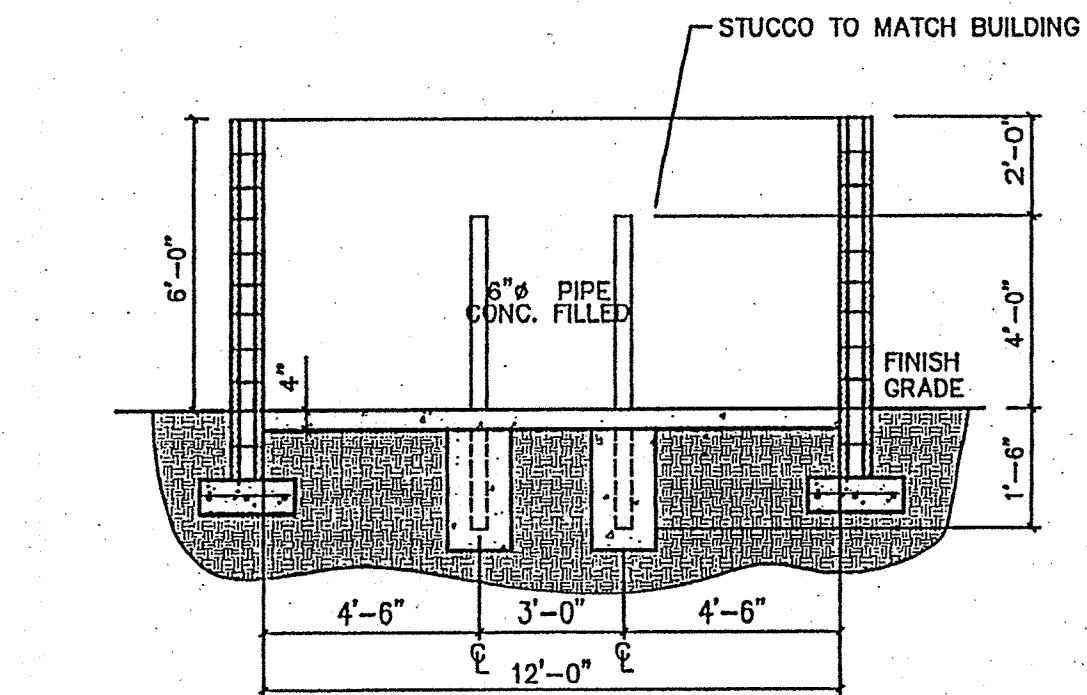
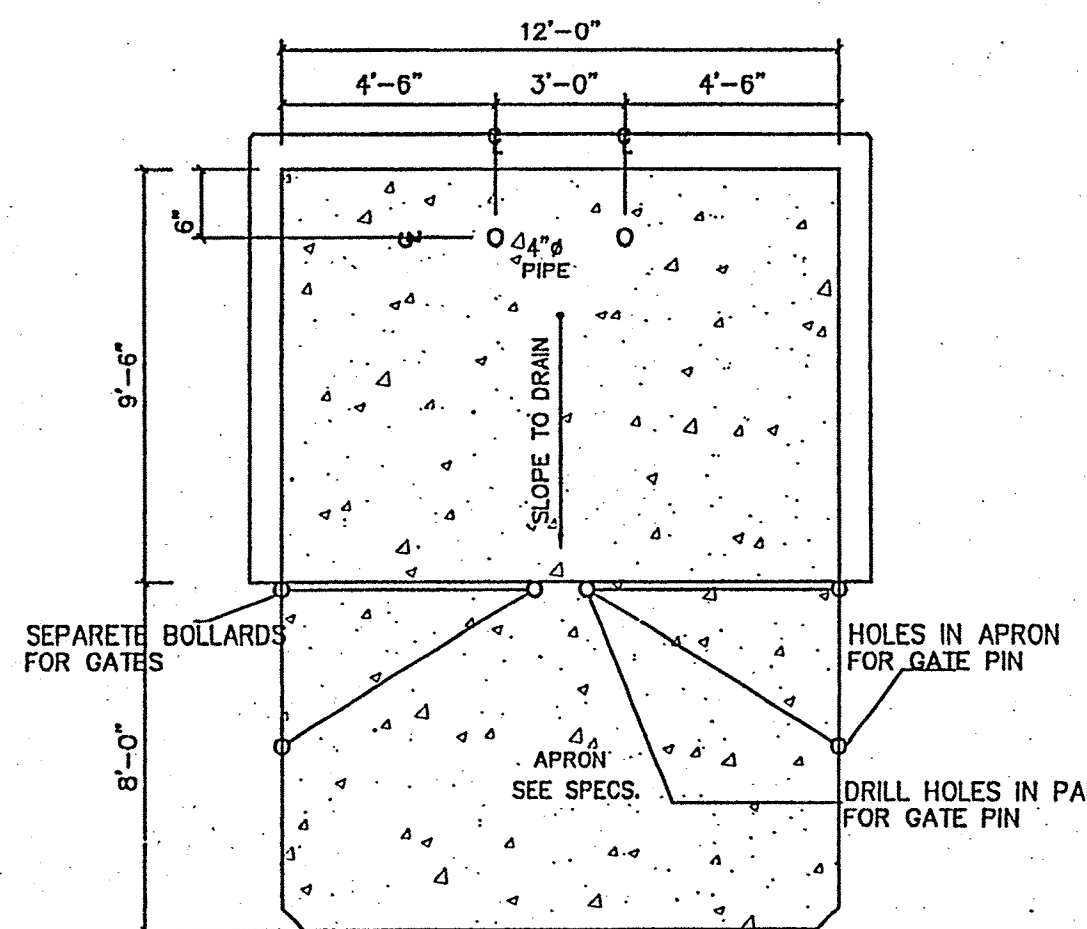
SPECIFICATIONS

CONC SLAB: 4" THICK, 3000 PSI, 3/4" AGG. W/6X6-10/10WWM OR EQ., SLOPE TO DRAIN 1/8" PER FOOT.

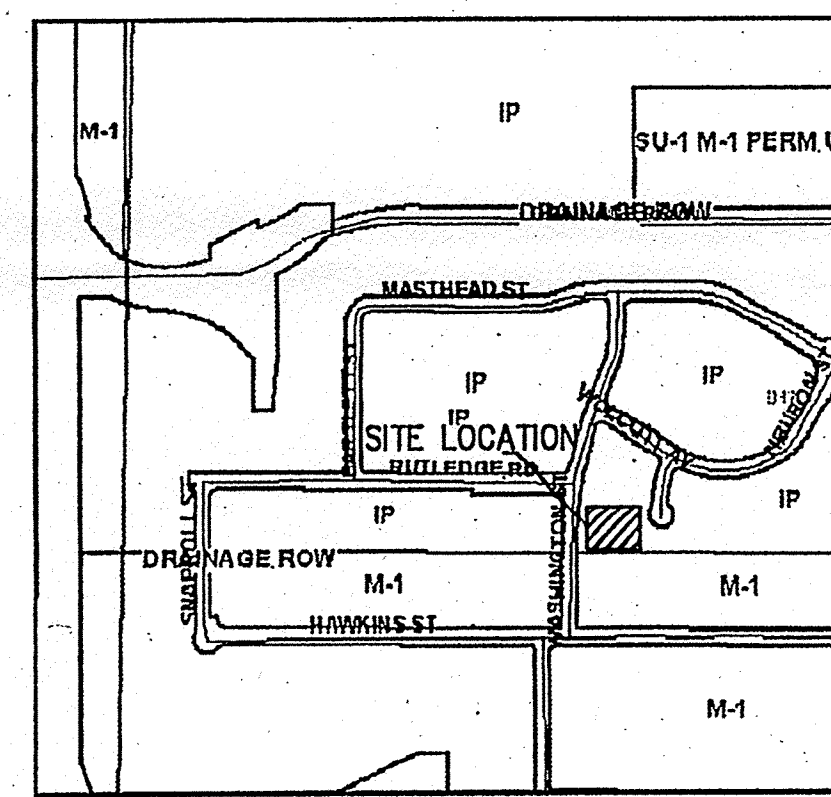
APRON: 6" THICK, 3000 PSI, 3/4" AGG. W/6X6-10/10WWM OR EQ. 12'X8'X6' WITH 1/2" EXPANSION JOINT

