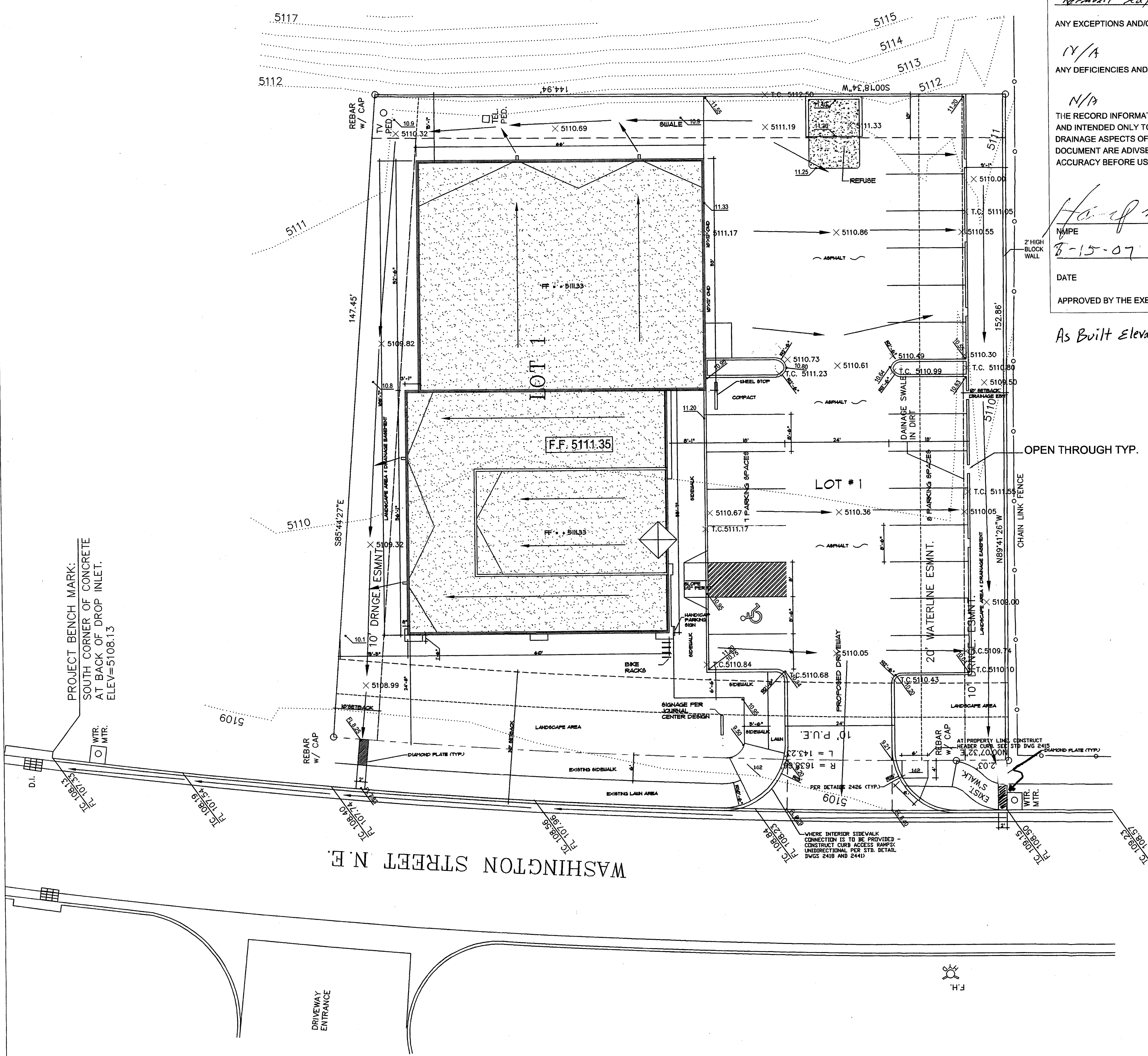




GRADING PLAN

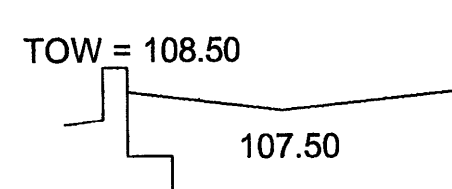
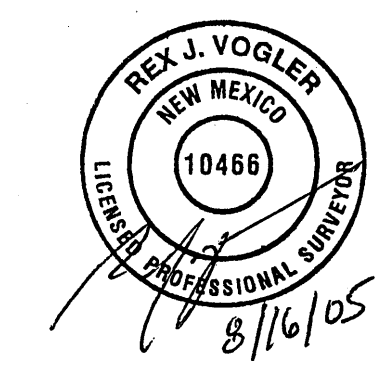
SCALE: 1"=10'-0"

NOTE:
FF 100'-0" = +5111.75' AMSL

AS BUILT ELEVATION

DRAINAGE CERT W/ SURVEY WORK BY OTHERS
12-28-01
DRAINAGE CERTIFICATION
I, HAROLD L. BENNETT, NMP# 10716, OF THE FIRM C.L. ENGINEERS, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 8-15-07. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY Rev. Vogler, NMP# 10-9-6-90 OF THE FIRM
I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 7-20-07, REPRESENTATIVE OF ACTUAL SITE, CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR Removal Fee
ANY EXCEPTIONS AND/OR QUALIFICATIONS AS LISTED BELOW:
1X/A
ANY DEFICIENCIES AND/OR REQUIRED CORRECTIONS AS LISTED BELOW:
N/A
THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.
DATE 8-15-07
APPROVED BY THE EXECUTIVE COMMITTEE ON 4-8-02

As Built Elevations by:



TYP. SWALE DETAIL

SCALE: 3/16" = 1'-0"

SIDEWALK SECTION W/DIAMOND PLATE

SCALE: NTS
SEE COA DRWG. # 2236

GENERAL NOTES

- PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATION OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AS SOON AS POSSIBLE TO RESOLVE THE CONFLICT WITH A MINIMUM AMOUNT OF DELAY.
- ALL WORK ON THIS PLAN SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THESE DRAWINGS, THEY ARE SHOWN IN AN APPROXIMATE LOCATION ONLY, AND LINES MAY EXIST WHERE NONE ARE SHOWN, THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE UTILITY OWNER OR FROM EXISTING PLANS, AND THIS INFORMATION MAY BE INCOMPLETE, OR OBSOLETE AT THE TIME OF CONSTRUCTION. THE ENGINEER HAS NOT UNDERTAKEN ANY FIELD VERIFICATION OF THESE LOCATIONS, LINE SIZES OR MATERIAL TYPE, MAKES NO REPRESENTATION THEREON, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE OR UNDERGROUND INSTALLATION IN OR NEAR THE AREA IN ADVANCE OF AND DURING ANY EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES AND UNDERGROUND FACILITIES. IN PLANNING AND CONDUCTING EXCAVATIONS, THE CONTRACTOR SHALL COMPLY WITH ALL STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.
- THE CONTRACTOR SHALL INSURE THAT NO SOIL ERODES FROM THE SITE INTO PUBLIC RIGHT-OF-WAY OR ONTO PRIVATE PROPERTY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AND BY WETTING THE SOIL TO KEEP IT FROM BLOWING.
- THE CONTRACTOR SHALL OBTAIN ANY AND ALL PERMITS REQUIRED BY THE CITY OF ALBUQUERQUE FOR THE COMPLETION OF THE WORK PRIOR TO BEGINNING CONSTRUCTION.

