

NOTICE TO CONTRACTOR

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN THE CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
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4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OR SURVEYOR SO THAT THE CONFLICT CAN BE RESOLVED WITH MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMP ACTION SHALL BE ACCORDING TO ARTERIAL STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER SERVED.

THE FOLLOWING NOTES ALSO APPLY WHEN CHECKED

- ☑ ALL UTILITIES AND UTILITY SERVICE LINES SHALL BE INSTALLED PRIOR TO CONSTRUCTION OF ANY SIDEWALK OR PAVEMENT.
- ☑ BACKFILL COMP ACTION SHALL BE ACCORDING TO ARTERIAL STREET USE.
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- IF CURB IS DEPRESSED FOR A DRIVEPAD OR A HANDICAP RAMP, THE DRIVEPAD OR RAMP SHALL BE CONSTRUCTED PRIOR TO ACCEPTANCE OF THE CURB AND GUTTER.
- ☑ ALL STORM DRAINAGE FACILITIES SHALL BE COMPLETED, INSPECTED AND APPROVED PRIOR TO FINAL ACCEPTANCE.

APPROVALS	ENGINEERS	DATE
A.C.E./DESIGN		
INSPECTOR		
A.C.E./FIELD		

DISCUSSION

PHASE I

PHASE I OF THE DEVELOPMENT OF THIS PROJECT, ON EXISTING PARCEL 16, INCLUDED THE BUILDING, ASSOCIATED 24-FOOT WIDE PAVED DRIVE WEST OF THE BUILDING, ASSOCIATED PAVED PARKING WEST OF THE BUILDING, PAVED SERVICE YARD SOUTH OF THE BUILDING, RETAINING WALL AT THE EAST PROPERTY LINE, THE CONCRETE/CRUSHER FINE CHANNEL AT THE WEST PROPERTY LINE, AND THE NEW SIDEWALK CULVERTS TO RUTLEDGE ROAD.

A CERTIFICATE OF OCCUPANCY FOR PHASE I WAS ISSUED ON DECEMBER 18, 2003

PHASE II

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A CERTIFICATE OF OCCUPANCY WAS ISSUED FOR THE PHASE II DEVELOPMENT ON MARCH 26, 2004.