FOOTING: AS REQUIRED PER DESIGN

BOLLARDS: 4" O.D. CONC. FILLED PIPE SHALL BE ENCASED IN 6" CONC. ALL AROUND AND EMBEDDED 2'-0"



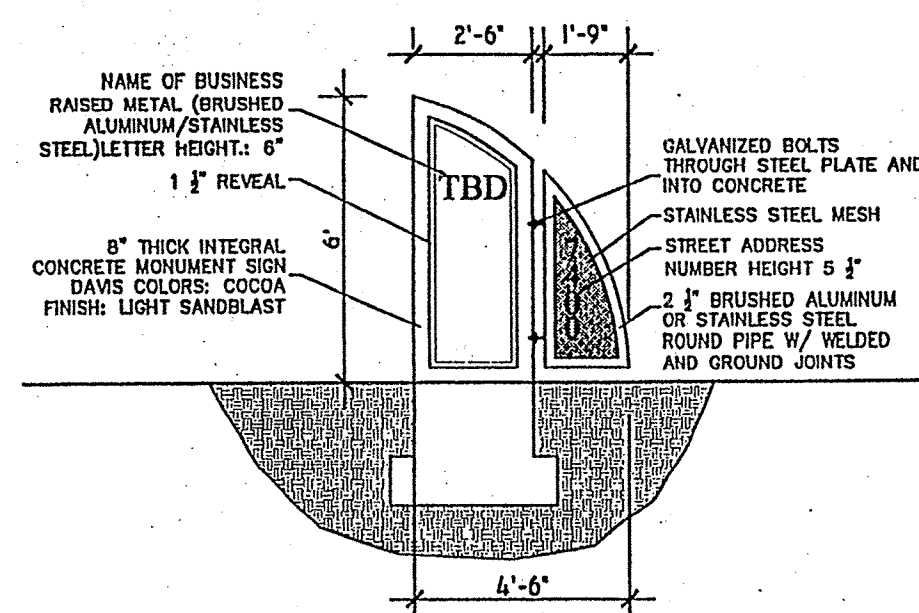
REFUSE DETAILS
 NOT TO SCALE



VICINITY MAP (D-17)
 NOT TO SCALE

SHEET INDEX

A-1 SITE PLAN & DESIGN DATA
 C-1 GRADING PLAN
 L-1 LANDSCAPE PLAN
 A-4 ELEVATIONS



COMPANY SIGN ELEVATION
 SCALE: 1/4"=1'-0"

NOTES:

1. SIGNS SHALL CONFORM TO THE STANDARDS OF "THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES."
2. SIGN SHALL BE SET DIRECTLY FACING THE DIRECTION OF TRAVEL FOR THE VEHICLES ENTERING THE STALL (NOT < 45°).
3. SIGNS SHALL BE MOUNTED ON A STURDY POST AT A HEIGHT SPECIFIED HERE IN, OR MAY BE SECURELY BOLTED TO AN ADJACENT WALL.
4. EACH SPACE SHALL BE POSTED WITH A SIGN, CENTERED ON THE STALL. HOWEVER, ONE SIGN MAY BE USED BETWEEN THE TWO SPACES WITH THE APPROPRIATE ARROWS.
5. 40" MIN. FROM FACE OF ADJACENT CURB OR BUMPER BLOCK.

BUILDING DATA

JOURNAL CENTER PHASE 2
 UNIT 1, LOT #1
 7400 WASHINGTON ST. N.E.
 ALBUQUERQUE, NM 87109

DESIGN DATA

I. APPLICABLE CODES AND REGULATIONS.
 INTERNATIONAL BUILDING CODE, 2003
 ANSI
 GUIDELINES, 1998

II. BUILDING FLOOR AREA
 OFFICE B 3329 SF
 WAREHOUSE S-1 3436 SF
 TOTAL BUILDING AREA 6765 SF

III. OCCUPANCY GROUP (IBC CHAPTER 3)

OFFICE B
 WAREHOUSE S1

IV. EXTERIOR WALLS AND OPENINGS

IBC TABLE 602

V. BUILDING HEIGHT

BUILDING 1 - ONE STORY 24'-0"

VI. TYPE OF CONSTRUCTION

IBC TABLE 503: OFFICE-TYPE V-B

WAREHOUSE-TYPE V-B

VII. BASIC ALLOWABLE FLOOR AREA

IBC TABLE 503: OFFICE-B-9,000 S.F.

WAREHOUSE-S1-9,000 S.F.

MIXED USE OCCUPANCY W/ NON SEPARATED USE PROVISION UTILIZING THE PROVISION UNDER THE S1 OCCUPANCY

VIII. FIRE RESISTIVE REQUIREMENTS

IBC TABLE 601: TYPE V-B

IX. OCCUPANT LOAD

OFFICE: 3,324 S.F. / 100 = 33

OFFICE: 3,436 S.F. / 500 = 7

X. EXIT REQUIREMENTS

NUMBER OF EXITS: IBC TABLE 1014.1

EXIT REQUIREMENTS OCCUPANT LOAD LESS THAN 50
 = 1 EXIT REQ. 2 PROVIDED

XI. PLUMBING REQUIREMENTS: IBC TABLE 2902.1

OFFICE: W.C. 1 PER 25 FOR THE FIRST 50 REQ.

2 W.C. PROVIDED

OFFICE: LAVATORY 1 PER 40 FOR THE FIRST 50 REQ.

2 LAVATORY PROVIDED

WAREHOUSE: 1 PER 100 REQ.

1 W.C. & 1 LAVATORY PROVIDED

XII. SEISMIC ZONE: 2B, CATEGORY II BLDG.

XIII. WIND SPEED: 75 MPH

XIV. EXPOSURE: C

XV. SOIL BEARING CAP. 1500 PSF

XVI. ROOF LOAD(TOTAL) 40 PSF

PARKING REQUIREMENTS (CALC'S)

NET OFFICE: 3298 SF
 2300 / 200 = 12

NET WAREHOUSE: 3436 SF
 3436 / 2000 = 2
 = 2 REQUIRED PARKING SPACES

PARKING PROVIDED:
 CITY OF ALBUQUERQUE - OFFICE/WAREHOUSE

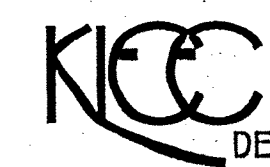
SURFACE PARKING:

HANDICAPPED 1 CAR

REGULAR AND COMPACT 15 CARS

TOTAL ON SITE PARKING PROVIDED 16 CARS

TOTAL REQUIRED PARKING: 14 CARS



DESIGN COLLABORATIVE
 THE ART AND SCIENCE OF MODERN BUILDINGS

JOB TITLE: BLUE HOLE LTD.