GRADING/DRAINAGE PLAN

THE FOLLOWING ITEMS CONCERNING JOURNAL CENTER PHASE 1 ARE CONTAINED HEREON:

- VICINITY MAP
- DRAINAGE CALCULATIONS

BLUE HOLE LTD - LOT #1 JOURNAL CENTER

BUILDING AREA	= 0.155 ACRES (6,765SF)
LANDSCAPE AREA	= 0.129 ACRES (5,625SF)
PARKING/ASPHALT AREA	= 0.236 ACRES (10,270SF)
TOTAL SITE	= 0.52 ACRES (22,660 SF)

PRECIPITATION: 360 = 2.35 IN.
1440 = 2.75 IN.
100A = 3.95 IN.

EXISTING CONDITIONS:

TREATMENT A	0.52 AC.
TREATMENT B	0 AC.
TREATMENT C	0 AC.
TREATMENT D	0 AC.

PROPOSED CONDITIONS:

0 AC.
0.129 AC.
0 AC.
0.391 AC.

EXCESS PRECIPITATION:

TREATMENT A	0.53 IN. 0.78
TREATMENT B	IN. 1.13 IN.
TREATMENT C	2.12 IN.
TREATMENT D	

PEAK DISCHARGE:

CFS/AC. 1.56
CFS/AC. 2.28
CFS/AC. 3.14
CFS/AC. 4.07

EXISTING EXCESS PRECIPITATION:

WEIGHTED E = (0.53 X 0)+(0.78 X 1.78)+(1.13 X 0)+(2.12 X 4.22)=1.034 IN.
V100 = 1.04(0.6/12)=0.517 AC.FT.

EXISTING DISCHARGE:

WEIGHTED E = 0.6(0.53) = 0.4 CFS
V100 = 4(0.6/12)=0.05 AC.FT.

PROPOSED PEAK DISCHARGE

Q100 = 0+0.178(2.28)+ 0 + 4.22(4.7) = 2.39 CFS

BENCHMARK:

PROJECT BENCHMARK OF 108.13 LOCATED ON CURB @ NORTHWEST CORNER OF PROPERTY

EROSION CONTROL MEASURES

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MANAGEMENT OF STORM RUN-OFF DURING CONSTRUCTION, HE/SHE SHALL ASSURE THAT THE FOLLOWING MEASURES ARE TAKEN
A. ADJACENT PROPERTY SHALL BE PROTECTED AT ALL TIMES BY TEMPORARY BERMS, DIKES, SWALES, AND OTHER TEMPORARY GRADING AS REQUIRED TO PREVENT STORM RUN-OFF FROM LEAVING THE SITE AND ENTERING ADJACENT PROPERTY.
B. ADJACENT PUBLIC RIGHT-OF-WAY SHALL BE PROTECTED AT ALL TIMES FROM STORM WATER RUN-OFF FROM THE SITE. NO SEDIMENT BEARING WATER SHALL BE PERMITTED TO ENTER THE PUBLIC STREETS.

EXISTING CONDITIONS

AS SHOWN BY THE VICINITY MAP, THE SITE CONTAINS 0.52 ACRES AND IS LOCATED EAST OF WASHINGTON ST. N.E. AND NORTH OF HAWKINS RD. N.E. THE SITE IS NOT LOCATED WITHIN A DESIGNATED FLOOD ZONE.

PROPOSED CONDITIONS

PROJECT TO DRAIN DIRECT DISCHARGE: DRAIN BOTH NORTH & SOUTH TO EXISTING DRAINAGE EASEMENTS. DISCHARGE GOES TO CITY STORM DRAINS AND AMAFCA STORM DRAINS, LOCATED NORTH AND WEST OF THE SUBJECT PROPERTY.

NO OFF-SITE FLOWS

NOTICE TO CONTRACTORS

- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY
- ALL WORK DETAILED ON THE SE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATION SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
- MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
- WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

APPROVAL	NAME	DATE
INSPECTOR		



DESIGN COLLABORATIVE
THE ART AND SCIENCE OF MODERN BUILDINGS

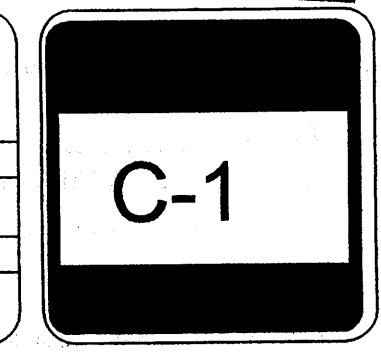
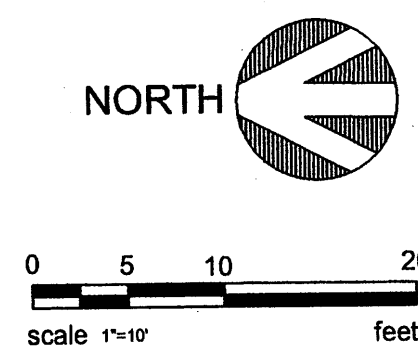
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JOURNAL CENTER LOT #1