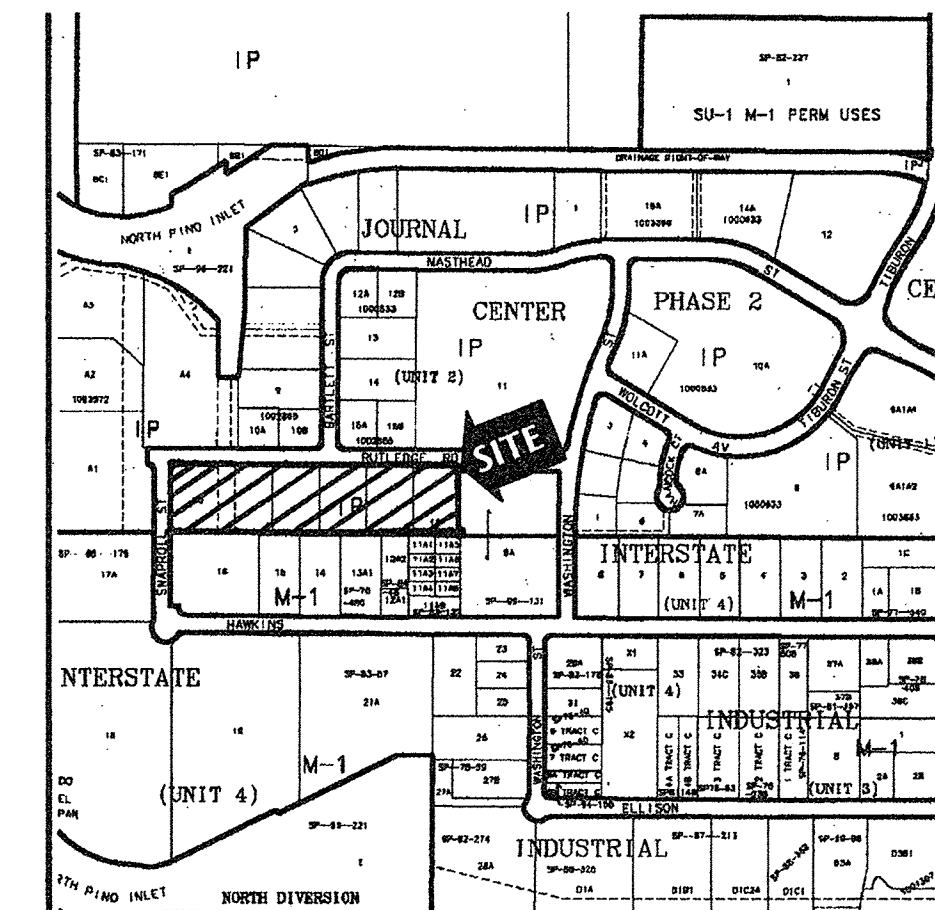
TABLE 1

100-YEAR HYDROLOGIC CALCULATIONS

BASIN #	AREA (acre)	LAND TREATMENT				WEIGHTED	V (6-hr) (acre-ft)	V (6-hr) (cu-ft)	V(10 day) (acre-ft)	V(10 day) (cu-ft)	Q (cfs)
		A (%)	B (%)	C (%)	D (%)	E (in)					
EXISTING CONDITIONS											
BASIN A	1.0652	100.00	10.00	0.00	0.00	0.61	0.05	2,351	0.05	2,351	1.90
BASIN B	1.1489	100.00	0.00	0.00	0.00	0.53	0.05	2,210	0.05	2,210	1.79
BASIN C	0.8814	100.00	0.00	0.00	0.00	0.53	0.04	1,686	0.04	1,686	1.37
DEVELOPED CONDITIONS											
BASIN A	1.0652	0.00	5.70	5.00	89.30	1.99	0.18	7,710	0.30	13,235	4.78
BASIN B	1.1489	0.00	0.00	0.00	100.00	2.12	0.20	8,841	0.36	15,514	5.40
BASIN C	0.8814	0.00	6.20	6.10	87.70	1.98	0.15	6,324	0.25	10,813	3.93
EXCESS PRECIP.		0.53	0.78	1.13	2.12	Ei (in)					
PEAK DISCHARGE		1.56	2.28	3.14	4.7	Q _{pi} (cfs)					
WEIGHTED E (in) = (E _A)(%A) + (E _B)(%B) + (E _C)(%C) + (E _D)(%D)							ZONE = 2				
V _{6-hr} (acre-ft) = (WEIGHTED E)(AREA)/12							P _{6-hr} (in.) = 2.35				
V _{10day} (acre-ft) = V _{6-hr} + (A _D)(P _{10day} - P _{6-hr})/12							P _{24-hr} (in.) = 2.75				
Q (cfs) = (Q _{pi})(A _A) + (Q _{pi})(A _B) + (Q _{pi})(A _C) + (Q _{pi})(A _D)							P _{10day} (in.) = 3.95				

PHASE III

IN THE ORIGINAL SITE DRAINAGE PLAN, PHASE III INCLUDED A BUILDING ON PARCEL 19 AS WELL AS ASSOCIATED PAVED PARKING, DRIVES, AND SOUTH SERVICE YARD AND WAS THE CONCLUSION TO THIS DEVELOPMENT. SINCE THE SITE MASTER DRAINAGE PLAN WAS COMPLETED, THE DEVELOPER HAS PURCHASED LOT 20 AND IS PROPOSING TO CONSTRUCT A 40,000 SQUARE FOOT BUILDING WITH ASSOCIATED PAVED PARKING ON BOTH LOT 19 AND 20 AS SHOWN ON THIS PLAN. THE DRAINAGE CONCEPT SHOWN ON THE ORIGINAL SITE MASTER DRAINAGE PLAN IS STILL FOLLOWED ON THIS PROPOSED PLAN EXCEPT THE CHANNEL ALONG THE WEST SIDE OF LOT 19 IS NO LONGER NEEDED. THE SIDEWALK CULVERTS ORIGINALLY PROPOSED ON RUTLEDGE WILL STILL BE USED TO DRAIN THE NORTHERN PORTION (BASIN A) OF THE PHASE III DEVELOPMENT. THE RUNOFF FROM PHASES I AND II HAVE BEEN DIVERTED THROUGH THE EXISTING DRIVEPAD ON THE WEST EDGE OF PHASE II, INTO RUTLEDGE AND INTO THE EXISTING STORM DRAIN SYSTEM NORTH OF THE CENTER OF THE PHASE III DEVELOPMENT. IN ADDITION TO THE PHASE I AND II RUNOFF DIRECTED TO THE EXISTING STORM DRAIN SYSTEM, THE RUNOFF FROM PHASE III BASIN A WILL DISCHARGE THROUGH TWO PROPOSED SIDEWALK CULVERTS INTO RUTLEDGE AND ULTIMATELY IN THE EXISTING STORM DRAIN SYSTEM. THIS PROPOSED GRADING PLAN ADDS A NEW SIDEWALK CULVERT IN THE NORTHWEST CORNER OF THE EXPANDED PARKING LOT THAT DRAINS THE WEST (BASIN C) PARKING LOT IN TO SNAPROLL ROAD TO THE WEST OF THE SITE IN ACCORDANCE WITH THE EXISTING MASTER DRAINAGE PLAN PREPARED BY BOHANNAN HUSTON. THE SOUTHERN PORTION OF THE BUILDING AND SOUTH ACCESS DRIVES, BASIN B WILL DRAIN WEST THROUGH THE SOUTHERN PORTION OF THE WEST PARKING LOT AND INTO SNAPROLL ROAD THROUGH THE PROPOSED DRIVEPAD NEAR THE SOUTHWEST CORNER OF THE SITE. THIS IS IN CONTRAST TO THE BOHANNAN HUSTON MASTER DRAINAGE PLAN AS IT WILL DIVERT AN ADDITIONAL 5.40 CFS INTO SNAPROLL ROAD. THIS DRAINAGE WILL ULTIMATELY BE CONVEYED THROUGH A DEVELOPMENT ON THE WEST SIDE OF SNAPROLL TO THE NORTH DIVERSION CHANNEL. SINCE THE DEVELOPER OF THE SITE WEST OF SNAPROLL THIS ADDITIONAL RUNOFF WILL PASS THROUGH IS THE SAME AS THE DEVELOPER OF THIS PROJECT, WE HAVE COORDINATED WITH WILSON AND COMPANY, THE DESIGNER OF THE ADJACENT SITE, AND THE CITY OF ALBUQUERQUE HYDROLOGY DEPARTMENT TO REDESIGN THEIR RUNDOWNS INTO THE NORTH DIVERSION CHANNEL TO CONVEY THIS ADDITIONAL FLOW.