JOURNAL CENTER LOT #1

REVISION: 4-26-05

FILE NAME: 2-7-05

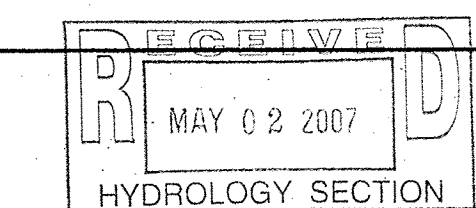
JOB NO. 2-7-05

DATE 2-7-05

SHEET TITLE: SITE PLAN FOR BLDG. PERMIT

AU, RI

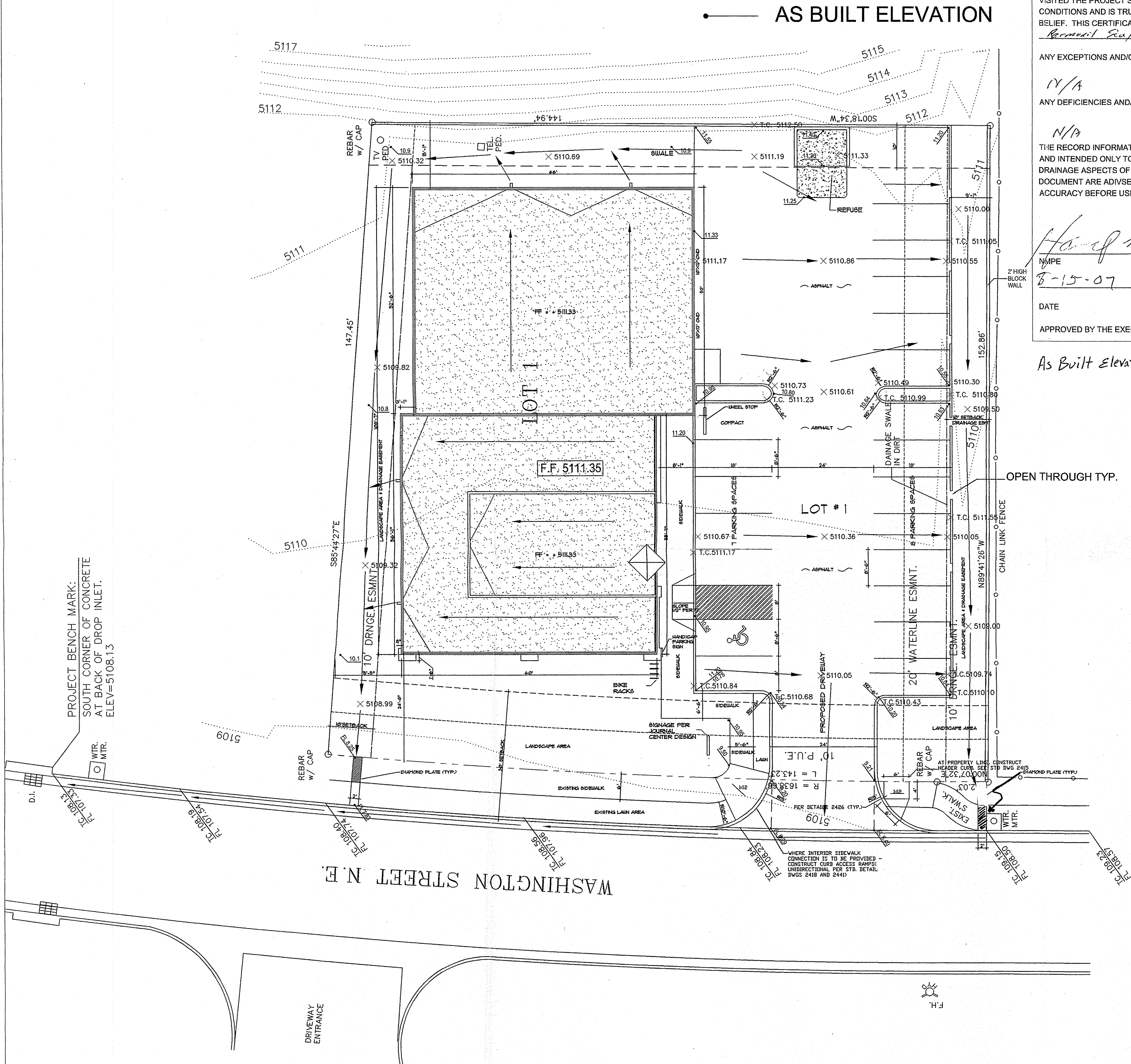
A-1



HLB
 HAROLD L. BENNETT
 P.E.



0 5 10 20
 scale 1"=10'-0" feet



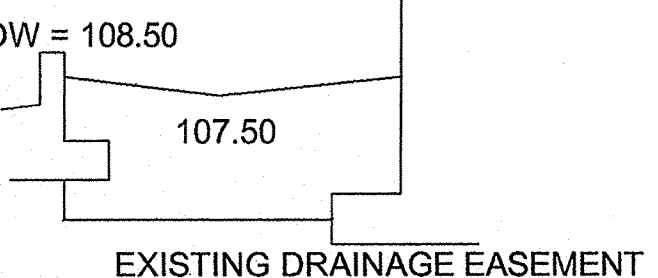
GRADING PLAN

SCALE: 1"=10'-0"

NOTE:
FF 100'-0" = +5111.75' AMSL

AS BUILT ELEVATION

DRAINAGE CERT W/ SURVEY WORK BY OTHERS
12-28-01
DRAINAGE CERTIFICATION
I, Harold L. Bennett NMPE 10776 OF THE FIRM C.L. Engle.
HEREBY CERTIFY THAT THIS PROJECT HAS BEEN
GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE
WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 8-15-07. THE RECORD
INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED
BY REX J. VOGLER NMPS 10776-6 OF THE FIRM
I FURTHER CERTIFY THAT I HAVE PERSONALLY
VISITED THE PROJECT SITE ON 7-10-07 REPRESENTATIVE OF ACTUAL SITE
CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND
BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR
Revised Plan
ANY EXCEPTIONS AND/OR QUALIFICATIONS AS LISTED BELOW:
N/A
ANY DEFICIENCIES AND/OR REQUIRED CORRECTIONS AS LISTED BELOW:
N/A
THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE
AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND
DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD
DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS
ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.
Harold L. Bennett
NMPE
8-15-07
DATE
APPROVED BY THE EXECUTIVE COMMITTEE ON 4-9-02
As Built Elevations by:
REX J. VOGLER
NMPS 10466
8/16/05
PROFESSIONAL SURVEYOR



TYP. SWALE DETAIL

SCALE: 3/16" = 1'-0"

SIDEWALK SECTION W/DIAMOND PLATE

SCALE: NTS
SEE COA DRWG. # 2236

GENERAL NOTES

- PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATION OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AS SOON AS POSSIBLE TO RESOLVE THE CONFLICT WITH A MINIMUM AMOUNT OF DELAY.
- ALL WORK ON THIS PLAN SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THESE DRAWINGS, THEY ARE SHOWN IN AN APPROXIMATE LOCATION ONLY, AND LINES MAY EXIST WHERE NONE ARE SHOWN, THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE UTILITY OWNER OR FROM EXISTING PLANS, AND THIS INFORMATION MAY BE INCOMPLETE, OR OBSOLETE AT THE TIME OF CONSTRUCTION. THE ENGINEER HAS NOT UNDERTAKEN ANY FIELD VERIFICATION OF THESE LOCATIONS, LINE SIZES OR MATERIAL TYPE, MAKES NO REPRESENTATION THEREOF, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE OR UNDERGROUND INSTALLATION IN OR NEAR THE AREA IN ADVANCE OF ANY EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES AND UNDERGROUND FACILITIES. IN PLANNING AND CONDUCTING EXCAVATIONS, THE CONTRACTOR SHALL COMPLY WITH ALL STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.
- THE CONTRACTOR SHALL INSURE THAT NO SOIL ERODES FROM THE SITE INTO PUBLIC RIGHT-OF-WAY OR ONTO PRIVATE PROPERTY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AND BY WETTING THE SOIL TO KEEP IT FROM BLOWING.
- THE CONTRACTOR SHALL OBTAIN ANY AND ALL PERMITS REQUIRED BY THE CITY OF ALBUQUERQUE FOR THE COMPLETION OF THE WORK PRIOR TO BEGINNING CONSTRUCTION.