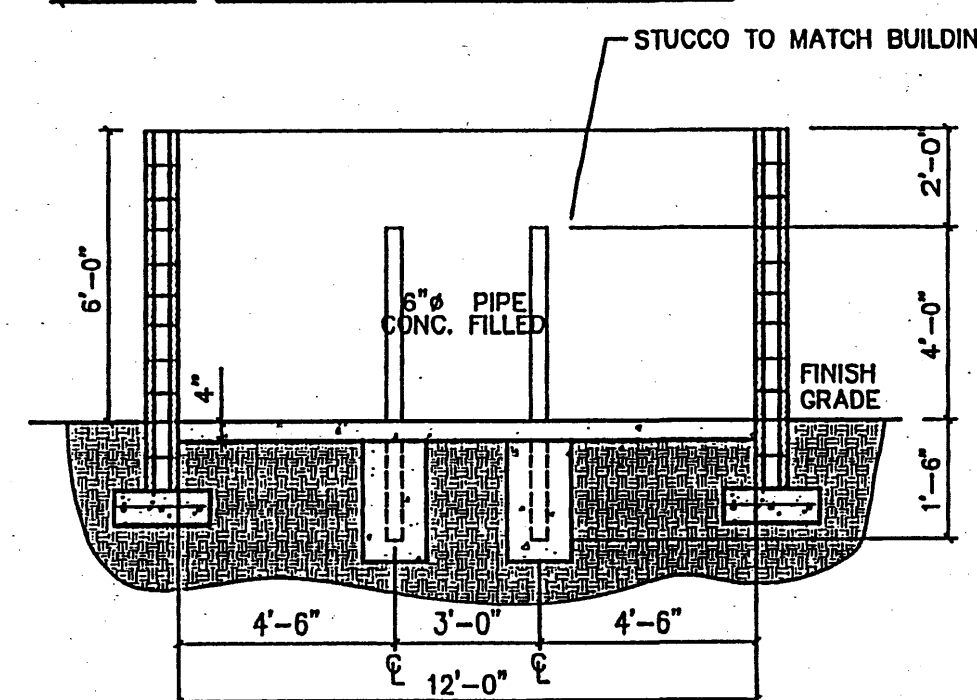
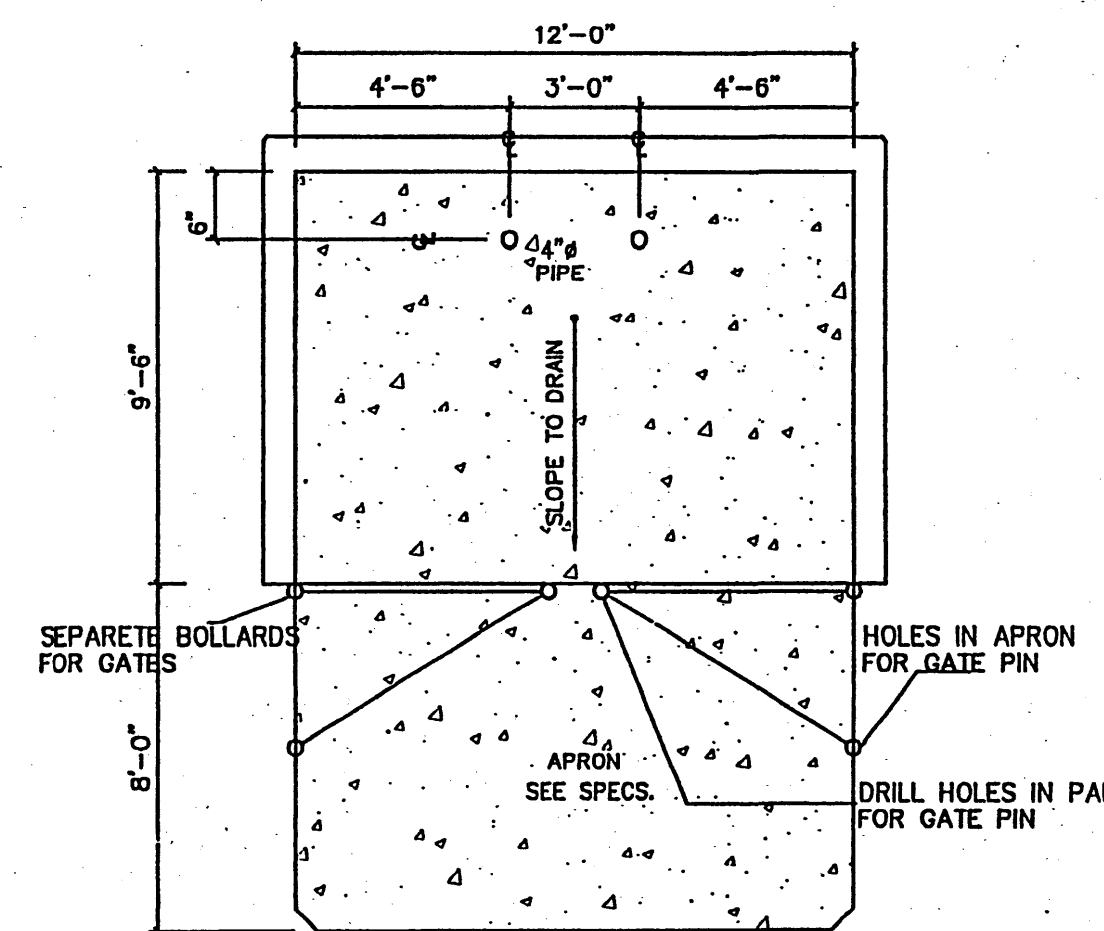
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8/14/07	C-1		02.08.05

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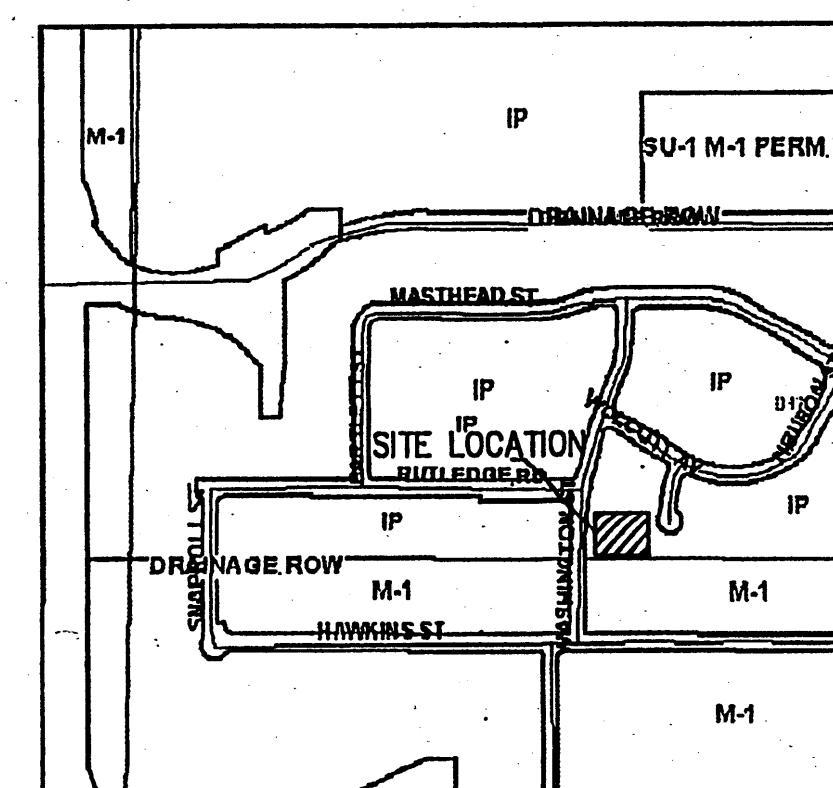
AU, RI, KB