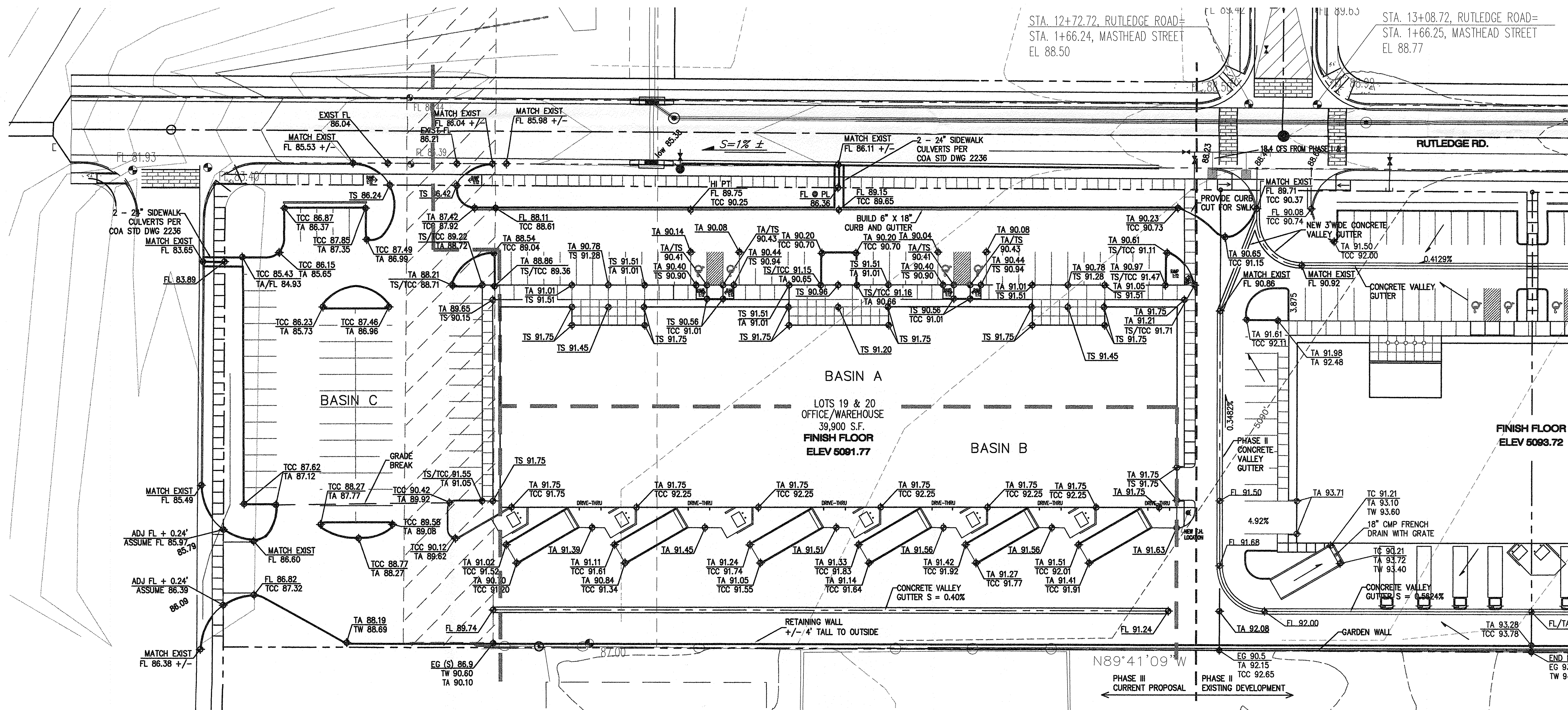


VICINITY MAP

D-17-Z

LEGAL DESCRIPTION

LOTS 16-19, JOURNAL CENTER 2 (PHASE I, II, AND ORIGINAL III)
 LOTS 19 AND 20, JOURNAL CENTER 2 (EXPANDED PHASE III)



PHASE III - MODIFIED
 SITE GRADING AND DRAINAGE PLAN
 INDUSTRIAL PARK @ JOURNAL CENTER 2
 LOTS 19 AND 20, JOURNAL CENTER 2
 ALBUQUERQUE, NEW MEXICO

REVISIONS

DATE MARCH 30, 2005

NORTH SCALE

1" = 30'

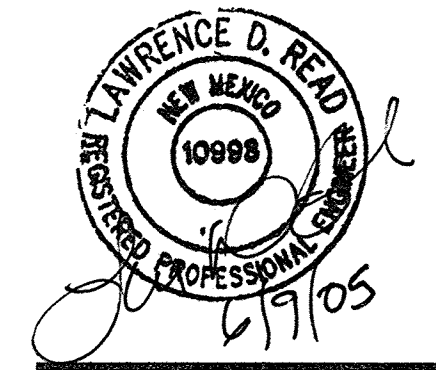
DRAWING NAME

GRADING PLAN

SHEET NUMBER

C-1

ENGINEER SEAL



PROJECT

SO-19 FORM

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A CERTIFICATE OF OCCUPANCY WAS ISSUED FOR THE PHASE II DEVELOPMENT ON MARCH 26, 2004.