GRADING/DRAINAGE PLAN

THE FOLLOWING ITEMS CONCERNING JOURNAL CENTER PHASE 1 ARE CONTAINED HEREON:

- VICINITY MAP
- DRAINAGE CALCULATIONS

BLUE HOLE LTD - LOT #1 JOURNAL CENTER

BUILDING AREA = 0.155 ACRES (6,768SF)
LANDSCAPE AREA = 0.129 ACRES (5,625SF)
PARKING/ASPHALT AREA = 0.236 ACRES (10,271SF)
TOTAL SITE = 0.52 ACRES (22,660 SF)

PRECIPITATION: 360 = 2.35 IN.
1440 = 2.75 IN.
10DA = 3.95 IN.

EXISTING CONDITIONS:

TREATMENT A 0.52 AC.
TREATMENT B 0 AC.
TREATMENT C 0 AC.
TREATMENT D 0 AC.

PROPOSED CONDITIONS:

0 AC.
0.129 AC.
0 AC.
0.391 AC.

EXCESS PRECIPITATION:

TREATMENT A 0.53 IN. 0.78
TREATMENT B IN. 1.13 IN.
TREATMENT C 2.12 IN.
TREATMENT D

PEAK DISCHARGE:

CFS/AC. 1.56
CFS/AC. 2.28
CFS/AC. 3.14
CFS/AC. 4.07

EXISTING EXCESS PRECIPITATION:

WEIGHTED E = (0.53 X 0) + (78 X .178) + (1.13 X 0) + 2.12 X 4.22 = 1.034 IN.
V100 = 1.04(0.6/12) = 0.517 AC.FT.

EXISTING DISCHARGE:

WEIGHTED E = 0.6(0.53) = 0.4 CFS
V100 = 4(0.6/12) = 0.05 AC.FT.

PROPOSED PEAK DISCHARGE

Q100 = 0+0.178(2.28)+ 0 + 4.22(4.7) = 2.39 CFS

BENCHMARK:

PROJECT BENCHMARK OF 108.13 LOCATED ON CURB @ NORTHWEST CORNER OF PROPERTY

EROSION CONTROL MEASURES

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MANAGEMENT OF STORM RUN-OFF DURING CONSTRUCTION, HE/SHE SHALL ASSURE THAT THE FOLLOWING MEASURES ARE TAKEN
A. ADJACENT PROPERTY SHALL BE PROTECTED AT ALL TIMES BY TEMPORARY BERMS, DIKES, SWALES, AND OTHER TEMPORARY GRADING AS REQUIRED TO PREVENT STORM RUN-OFF FROM LEAVING THE SITE AND ENTERING ADJACENT PROPERTY.
B. ADJACENT PUBLIC RIGHT-OF-WAY SHALL BE PROTECTED AT ALL TIMES FROM STORM WATER RUN-OFF FROM THE SITE. NO SEDIMENT BEARING WATER SHALL BE PERMITTED TO ENTER THE PUBLIC STREETS.
- EXISTING CONDITIONS
AS SHOWN BY THE VICINITY MAP, THE SITE CONTAINS 0.52 ACRES AND IS LOCATED EAST OF WASHINGTON ST. N.E. AND NORTH OF HAWKINS RD. N.E. THE SITE IS NOT LOCATED WITHIN A DESIGNATED FLOOD ZONE.

PROPOSED CONDITIONS

PROJECT TO DRAIN DIRECT DISCHARGE: DRAIN BOTH NORTH & SOUTH TO EXISTING DRAINAGE EASEMENTS. DISCHARGE GOES TO CITY STORM DRAINS AND AMAFCA STORM DRAINS, LOCATED NORTH AND WEST OF THE SUBJECT PROPERTY.

NO OFFSITE FLOWS

NOTICE TO CONTRACTORS

- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY
- ALL WORK DETAILED ON THE SE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HERON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATION SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
- MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
- WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

APPROVAL	NAME	DATE
INSPECTOR		

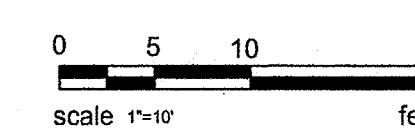
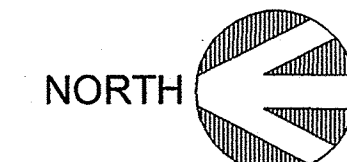
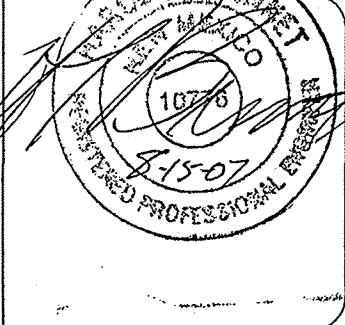