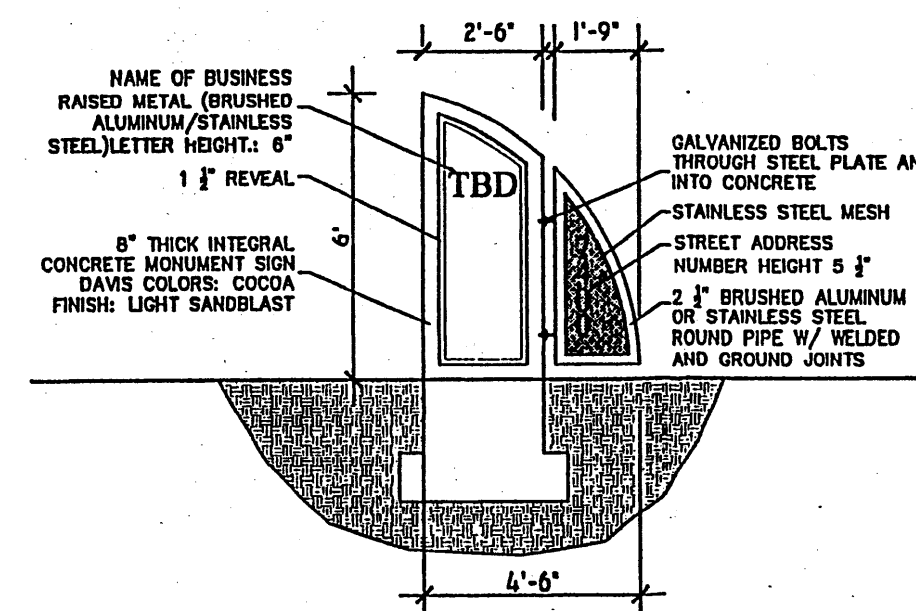
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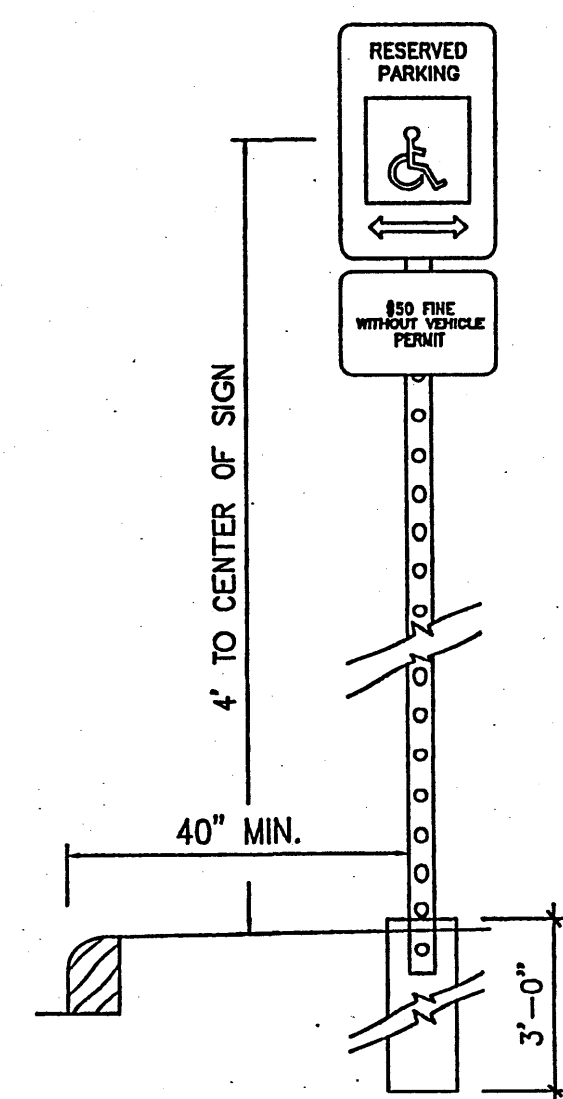
REFUSE DETAILS
NOT TO SCALE



VICINITY MAP (D-17)
NOT TO SCALE



COMPANY SIGN ELEVATION
SCALE: 1/4"=1'-0"



NOTES:

- 1: SIGNS SHALL CONFORM TO THE STANDARDS OF "THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES."
- 2: SIGN SHALL BE SET DIRECTLY FACING THE OF TRAVEL FOR THE VEHICLES ENTERING THE STALL (NOT < 45°).
- 3: SIGNS SHALL BE MOUNTED ON A STURDY POST AT A HEIGHT SPECIFIED HERE IN, OR MAY BE SECURELY BOLTED TO AN ADJACENT WALL.
- 4: EACH SPACE SHALL BE POSTED WITH A SIGN, CENTERED ON THE STALL. HOWEVER, ONE SIGN MAY BE USED BETWEEN THE TWO SPACES WITH THE APPROPRIATE ARROWS.
- 5: 40" MIN. FROM FACE OF ADJACENT CURB OR BUMPER BLOCK.

SPECIFICATIONS

CONC SLAB:	4" THICK, 3000 PSI, 3/4" AGG. W/6X6-10/10WWM OR EQ., SLOPE TO DRAIN 1/8" PER FOOT.
APRON:	6" THICK, 3000 PSI, 3/4" AGG W/6X6-10/10WWM OR EQ. 12"x8"x6" WITH 1/2" EXPANSION JOINT
FOOTING:	AS REQUIRED PER DESIGN
BOLLARDS:	4" O.D. CONC. FILLED PIPE SHALL BE ENCASED IN 6" CONC. ALL AROUND AND EMBEDDED 2'-0"

PROJECT NUMBER: 1004/4

Application Number: 05DRB-00670

Is an Infrastructure List required? () Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

<i>Wali Sy</i> Traffic Engineering, Transportation Division	<i>6-27-05</i> Date
<i>Roger Sheen</i> Utilities Department	<i>6-27-05</i> Date
<i>Christina Sandoval</i> Parks and Recreation Department	<i>4/27/05</i> Date
<i>Bradley L. Bigham</i> City Engineer	<i>4/27/05</i> Date
<i>N/A</i> * Environmental Health Department (conditional)	Date
<i>Michael Huston</i> Solid Waste Management	<i>4-27-05</i> Date
<i>D Malson</i> ORIS Chairperson, Planning Department	<i>5/17/05</i> Date

This Plan is consistent with the concepts of the original Journal Center Site Plan approved by the Environmental Planning Commission on August 16, 1980 (AX-79-13, Z-79-80-2) and the IP zone.

SHEET INDEX

A-1 SITE PLAN & DESIGN DATA
C-1 GRADING PLAN
L-1 LANDSCAPE PLAN
A-4 ELEVATIONS

BUILDING DATA

JOURNAL CENTER PHASE 2
UNIT 1, LOT #1
7400 WASHINGTON ST. N.E.
ALBUQUERQUE, NM 87109

DESIGN DATA

I. APPLICABLE CODES AND REGULATIONS.
INTERNATIONAL BUILDING CODE, 2003
ANSI
GUIDELINES, 1998

II. BUILDING FLOOR AREA

OFFICE B	3329 SF
WAREHOUSE S-1	3436 SF
TOTAL BUILDING AREA	6765 SF

III. OCCUPANCY GROUP (IBC CHAPTER 3)

OFFICE B
WAREHOUSE S1

IV. EXTERIOR WALLS AND OPENINGS

IBC TABLE 602

V. BUILDING HEIGHT

BUILDING 1 - ONE STORY 24'-0"

VI. TYPE OF CONSTRUCTION

IBC TABLE 503: OFFICE-TYPE V-B
WAREHOUSE- TYPE V-E

VII. BASIC ALLOWABLE FLOOR AREA
IBC TABLE 503: OFFICE-B-9,000 S.F.
WAREHOUSE-S1-9,000 S.F.
MIXED USE OCCUPANCY W/ NON SEPARATED USE PROVISION
UTILIZING THE PROVISION UNDER THE S1 OCCUPANCY

VIII. FIRE RESISTIVE REQUIREMENTS

IBC TABLE 601: TYPE V-B

IX. OCCUPANT LOAD

OFFICE: 3,324 S.F. / 100 = 33
OFFICE: 3,436 S.F. / 500 = 7

X. EXIT REQUIREMENTS

NUMBER OF EXITS: IBC TABLE 1014.1
EXIT REQUIREMENTS OCCUPANT LOAD LESS THAN 50
= 1 EXIT REQ. 2 PROVIDED

XI. PLUMBING REQUIREMENTS: IBC TABLE 2902.1

OFFICE: W.C. 1 PER 25 FOR THE FIRST 50 REQ.
2 W.C. PROVIDED

OFFICE: LAVATORY 1 PER 40 FOR THE FIRST 50 REQ.
2 LAVATORY PROVIDED

WAREHOUSE : 1 PER 100 REQ.
1 W.C. & 1 LAVATORY PROVIDED

XII. SEISMIC ZONE: 2B, CATEGORY II BLDG

XIII. WIND SPEED: 75 MPH
XIV. EXPOSURE: C
XV. SOIL BEARING CAP. 1500 PSF
XVI. ROOF LOAD(TOTAL) 40 PSF

PARKING REQUIREMENTS (CALC'S)