TABLE 1

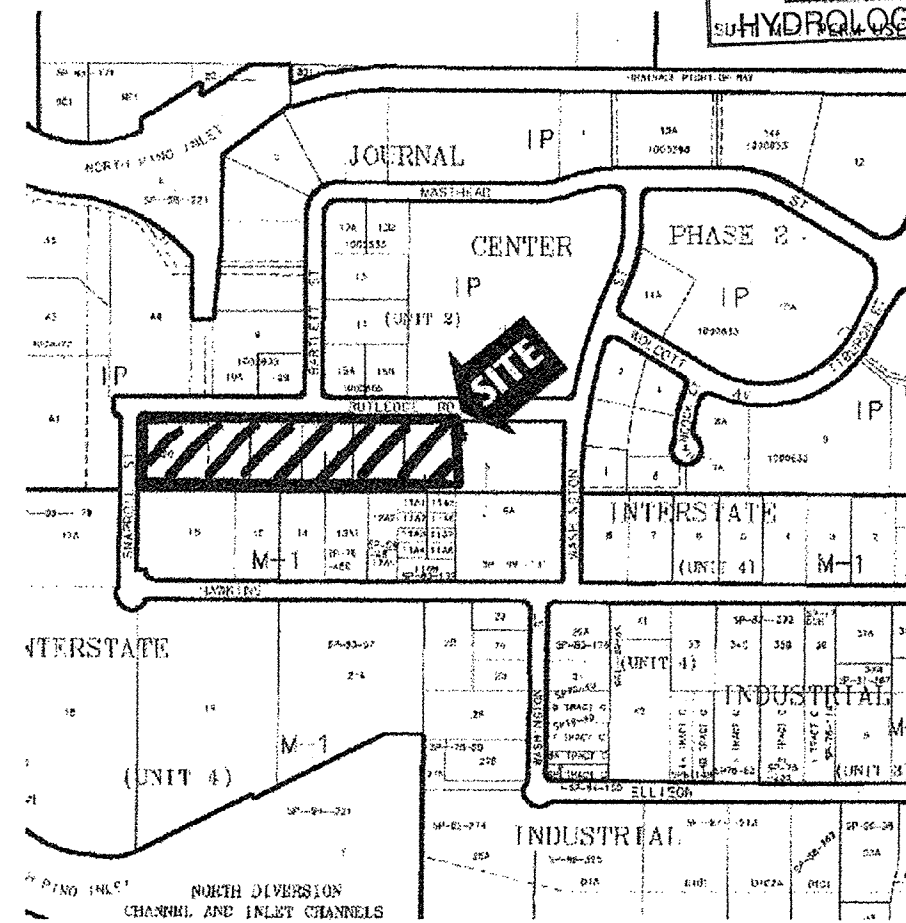
100-YEAR HYDROLOGIC CALCULATIONS

BASIN #	AREA (acre)	LAND TREATMENT				WEIGHTED E (in)	V (6-hr) (acre-ft)	V (6-hr) (cu-ft)	V(10 day) (acre-ft)	V(10 day) (cu-ft)	Q (cfs)
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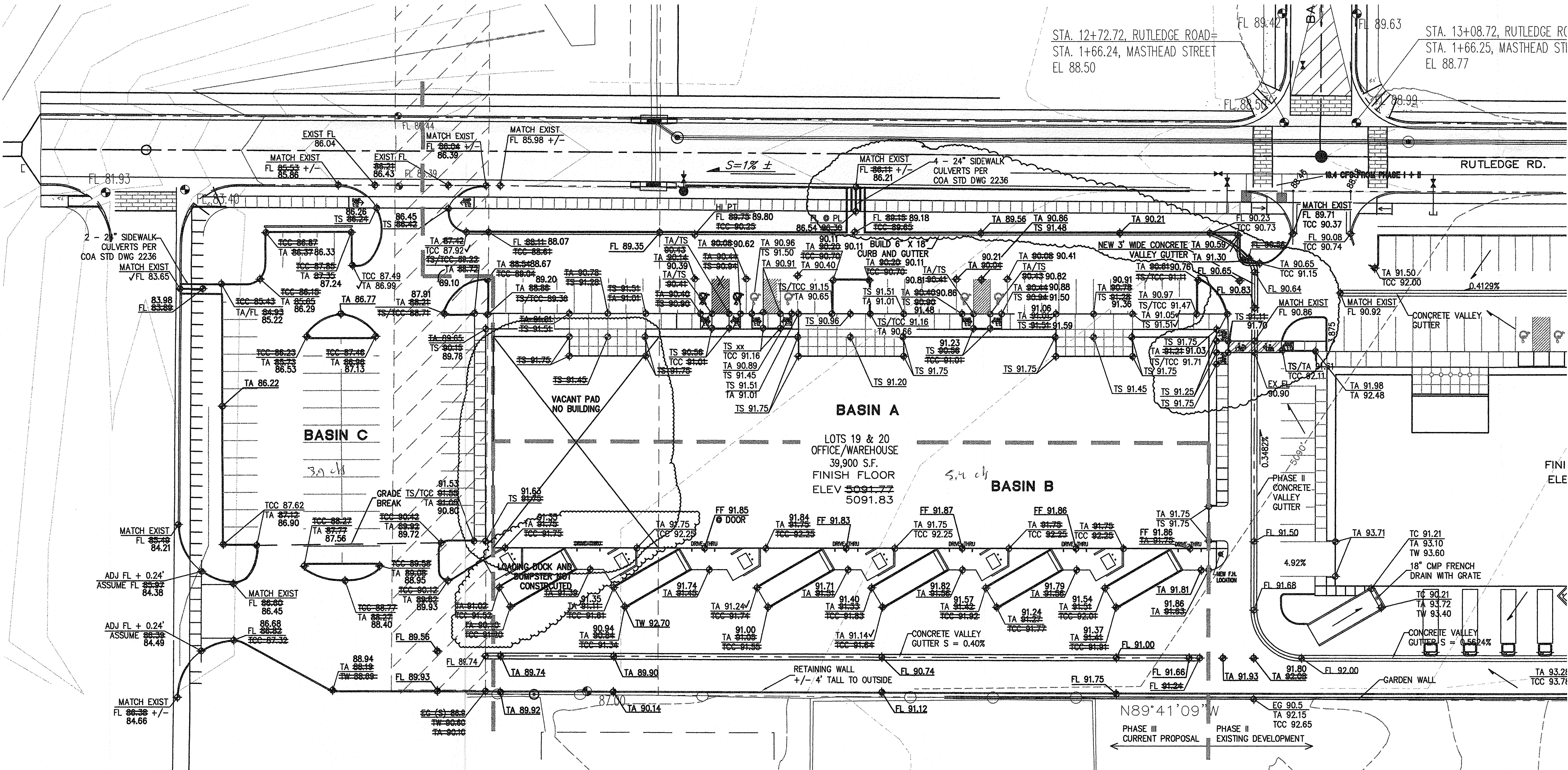