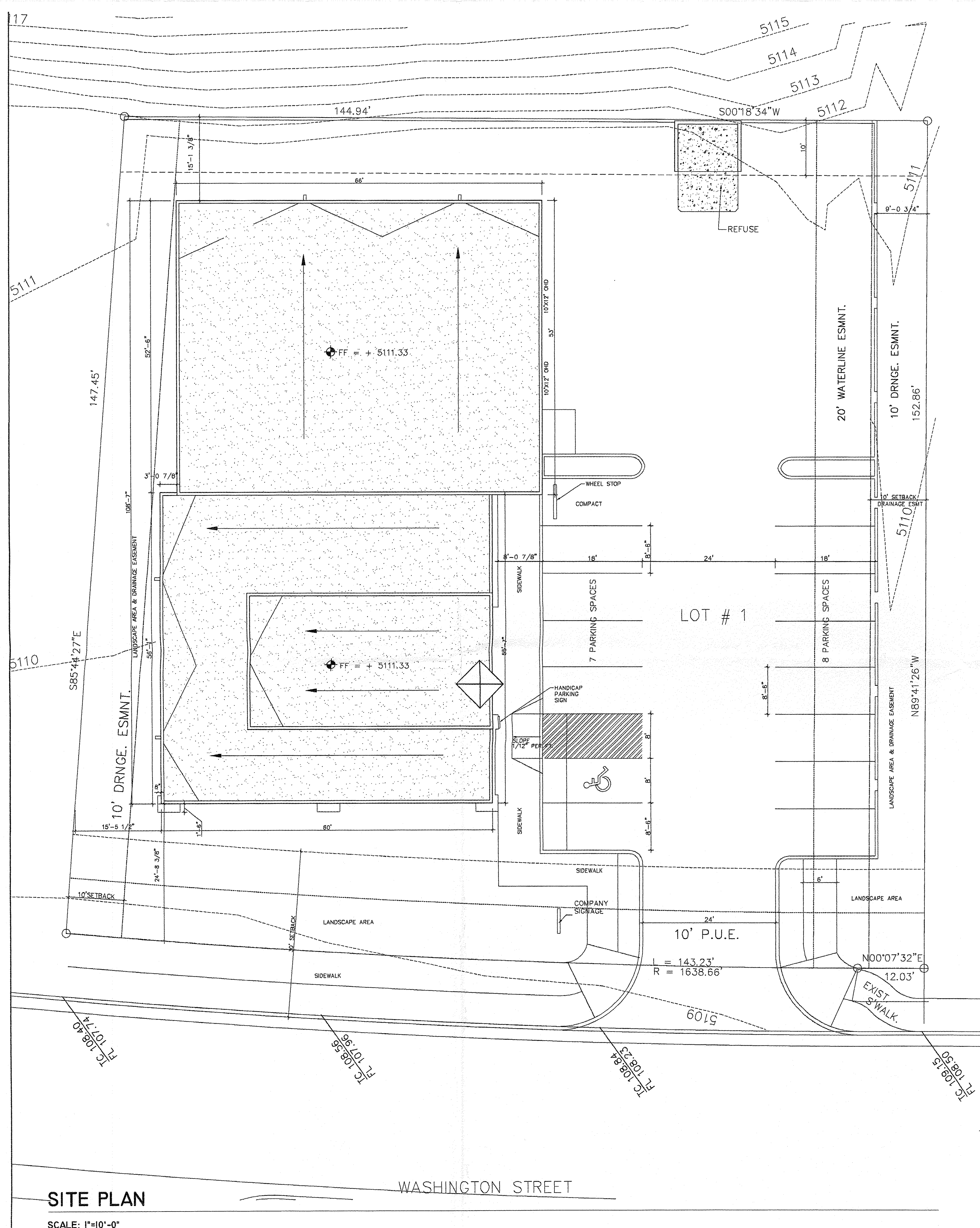
DESIGN COLLABORATIVE
THE ART AND SCIENCE OF MODERN BUILDINGS

JOB TITLE: BLUE HOLE LTD.
JOURNAL CENTER LOT #1

REVISION:	FILE NAME	JOB NO.	DATE
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AS BUILT ENG. CERT.		AU, RI, KB	

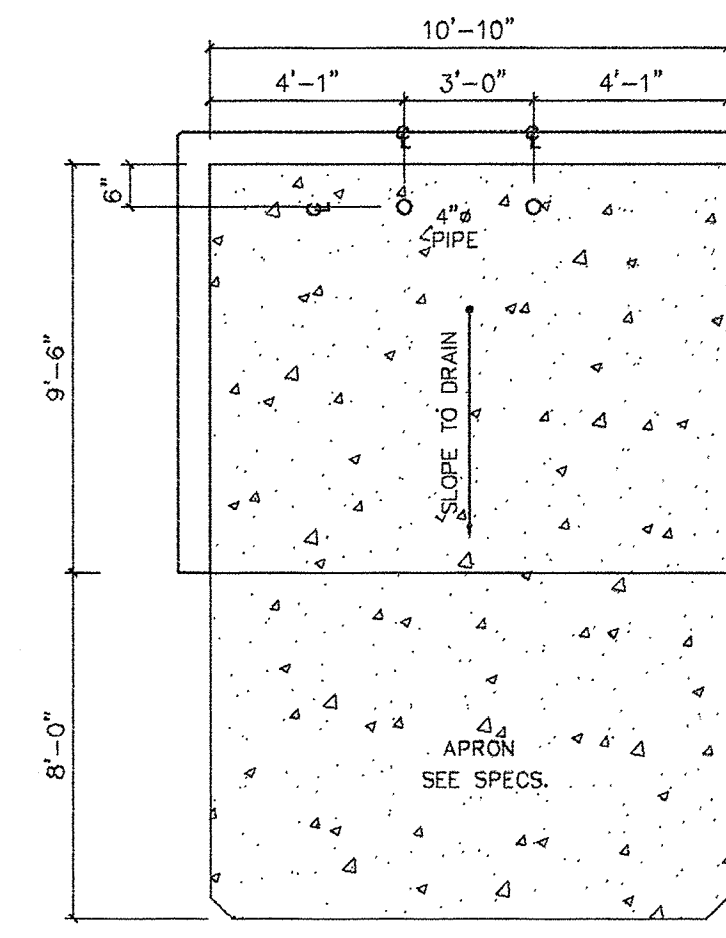
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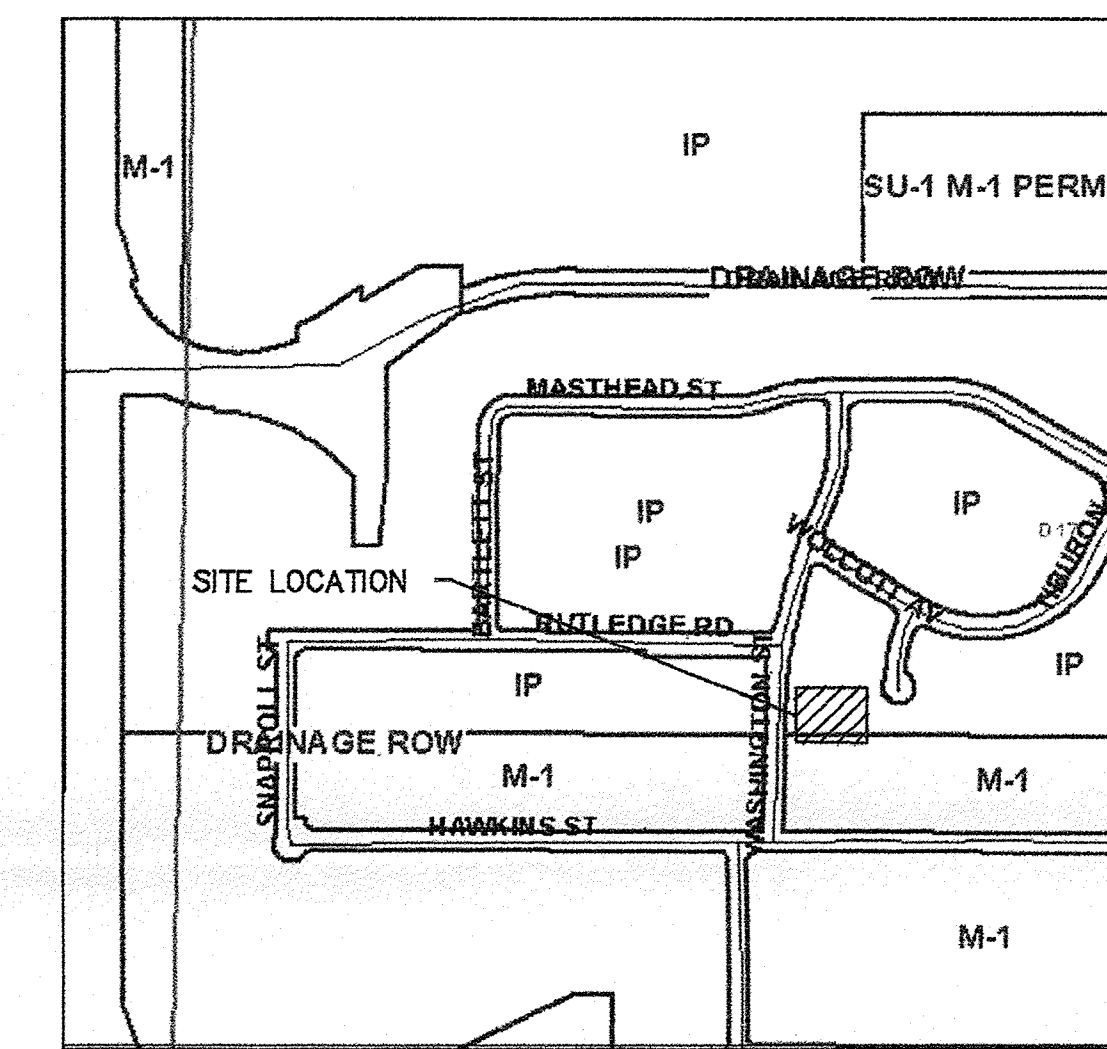
SITE PLAN