NET OFFICE: 3298 SF
2300 / 200 = 12

NET WAREHOUSE: 3436 SF
3436 / 2000 = 2
= 2 REQUIRED PARKING SPACES

PARKING PROVIDED:
CITY OF ALBUQUERQUE - OFFICE/WAREHOUSE

SURFACE PARKING:	
HANDICAPPED	1 CAR
REGULAR AND COMPACT	15 CARS
TOTAL ON SITE PARKING PROVIDED	16 CARS
TOTAL REQUIRED PARKING:	14 CARS

KICC
DESIGN COLLABORATIVE
THE ART AND SCIENCE OF MODERN BUILDINGS

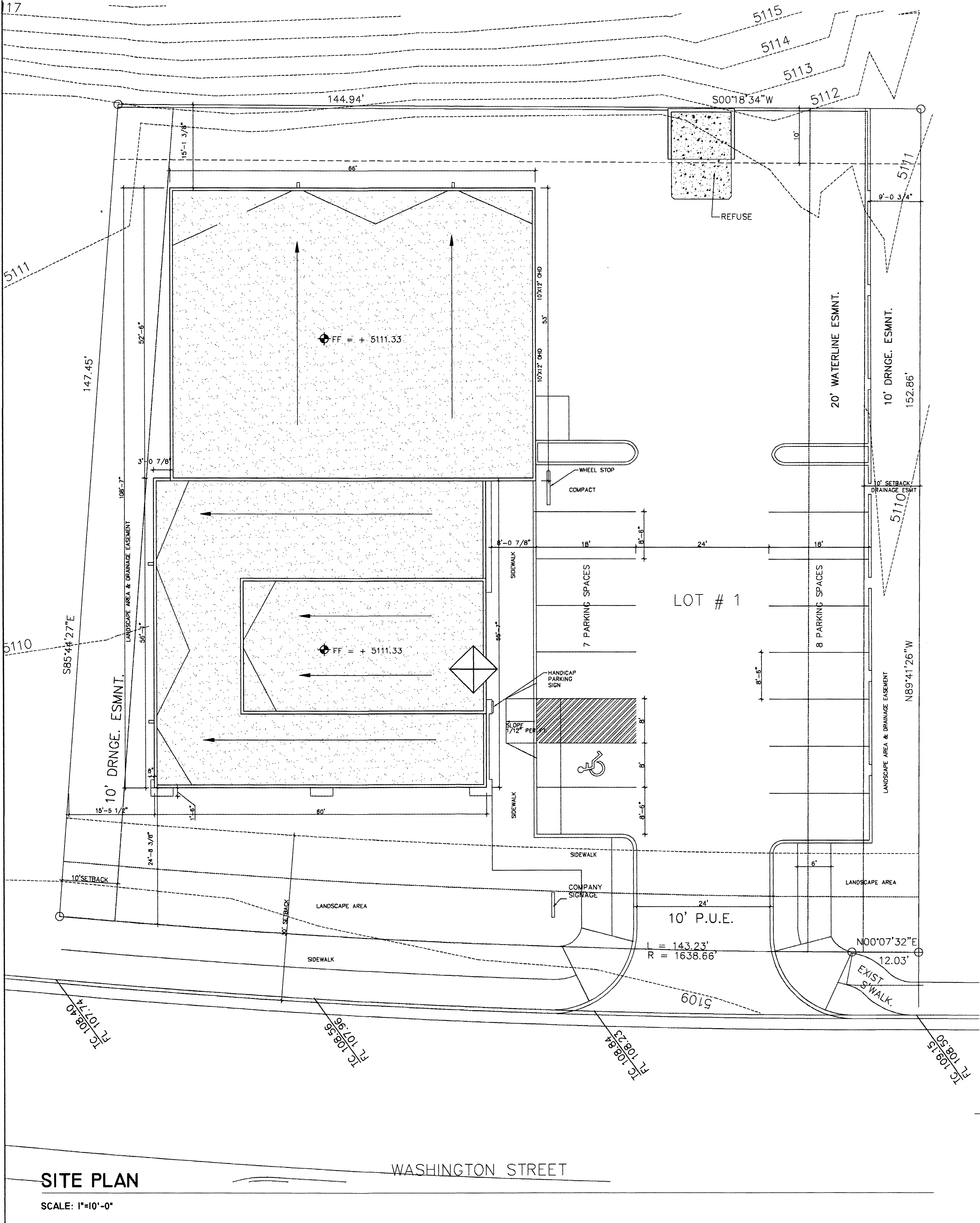
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JOURNAL CENTER LOT #

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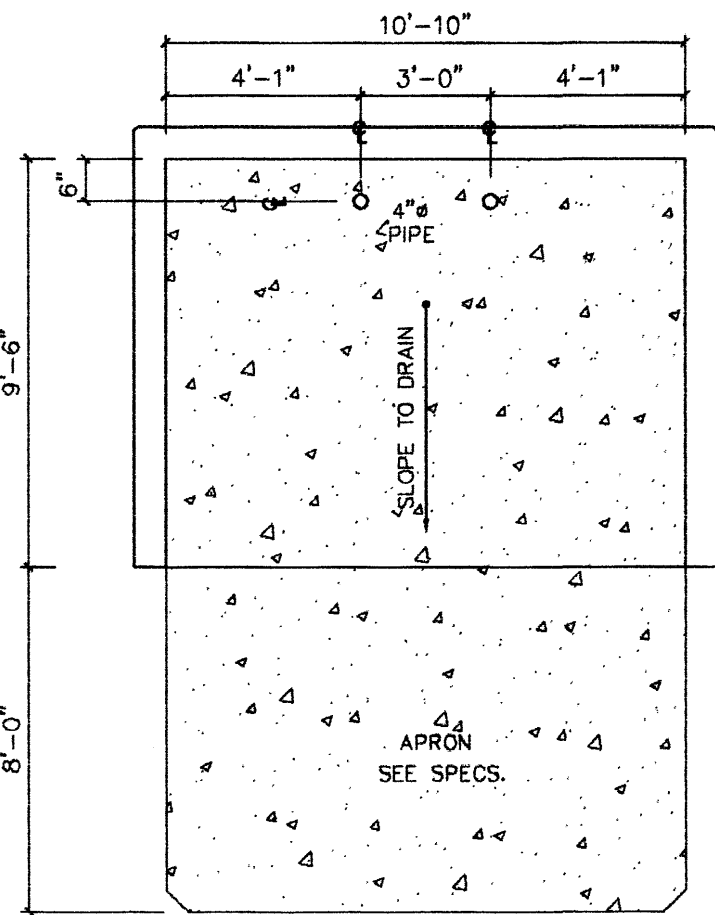
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RECEIVED
MAY 02 2007
HYDROLOGY SECTION