VICINITY MAP

D-17-Z

LEGAL DESCRIPTION

LOTS 16-19, JOURNAL CENTER 2 (PHASE I, II, AND ORIGINAL III)
LOTS 19 AND 20, JOURNAL CENTER 2 (EXPANDED PHASE III)



DRAINAGE CERTIFICATION

I, Larry D. Read, NMPE 10998, of the firm Larry Read & Associates, Inc., hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intent of the approved plan dated 6/9/2005. The record information edited onto the original design document has been obtained by Joaquin Arguelles, NMPS 7472. I further certify that I have personally visited the project site on 01/27/2006 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Certificate of Occupancy.

Exceptions: The developer reverted to a previous Master Grading Plan for the site and constructed 4 24" sidewalk culverts on Rutledge and routed all runoff from the eastern portion of the site to them eliminating the runoff discharge through the drivepad. The pad for the western 1/4 of the site is graded but the building is not constructed at this time. However, all grading and drainage was constructed for the full buildout.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the Grading and Drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

VERIFIED SPOT ELEVATION
SPOT ELEVATION MATCHES DESIGN



PHASE III - MODIFIED
SITE GRADING AND DRAINAGE PLAN
INDUSTRIAL PARK @ JOURNAL CENTER 2
LOTS 19 AND 20, JOURNAL CENTER 2
ALBUQUERQUE, NEW MEXICO

REVISIONS

DATE MARCH 30, 2005

NORTH SCALE

1" = 30'

DRAWING NAME

GRADING PLAN

SHEET NUMBER

C-1

SO-19 FORM

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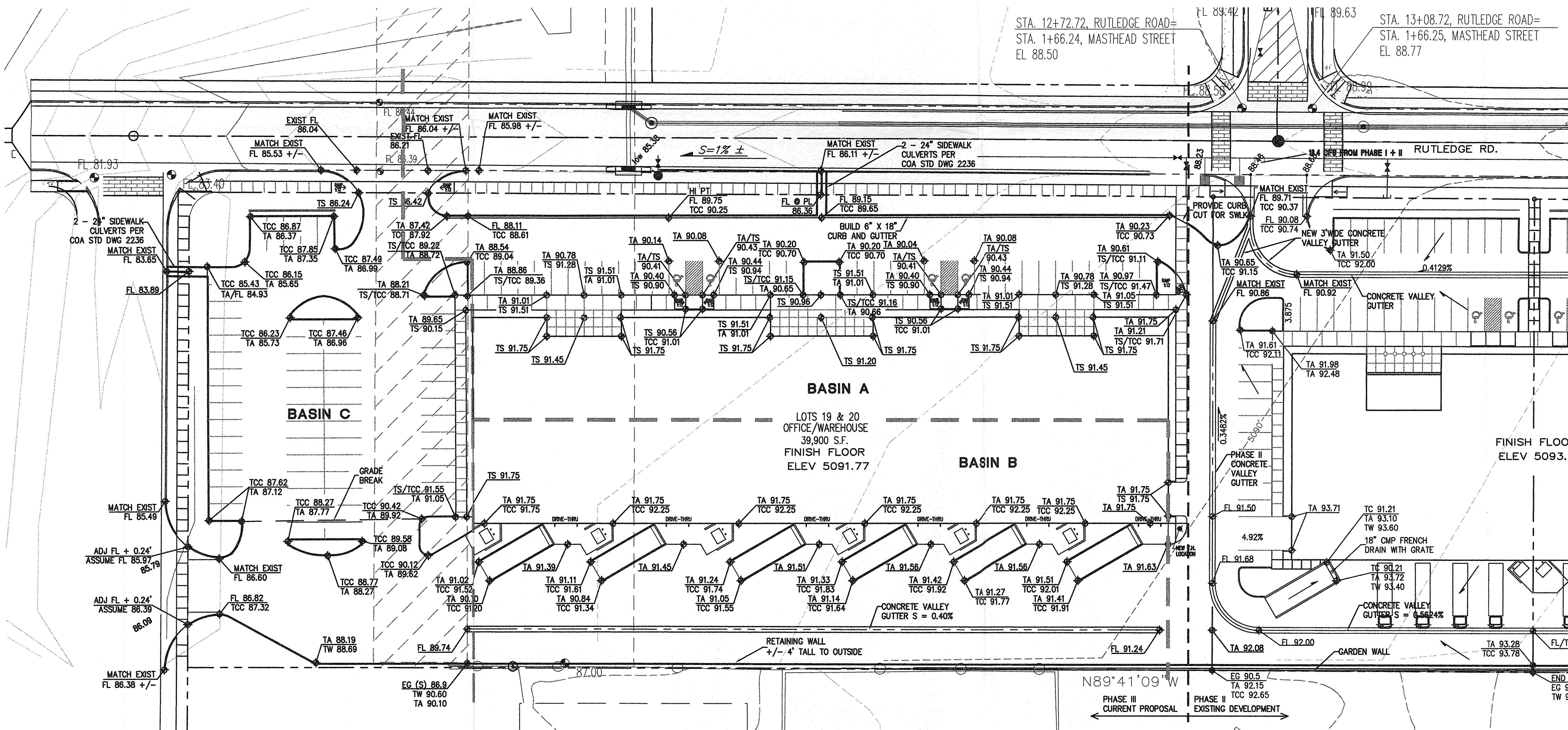
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BASIN C	0.8814	100.00	0.00	0.00	0.00	0.53	0.04	1,696	0.04	1,696	1.37
DEVELOPED CONDITIONS											
BASIN A	1.0652	0.00	5.70	5.00	89.30	1.99	0.18	7,710	0.30	13,235	4.78
BASIN B	1.1489	0.00	0.00	0.00	100.00	2.12	0.20	8,841	0.36	15,514	5.40
BASIN C	0.8814	0.00	6.20	6.10	87.70	1.98	0.15	6,324	0.25	10,813	3.93
EXCESS PRECIP: 0.53 0.78 1.13 2.12 E _i (in)											
PEAK DISCHARGE 1.56 2.28 3.14 4.7 Q ₁₀ (cfs)											
ZONE = 2											
WEIGHTED E (in) = (E ₁)(%A) + (E ₂)(%B) + (E ₃)(%C) + (E ₄)(%D)											
V _{6HR} (acre-ft) = (WEIGHTED E)(AREA)/12											
V _{10DAY} (acre-ft) = V _{6HR} + (A ₁₀)(P _{10DAY} - P _{6HR})/12											
Q (cfs) = (Q _{6HR})(A ₁₀) + (Q _{10DAY})(A ₁₀) + (Q _{24HR})(A ₁₀) + (Q _{10DAY})(A ₁₀)											
P _{24HR} (in.) = 2.35											
P _{10DAY} (in.) = 3.95											