SCALE: 1"=10'-0"

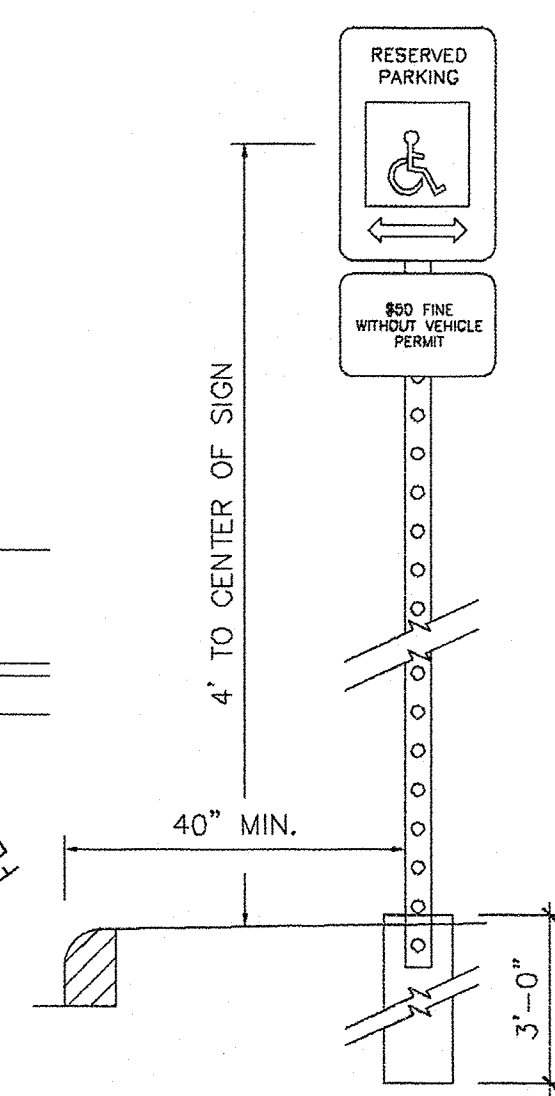


SPECIFICATIONS

- CONC SLAB: 4" THICK, 3000 PSI, 3/4" AGG. W/6X6-10/10WWM OR EQ., SLOPE TO DRAIN 1/8" PER FOOT.
- APRON: 6" THICK, 3000 PSI, 3/4" AGG. W/6X6-10/10WWM OR EQ. 12'X8'X6" WITH 1/2" EXPANSION JOINT
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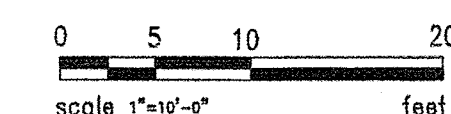


VICINITY MAP (D-17)
NOT TO SCALE



NOTES:

- 1: SIGNS SHALL CONFORM TO THE STANDARDS OF "THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES."
- 2: SIGN SHALL BE SET DIRECTLY FACING THE OF TRAVEL FOR THE VEHICLES ENTERING THE STALL (NOT < 45°).
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- 5: 40" MIN. FROM FACE OF ADJACENT CURB OR BUMPER BLOCK.



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- C-1 GRADING PLAN
- L-1 LANDSCAPE PLAN
- S-1 FOUNDATION PLAN AND DETAILS
- S-2 FOUNDATION DETAILS
- S-3 ROOF FRAMING PLAN
- S-4 FRAMING DETAILS
- A-2 FLOOR PLAN
- A-3 NOT USED
- A-4 ELEVATIONS
- A-5.1 BUILDING SECTIONS
- E-1 POWER PLAN
- E-2 LIGHTING PLAN
- P-1 PLUMBING PLAN
- M-1 MECHANICAL PLAN

BUILDING DATA

JOURNAL CENTER PHASE 2
UNIT 1, LOT #1
ALBUQUERQUE, NM 87109
7400 Washington St. N.E.

DESIGN DATA

- I. APPLICABLE CODES AND REGULATIONS.
INTERNATIONAL BUILDING CODE, 2003
ANSI
GUIDELINES, 1998
- II. BUILDING FLOOR AREA
- | | |
|---------------------|---------|
| OFFICE B | 3329 SF |
| WAREHOUSE S-1 | 3436 SF |
| TOTAL BUILDING AREA | 6765 SF |
- III. OCCUPANCY GROUP (IBC CHAPTER 3)
OFFICE B
WAREHOUSE S1
- IV. EXTERIOR WALLS AND OPENINGS
IBC TABLE 602
- V. BUILDING HEIGHT
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- VI. TYPE OF CONSTRUCTION
IBC TABLE 503: OFFICE-TYPE V-B
WAREHOUSE- TYPE V-B
- VII. BASIC ALLOWABLE FLOOR AREA
IBC TABLE 503: OFFICE-B-9,500 S.F.
WAREHOUSE-S1-9,000 S.F.
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2 W.C. PROVIDED
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1 W.C. & 1 LAVATORY PROVIDED
- XII. SEISMIC ZONE: D, CATEGORY II BLDG.
- XIII. WIND SPEED: 75 MPH
- XIV. EXPOSURE: C 1500 PSF
- XV. SOIL BEARING CAP. 40 PSF
- XVI. ROOF LOAD(TOTAL)

PARKING REQUIREMENTS (CALC'S)

NET OFFICE:	3298 SF
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NET WAREHOUSE:	3436 SF
3436/2000 = 2	
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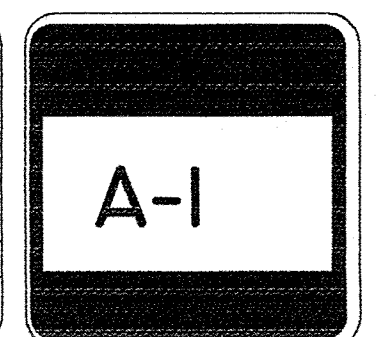
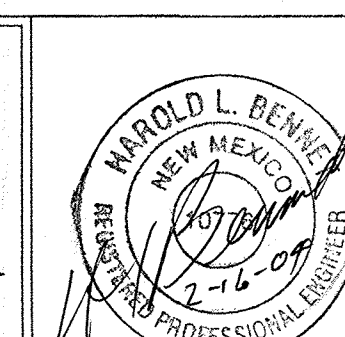
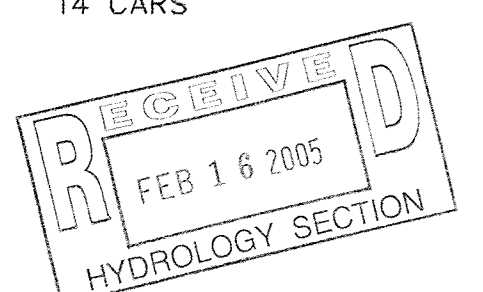
PARKING PROVIDED:
CITY OF ALBUQUERQUE - OFFICE/WAREHOUSE