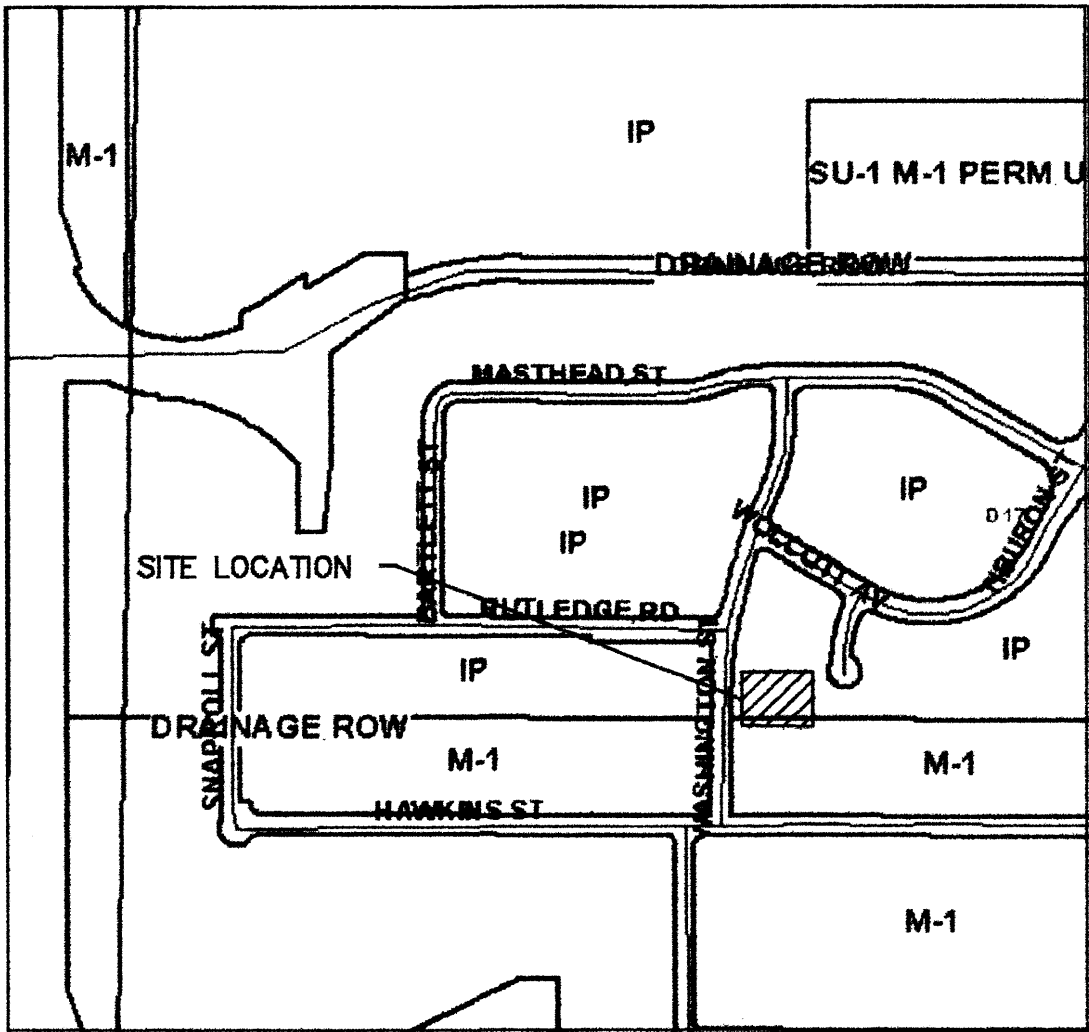


SITE PLAN

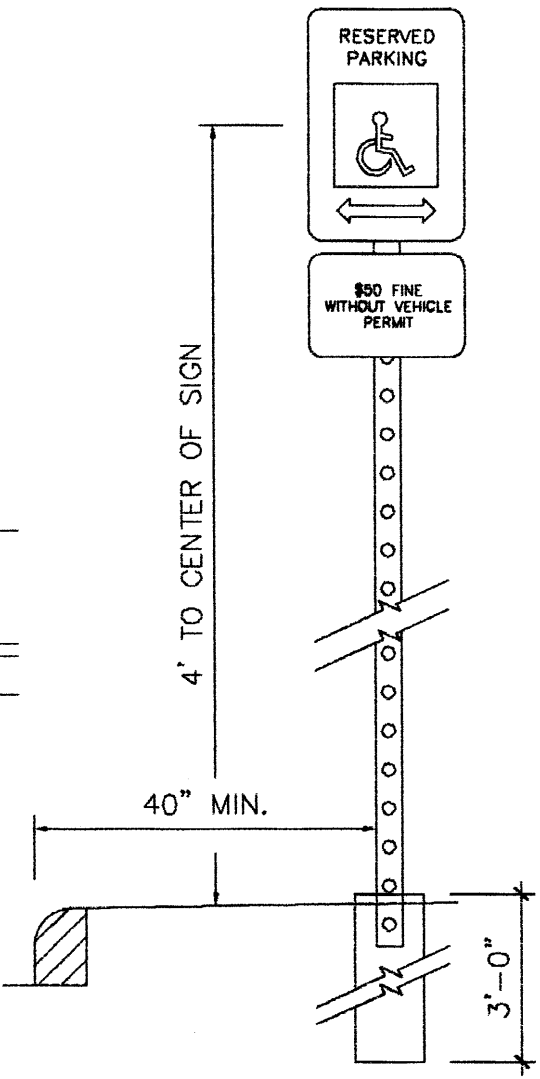
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- SPECIFICATIONS**
- CONC SLAB:** 4" THICK, 3000 PSI, 3/4" AGG. W/6X6-10/10WWM OR EQ., SLOPE TO DRAIN 1/8" PER FOOT.
- APRON:** 6" THICK, 3000 PSI, 3/4" AGG. W/6X6-10/10WWM OR EQ. 12'X8'X6' WITH 1/2" EXPANSION JOINT
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- BOLLARDS:** 4" O.D. CONC. FILLED PIPE SHALL BE ENCASED IN 6" CONC. ALL AROUND AND EMBEDDED 2'-0"

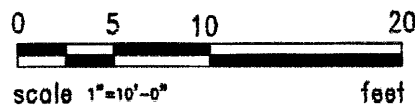


VICINITY MAP (D-17)
NOT TO SCALE



NOTES:

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- S-4 FRAMING DETAILS
- A-2 FLOOR PLAN
- A-3 NOT USED
- A-4 ELEVATIONS
- A-5.1 BUILDING SECTIONS
- E-1 POWER PLAN
- E-2 LIGHTING PLAN
- P-1 PLUMBING PLAN
- M-1 MECHANICAL PLAN

BUILDING DATA

JOURNAL CENTER PHASE 2
UNIT 1, LOT #1
ALBUQUERQUE, NM 87109
7400 Washington St. N.E.

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|---------------------|---------|
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- XVI. ROOF LOAD(TOTAL)