VICINITY MAP

D-17-Z

LEGAL DESCRIPTION

LOTS 16-19, JOURNAL CENTER 2 (PHASE I, II, AND ORIGINAL III)
LOTS 19 AND 20, JOURNAL CENTER 2 (EXPANDED PHASE III)

DRAINAGE CERTIFICATION

I, Larry D. Read, NMPE 10998, of the firm Larry Read & Associates, Inc., hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intent of the approved plan dated 6/9/2005. The record information edited onto the original design document has been obtained by Joaquin Arguelles, NMPS 7472. I further certify that I have personally visited the project site on 01/27/2006 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Certificate of Occupancy.

Exceptions: The developer reverted to a previous Master Grading Plan for the site and constructed 4 24" sidewalk culverts on Rutledge and routed all runoff from the eastern portion of the site to them eliminating the runoff discharge through the driveway. The pad for the western 1/4 of the site is graded but the building is not constructed at this time. However, all grading and drainage was constructed for the full buildout.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the Grading and Drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

VERIFIED SPOT ELEVATION
SPOT ELEVATION MATCHES DESIGN

LAWRENCE D. READ
NEW MEXICO
REGISTERED PROFESSIONAL ENGINEER
10998

ORIG/DESIGN SHEET
VOID-SEE ATTACHED
FOR AS-BUILT
CERTIFICATION
INFORMATION

PHASE III - MODIFIED
SITE GRADING AND DRAINAGE PLAN
INDUSTRIAL PARK @ JOURNAL CENTER 2
LOTS 19 AND 20, JOURNAL CENTER 2
ALBUQUERQUE, NEW MEXICO

REVISIONS

MARCH 30, 2005

SCALE

1" = 30'

DRAWING NAME

GRADING PLAN

SHEET NUMBER

C-1

THE FOLLOWING NOTES ALSO APPLY WHEN CHECKED

- ✓ ALL UTILITIES AND UTILITY SERVICE LINES SHALL BE INSTALLED PRIOR TO CONSTRUCTION OF ANY SIDEWALK OR PAVEMENT.
- ✓ BACKFILL COMP ACTION SHALL BE ACCORDING TO ARTERIAL STREET USE.
- ✓ TACK COAT REQUIREMENTS SHALL BE DETERMINED BY THE CITY ENGINEER.
- SIDEWALKS AND WHEELCHAIR RAMPS WITHIN THE CURB RETURNS SHALL BE CONSTRUCTED WHEREVER A NEW CURB RETURN IS CONSTRUCTED.
- IF CURB IS DEPRESSED FOR A DRIVEPAD OR A HANDICAP RAMP, THE DRIVEPAD OR RAMP SHALL BE CONSTRUCTED PRIOR TO ACCEPTANCE OF THE CURB AND GUTTER.
- ✓ ALL STORM-DRAINAGE FACILITIES SHALL BE COMPLETED, INSPECTED AND APPROVED PRIOR TO FINAL ACCEPTANCE.