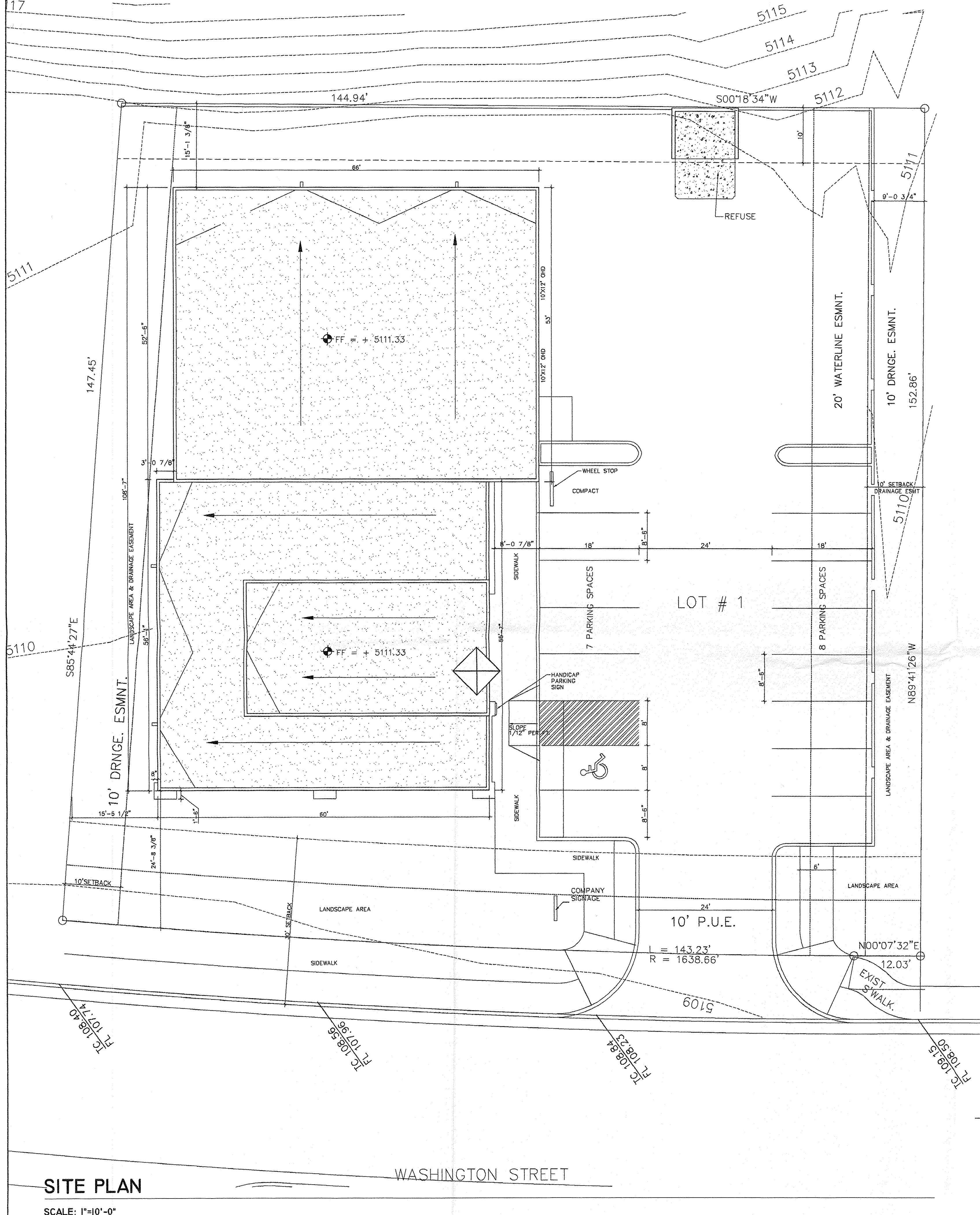
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DESIGN COLLABORATIVE
THE ART AND SCIENCE OF MODERN BUILDINGS

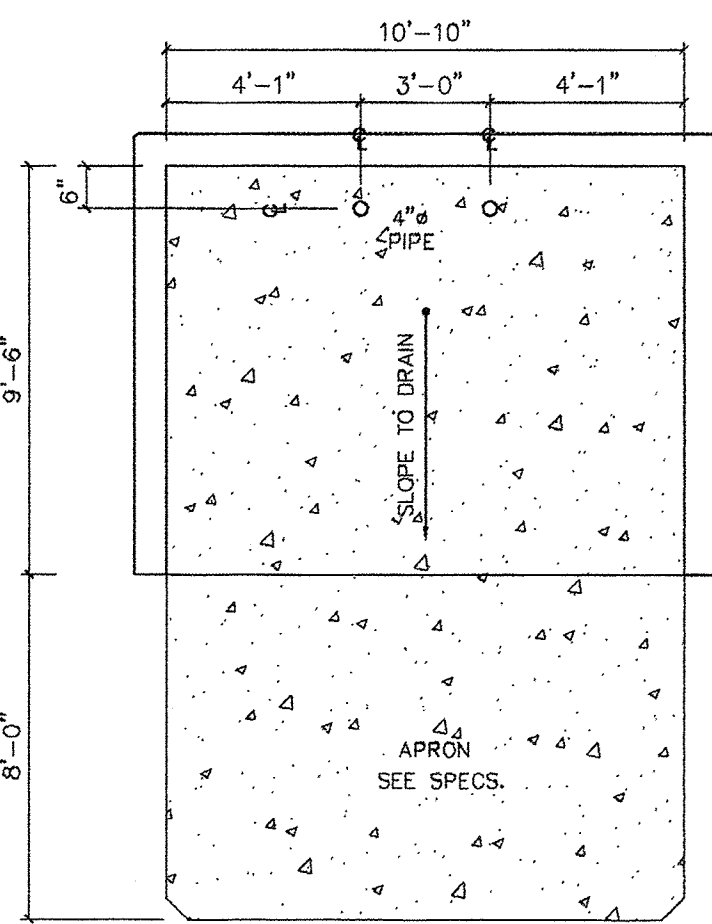
JOB TITLE: BLUE HOLE LTD.			
JOURNAL CENTER LOT #1			
REVISION: 2-15-05	FILE NAME	JOB NO.	DATE
			2-7-05
SHEET TITLE: SITE PLAN			DRAWN BY AU