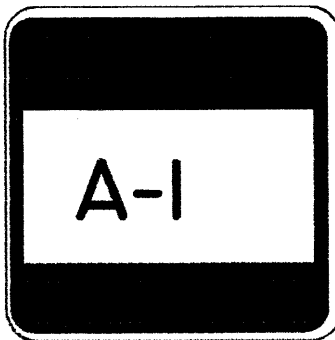
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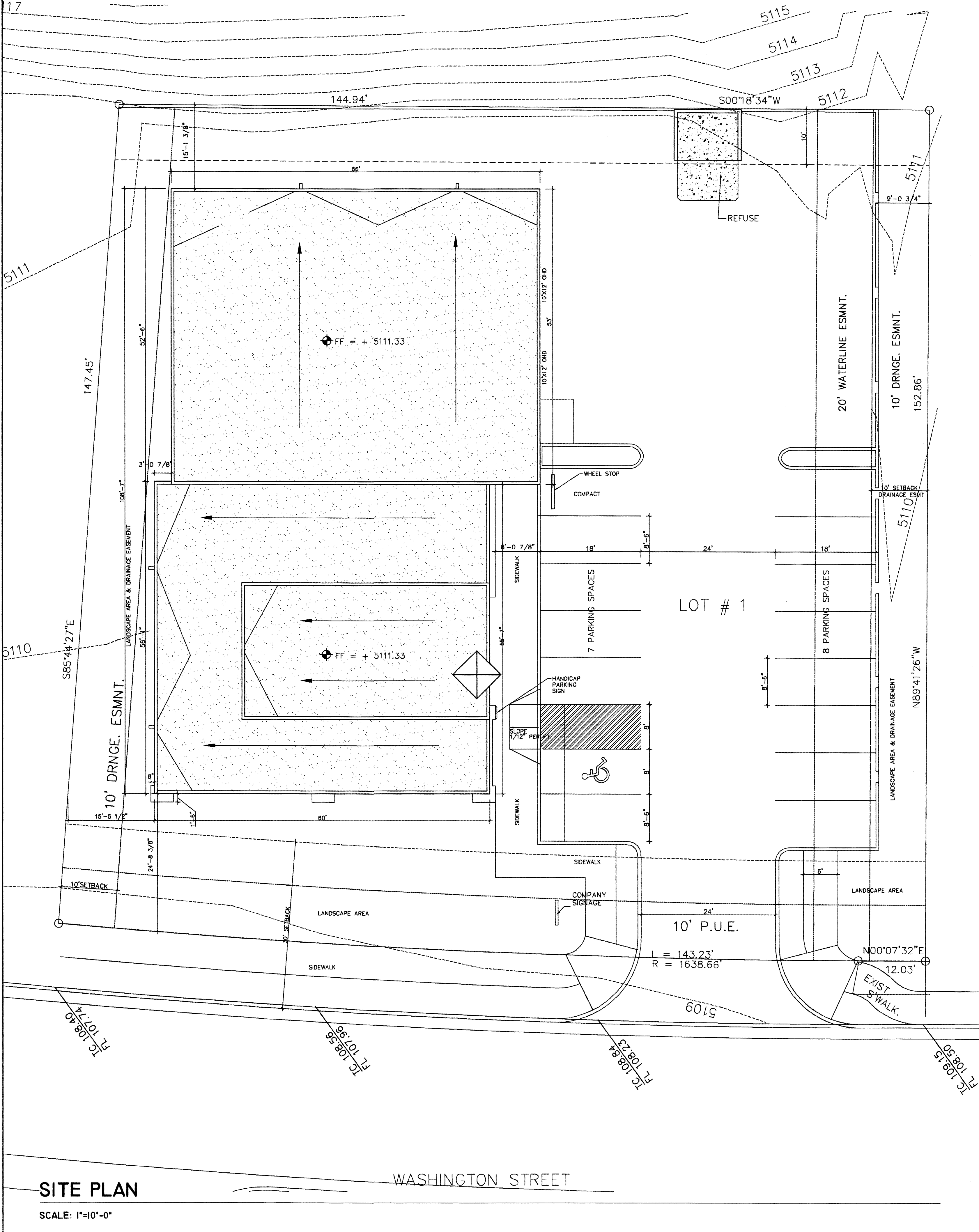
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KCC
DESIGN COLLABORATIVE
THE ART AND SCIENCE OF MODERN BUILDINGS

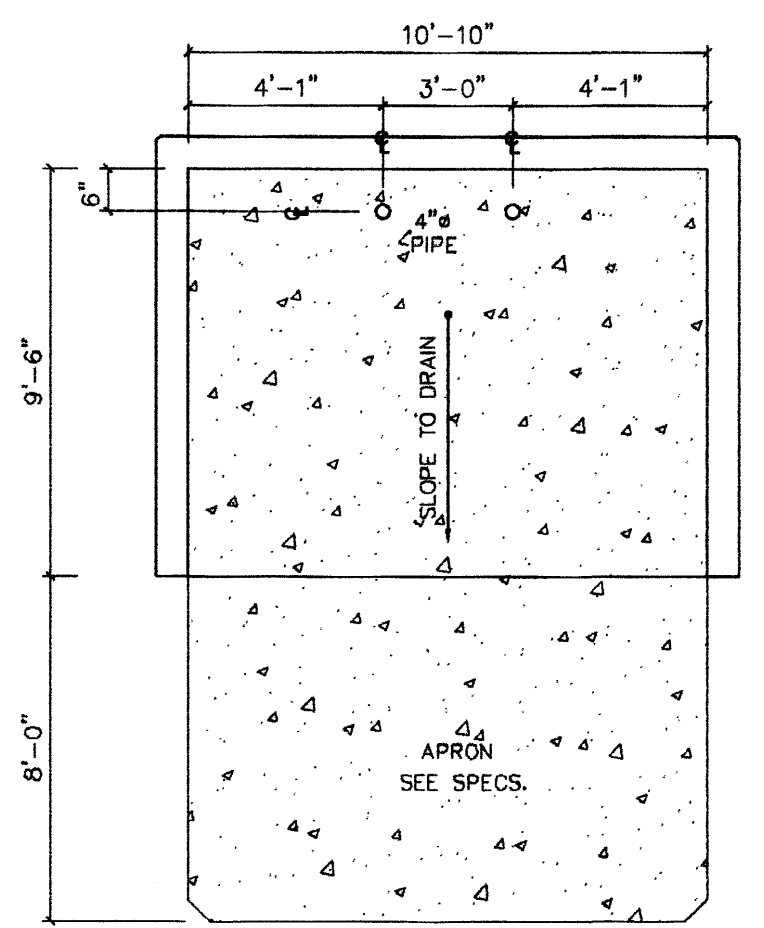
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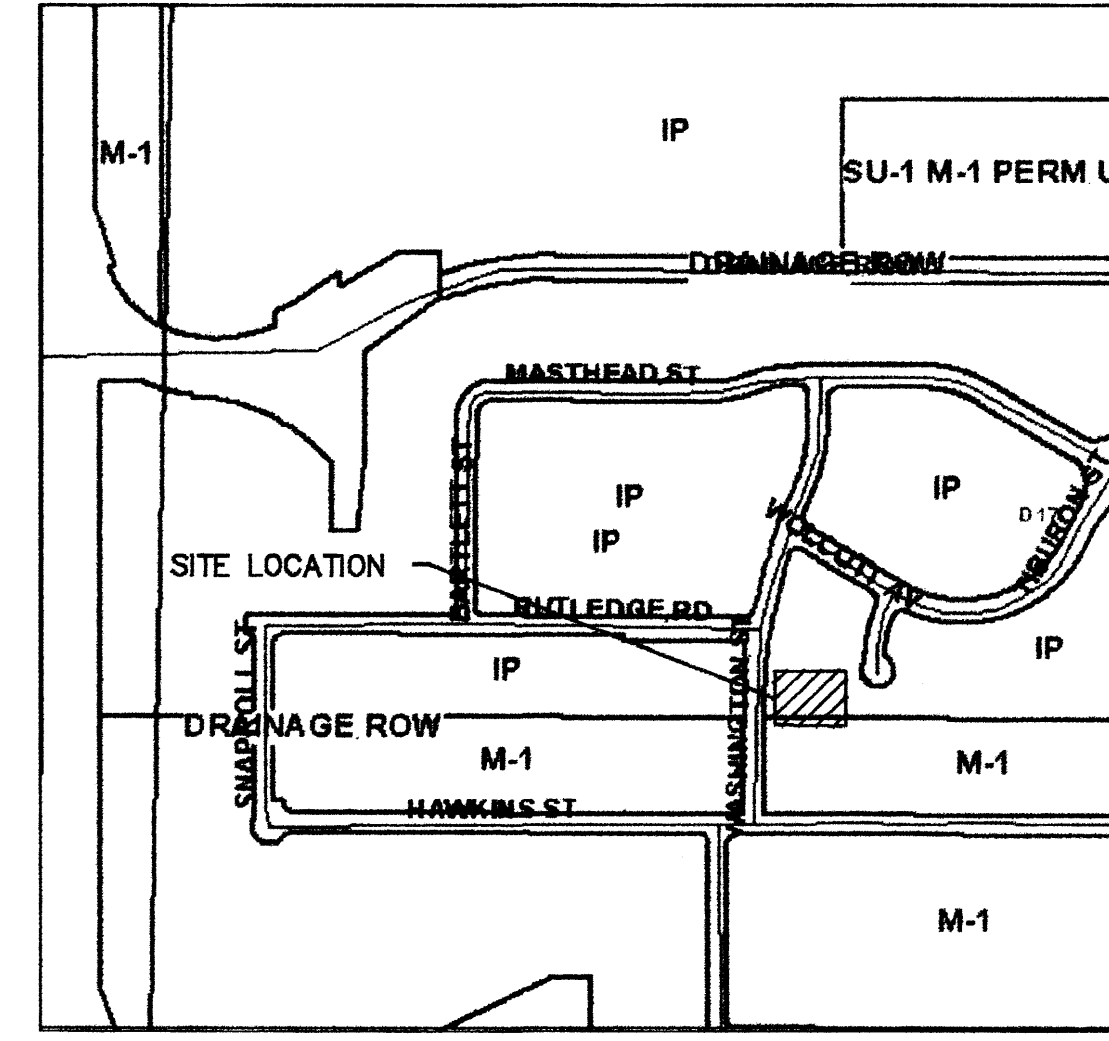


