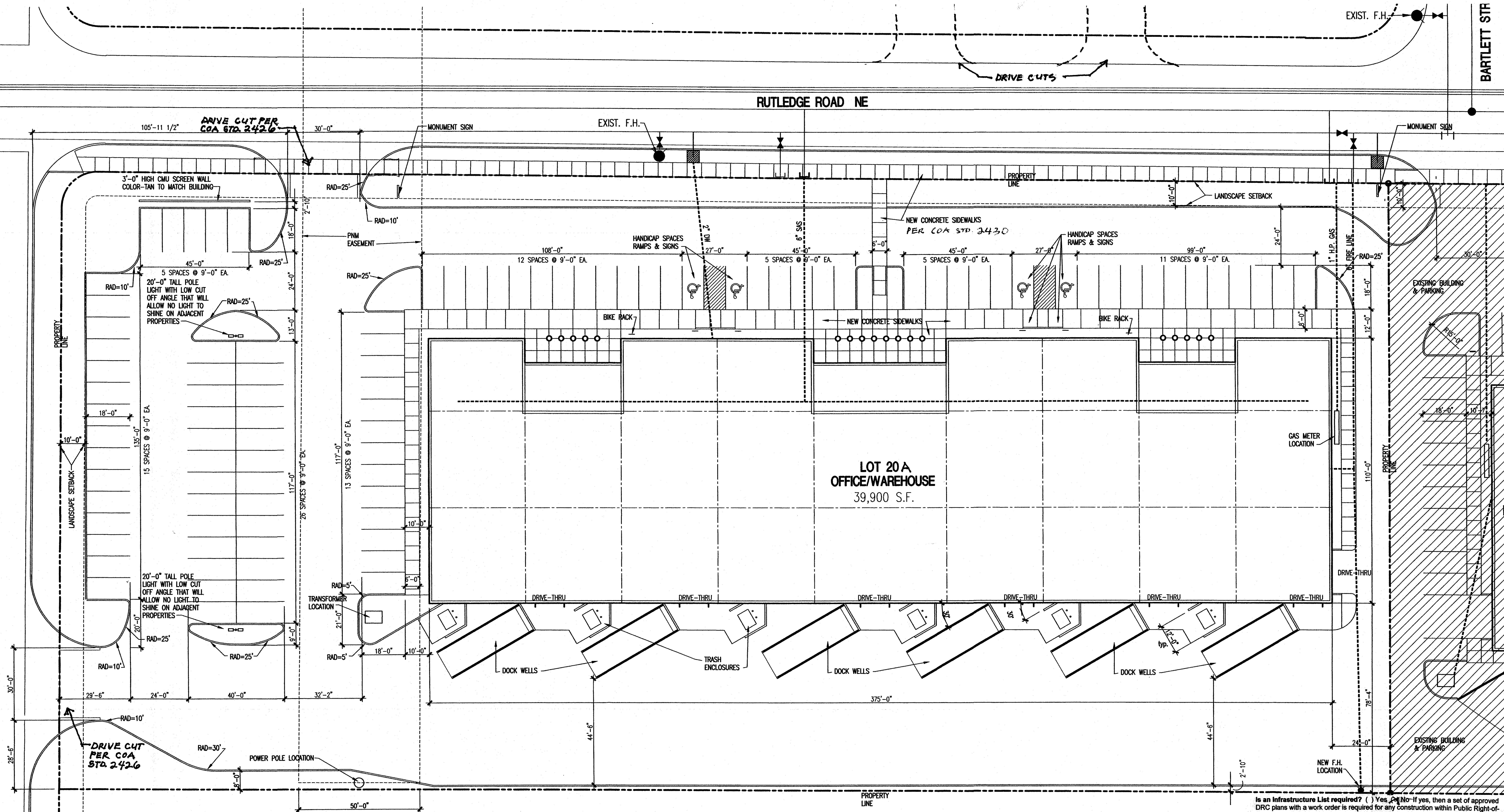


SNAPROLL STREET



PROJECT INFORMATION

PROJECT: NEW OFFICE/WAREHOUSE FOR BRUNACINI DEVELOPMENT

LOCATION: 3700 RUTLEDGE ROAD, N.E. ALBUQUERQUE, NM

OWNER: BRUNACINI DEVELOPMENT

ARCHITECT: TATE FISHBURN ARCHITECT

LEGAL DESCRIPTION: LOT 20A JOURNAL CENTER 2

CURRENT ZONING CLASSIFICATION: IP

TYPE CONSTRUCTION: TYPE IIB SPRINKLERED

OCCUPANCY: B & S2

ALLOWABLE AREA: 36,000 SQ. FT.

TYPE IIB CONSTRUCTION & B OCCUPANCY = 23,000

TRIPLE FOR SPRINKLER = 69,000

GROSS BUILDING AREA: 39,900 S.F.

OCCUPANT LOAD:

WAREHOUSE - 29,925/500 = 60 OCCUPANTS

FUTURE OFFICE - 9,975/100 = 100 OCCUPANTS

NOTE: SITE LIGHTING SHALL BE BUILDING MOUNTED WALL PACKS AND POLE LIGHTS WITH CUT OFF ANGLE THAT WILL NOT ALLOW ANY LIGHT TO SPILL ONTO ADJACENT PROPERTIES.