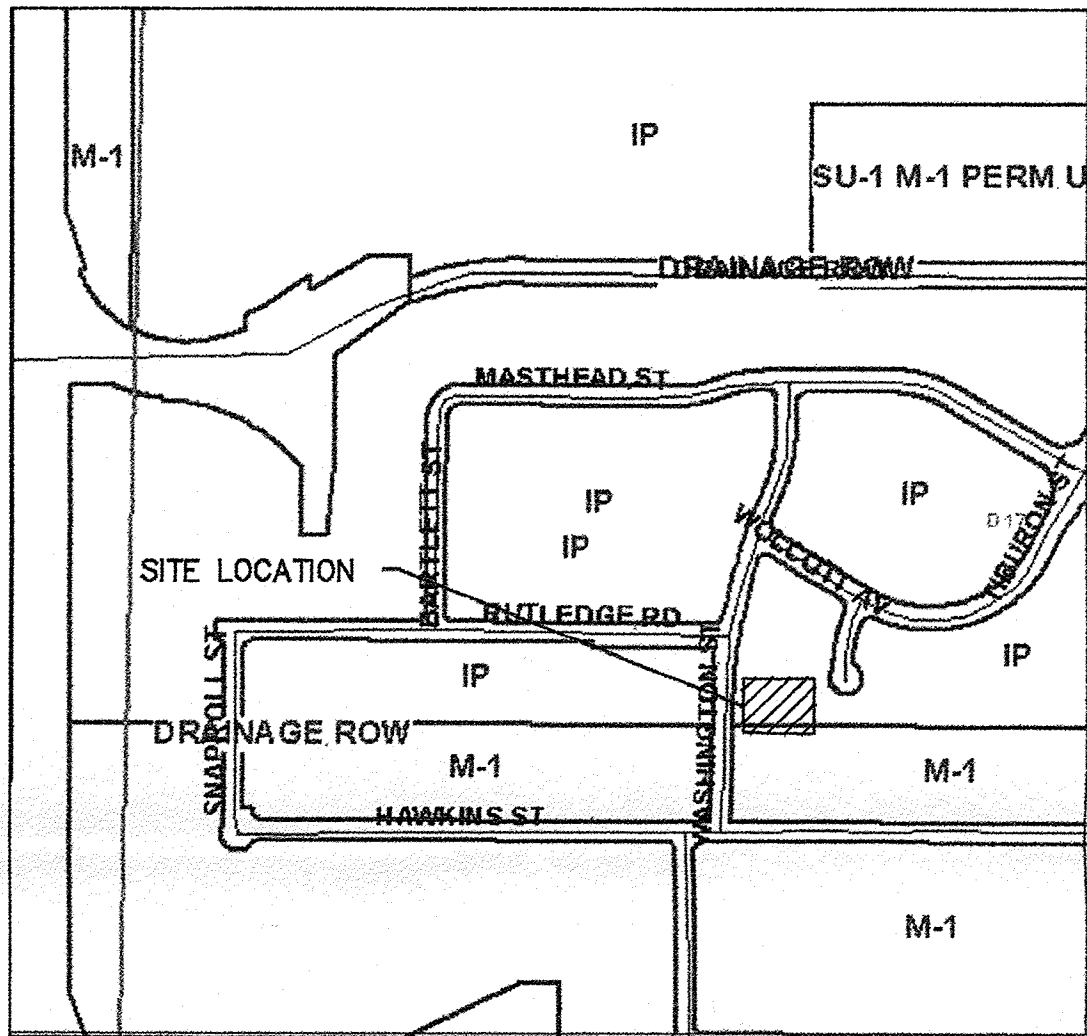
SITE PLAN

SCALE: 1"=10'-0"

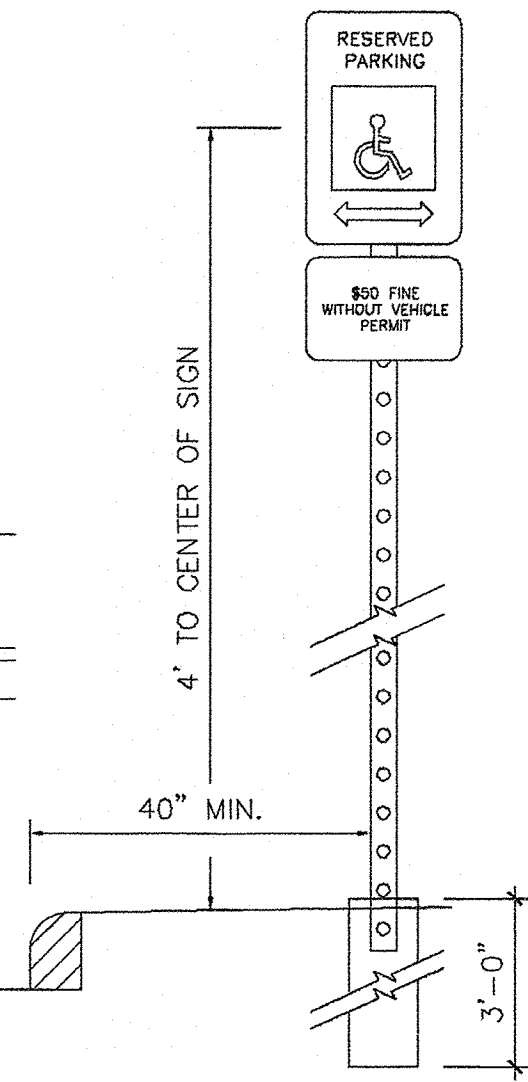


SPECIFICATIONS

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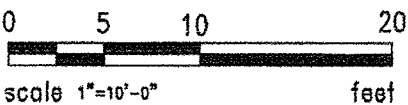


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- S-2 FOUNDATION DETAILS
- S-3 ROOF FRAMING PLAN
- S-4 FRAMING DETAILS
- A-2 FLOOR PLAN
- A-3 NOT USED
- A-4 ELEVATIONS
- A-5.1 BUILDING SECTIONS
- E-1 POWER PLAN
- E-2 LIGHTING PLAN
- P-1 PLUMBING PLAN
- M-1 MECHANICAL PLAN

BUILDING DATA

JOURNAL CENTER PHASE 2
UNIT 1, LOT #1
ALBUQUERQUE, NM 87109

DESIGN DATA

I. APPLICABLE CODES AND REGULATIONS.
INTERNATIONAL BUILDING CODE, 2003
ANSI
GUIDELINES, 1998

II. BUILDING FLOOR AREA

OFFICE B	3329 SF
WAREHOUSE S-1	3436 SF
TOTAL BUILDING AREA	6765 SF

III. OCCUPANCY GROUP (IBC CHAPTER 3)

OFFICE B
WAREHOUSE S1

IV. EXTERIOR WALLS AND OPENINGS

IBC TABLE 602

V. BUILDING HEIGHT

BUILDING 1 - ONE STORY 24'-0"

VI. TYPE OF CONSTRUCTION

IBC TABLE 503: OFFICE-TYPE V-B
WAREHOUSE- TYPE V-B

VII. BASIC ALLOWABLE FLOOR AREA

IBC TABLE 503: OFFICE-B-9,500 S.F.
WAREHOUSE-S1-9,000 S.F.

VIII. FIRE RESISTIVE REQUIREMENTS

IBC TABLE 601: TYPE V-B

IX. OCCUPANT LOAD

OFFICE: 3,324 S.F. / 100 = 33
OFFICE: 3,436 S.F. / 500 = 7

X. EXIT REQUIREMENTS

NUMBER OF EXITS: IBC TABLE 1014.1
EXIT REQUIREMENTS OCCUPANT LOAD LESS THAN 50
= 1 EXIT REQ. 2 PROVIDED

XI. PLUMBING REQUIREMENTS: IBC TABLE 2902.1

OFFICE: W.C. 1 PER 25 FOR THE FIRST 50 REQ.
2 W.C. PROVIDED

OFFICE: LAVATORY 1 PER 40 FOR THE FIRST 50 REQ.
2 LAVATORY PROVIDED

WAREHOUSE : 1 PER 100 REQ.
1 W.C. & 1 LAVATORY PROVIDED

XII. SEISMIC ZONE: D, CATEGORY II BLDG.

XIII. WIND SPEED: 75 MPH

XIV. EXPOSURE: C 1500 PSF

XV. SOIL BEARING CAP. 40 PSF

XVI. ROOF LOAD(TOTAL)

PARKING REQUIREMENTS (CALC'S)

NET OFFICE:	3298 SF
2300/ 200 = 12	
NET WAREHOUSE:	3436 SF
3436/2000 = 2	
= 2 REQUIRED PARKING SPACES	

PARKING PROVIDED:

CITY OF ALBUQUERQUE - OFFICE/WAREHOUSE

SURFACE PARKING:

HANDICAPPED	1 CAR
REGULAR AND COMPACT	15 CARS
TOTAL ON SITE PARKING PROVIDED	16 CARS
TOTAL REQUIRED PARKING:	14 CARS

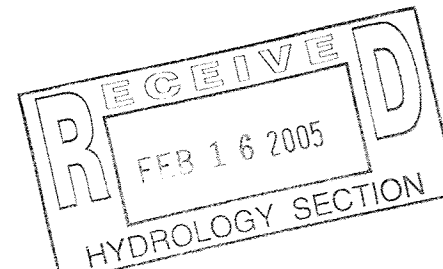


DESIGN COLLABORATIVE
THE ART AND SCIENCE OF MODERN BUILDINGS

JOB TITLE: BLUE HOLE LTD.

JOURNAL CENTER LOT #1

REVISION:	FILE NAME	JOB NO.	DATE
2-18-05			2-7-05
SHEET TITLE:			DRAWN BY
SITE PLAN			AU



A-1