SITE PLAN

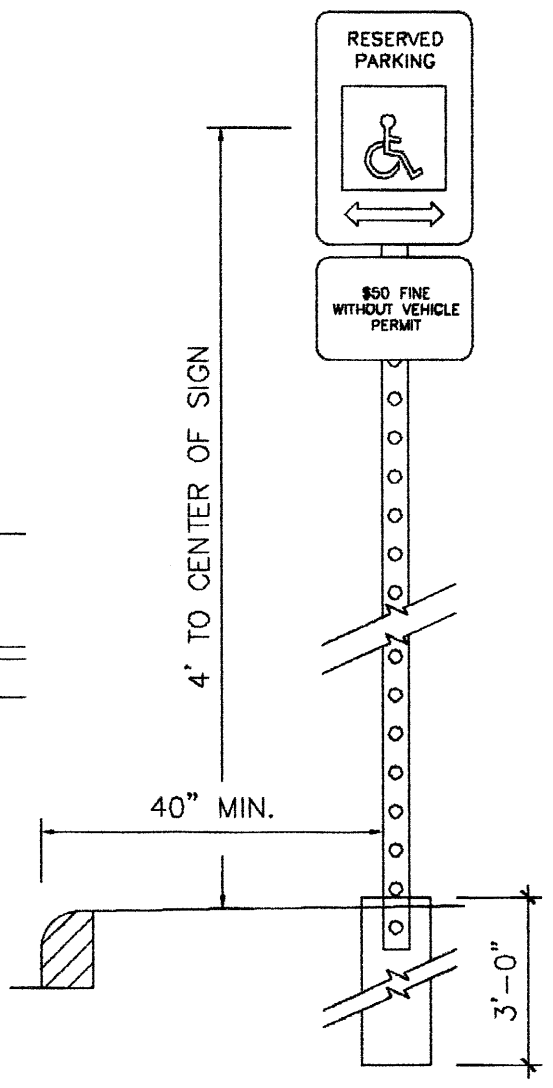
SCALE: 1"=10'-0"



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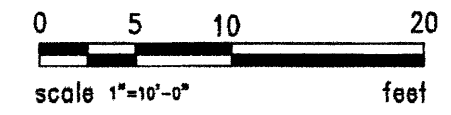


VICINITY MAP (D-17)
NOT TO SCALE



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BUILDING DATA

JOURNAL CENTER PHASE 2
UNIT 1, LOT #1
ALBUQUERQUE, NM 87109

DESIGN DATA

- I. APPLICABLE CODES AND REGULATIONS.
INTERNATIONAL BUILDING CODE, 2003
ANSI
GUIDELINES, 1998
- II. BUILDING FLOOR AREA
OFFICE-B 3329 SF
WAREHOUSE-S-1 3436 SF
TOTAL BUILDING AREA 6765 SF
- III. OCCUPANCY GROUP (IBC CHAPTER 3)
OFFICE B
WAREHOUSE S1
- IV. EXTERIOR WALLS AND OPENINGS
IBC TABLE 602
- V. BUILDING HEIGHT
BUILDING 1 - ONE STORY 24'-0"
- VI. TYPE OF CONSTRUCTION
IBC TABLE 503: OFFICE-TYPE V-B
WAREHOUSE-TYPE V-B
- VII. BASIC ALLOWABLE FLOOR AREA
IBC TABLE 503: OFFICE-B-9,500 S.F.
WAREHOUSE-S1-9,000 S.F.
- VIII. FIRE RESISTIVE REQUIREMENTS
IBC TABLE 601: TYPE V-B
- IX. OCCUPANT LOAD
OFFICE: 3,324 S.F. / 100 = 33
OFFICE: 3,436 S.F. / 500 = 7
- X. EXIT REQUIREMENTS
NUMBER OF EXITS: IBC TABLE 1014.1
EXIT REQUIREMENTS OCCUPANT LOAD LESS THAN 50
= 1 EXIT REQ. 2 PROVIDED
- XI. PLUMBING REQUIREMENTS: IBC TABLE 2902.1
OFFICE: W.C. 1 PER 25 FOR THE FIRST 50 REQ.
2 W.C. PROVIDED
OFFICE: LAVATORY 1 PER 40 FOR THE FIRST 50 REQ.
2 LAVATORY PROVIDED
WAREHOUSE : 1 PER 100 REQ.
1 W.C. & 1 LAVATORY PROVIDED
- XII. SEISMIC ZONE: D, CATEGORY II BLDG.
- XIII. WIND SPEED: 75 MPH
- XIV. EXPOSURE: C 1500 PSF
- XV. SOIL BEARING CAP. 40 PSF
- XVI. ROOF LOAD(TOTAL)

PARKING REQUIREMENTS (CALC'S)

NET OFFICE:	3298 SF
2300/ 200 = 12	
NET WAREHOUSE:	3436 SF
3436/2000 = 2	
= 2 REQUIRED PARKING SPACES	

PARKING PROVIDED:	
CITY OF ALBUQUERQUE - OFFICE/WAREHOUSE	
SURFACE PARKING:	
HANDICAPPED	1 CAR
REGULAR AND COMPACT	15 CARS
TOTAL ON SITE PARKING PROVIDED	16 CARS
TOTAL REQUIRED PARKING:	14 CARS

KICC
DESIGN COLLABORATIVE
THE ART AND SCIENCE OF MODERN BUILDINGS

JOB TITLE: BLUE HOLE LTD.
JOURNAL CENTER LOT #1

REVISION:	FILE NAME	JOB NO.	DATE
2-15-05			2-7-05

SHEET TITLE: SITE PLAN

DRAWN BY: AU