APPROVALS	ENGINEERS	DATE
A.C.E./DESIGN		
INSPECTOR		
A.C.E./FIELD		

3 CONCRETE HANDICAP RAMP DETAIL
C-3 N. T. S.

1 ENLARGED GRADING PLAN - PHASE
C-3 1" = 20'

ARCHITECT SEAL

BRUNACINI

TATE FISHBURN

ARCHITECT

BOX 2941 CORALES NEW MEXICO 87048 PHONE 505.899.9208 FAX 899.9228

ENGINEER SEAL


PROJECT

SITE DEVELOPMENT PLAN FOR
INDUSTRIAL PARK @ JOURNAL CENTER 2
LOTS 16-19, JOURNAL CENTER 2
ALBUQUERQUE, NEW MEXICO

REVISIONS

DATE June 16, 2003

NORTH SCALE



DRAWING NAME

PHASE I GRADING PLAN

SHEET NUMBER

C-3

TEMPORARY DRAINAGE CERTIFICATION

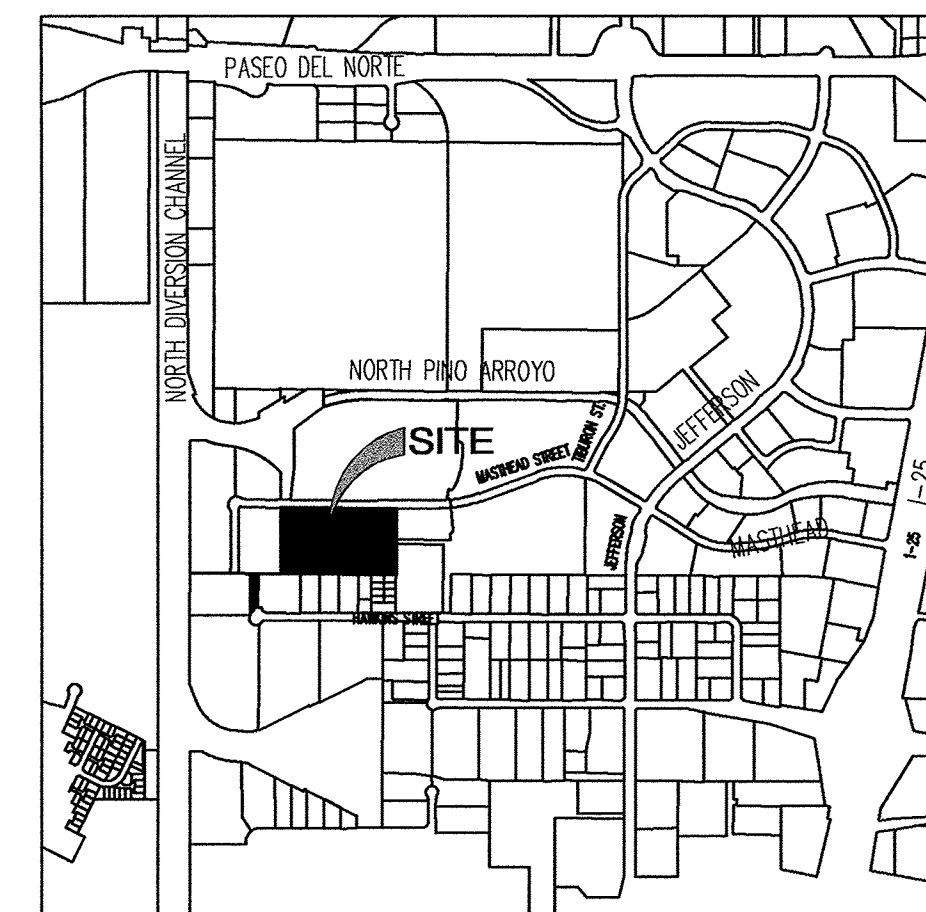
I, Larry D. Read, NMPE 10998, of the firm Larry Read & Associates, Inc., hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intent of the approved plan Engineer's Stamp dated 10/03/03. The record information edited onto the original design document has been obtained by Jake Arguelles, Jr., NMPS 7472. I further certify that I have personally visited the project site on 4/20/2004 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for a Temporary Certificate of Occupancy.

Exceptions: The channel and associated sidewalk culverts west of Phase III has not been completed at this time. The construction of the drainage related items will not be complete for at least 3-weeks.

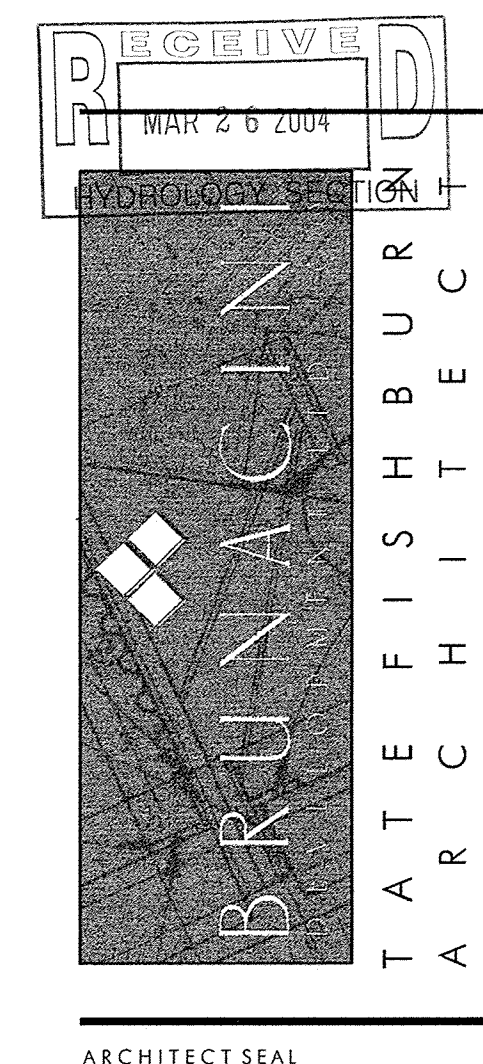
The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the Grading and Drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

LEGAL DESCRIPTION

LOTS 16-19, JOURNAL CENTER 2



VICINITY MAP D-7-Z



ENGINEER SEAL

PROJECT

SITE DEVELOPMENT PLAN FOR
INDUSTRIAL PARK @ JOURNAL CENTER 2
LOTS 16-19, JOURNAL CENTER 2
ALBUQUERQUE, NEW MEXICO

REVISIONS

DATE June 16, 2003

NORTH SCALE



DRAWING NAME

PHASE II
GRADING PLAN

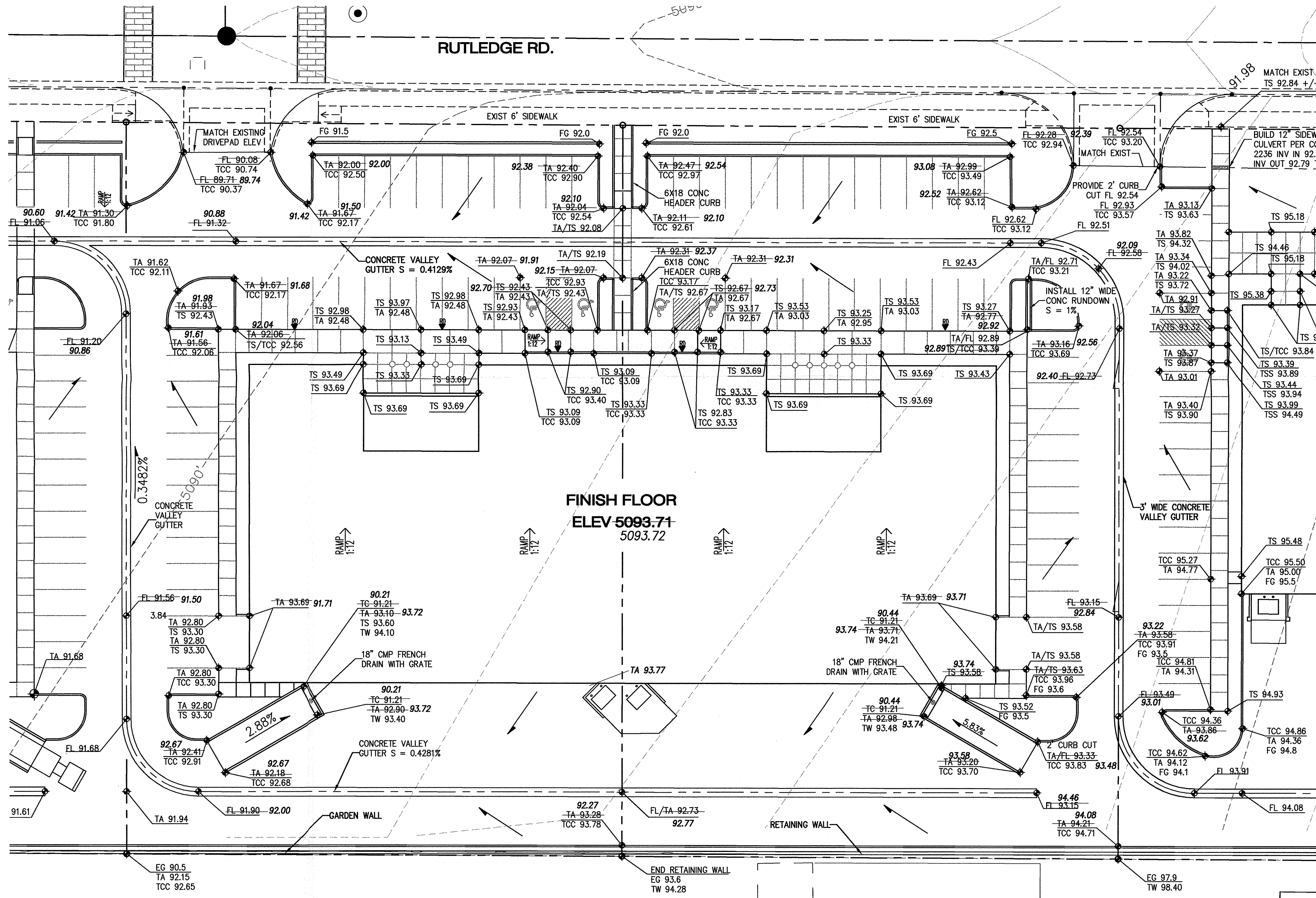
SHEET NUMBER

C-4

LARRY READ & ASSOCIATES
Civil Engineers
4800 Juan Tabo Blvd. NE Suite C
Albuquerque, New Mexico 87111
(505) 237-8421

TCC 73.90
TC 73.00 73.21 VERIFIED SPOT ELEVATION

FG 71.30 EARTH SPOT ELEVATION
MATCHES DESIGN



2 ENLARGED GRADING PLAN - PHASE II
C-4 1" = 20'