TOTAL LOT AREA: 3.2 ACRES +/-

PARKING ANALYSIS:

WAREHOUSE AREA = 29,925

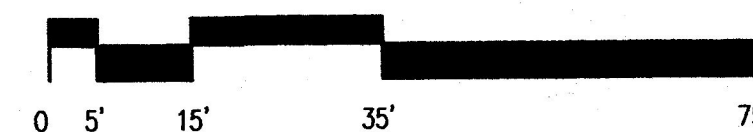
OFFICE AREA = 9,975

REQUIRED WAREHOUSE = 29,925/2000 = 15

REQUIRED OFFICE = 9,975/200 = 50

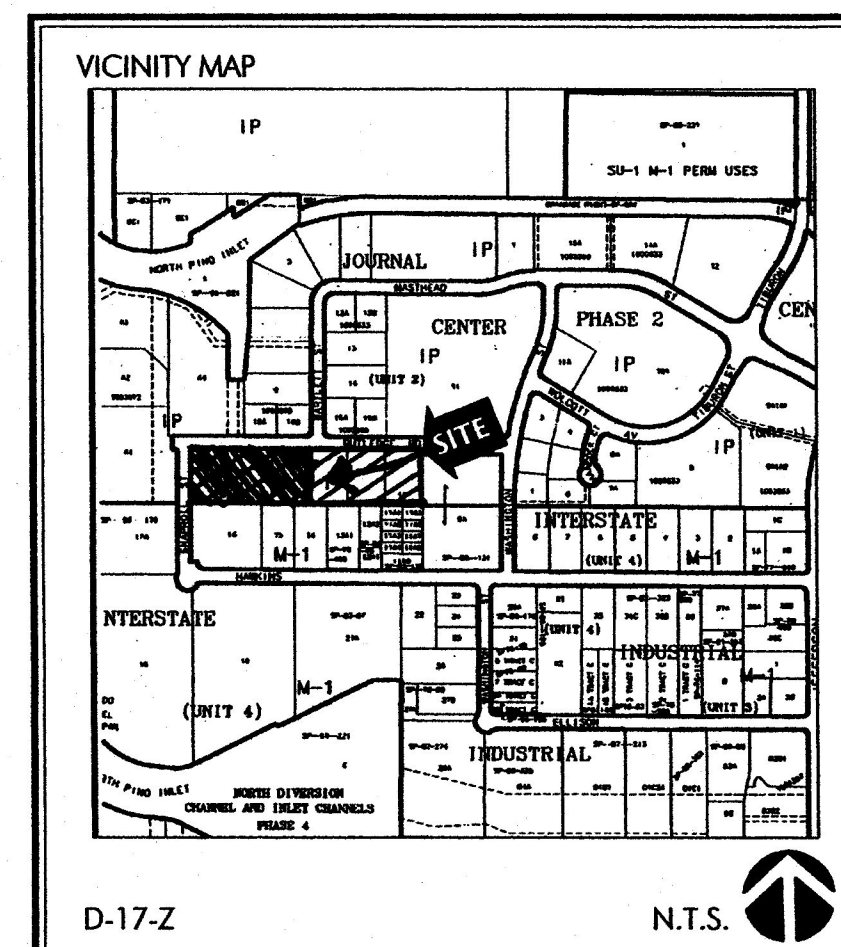
TOTAL REQUIRED PARKING SPACES = 65 SPACES

RELATED CASE: DRB-1002746 03DRB-00996



1 SITE PLAN

1"=20'-0"



PROJECT NO. 1004159

APPLICATION NO. 05DRB-00736

THIS PLAN IS CONSISTENT WITH THE CONCEPTS OF THE ORIGINAL JOURNAL CENTER SITE PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION ON AUGUST 16, 1980 (AX-79-13, 2-79-80-2) AND THE IP ZONE. IT CONFORMS WITH THE COMMENTS RENDERED BY THE DEVELOPMENT REVIEW BOARD ON 2005, AS REFLECTED IN DRB

Christina Sandoval 5/11/05 DATE
TRAFFIC ENGINEER, TRANSPORTATION DIVISION

Roger A. Sheen 5/11/05 DATE
PUBLIC WORKS, WATER UTILITIES DIVISION

Bradley J. Dinkham 5/11/05 DATE
CITY ENGINEER, ENGINEERING DIVISION / AMARCA

Michael Holton 5-11-05 DATE
SOLID WASTE

APPROVAL & CONDITIONAL ACCEPTANCE: AS SPECIFIED BY THE DEVELOPMENT PROCESS MANUAL.

Matthew 6/14/05 DATE
PLANNING DEPARTMENT

BRUNACINI
TATE FISHBURN
ARCHITECT

BOX 2941 CORRALES NEW MEXICO 87046 PHONE 505 899 9328 FAX 899 9328

ARCHITECT SEAL

STATE OF NEW MEXICO
TATE FISHBURN
No. 3550
REGISTERED ARCHITECT

ENGINEER SEAL

PROJECT

SITE PLAN FOR BUILDING PERMIT FOR BRUNACINI DEVELOPMENT LOT 20- 3700 RUTLEDGE ROAD, N.E. ALBUQUERQUE, NEW MEXICO

REVISIONS

RECEIVED
JAN 24 2006
LAND DEVELOPMENT SECTION

DATE MAY 11, 2005

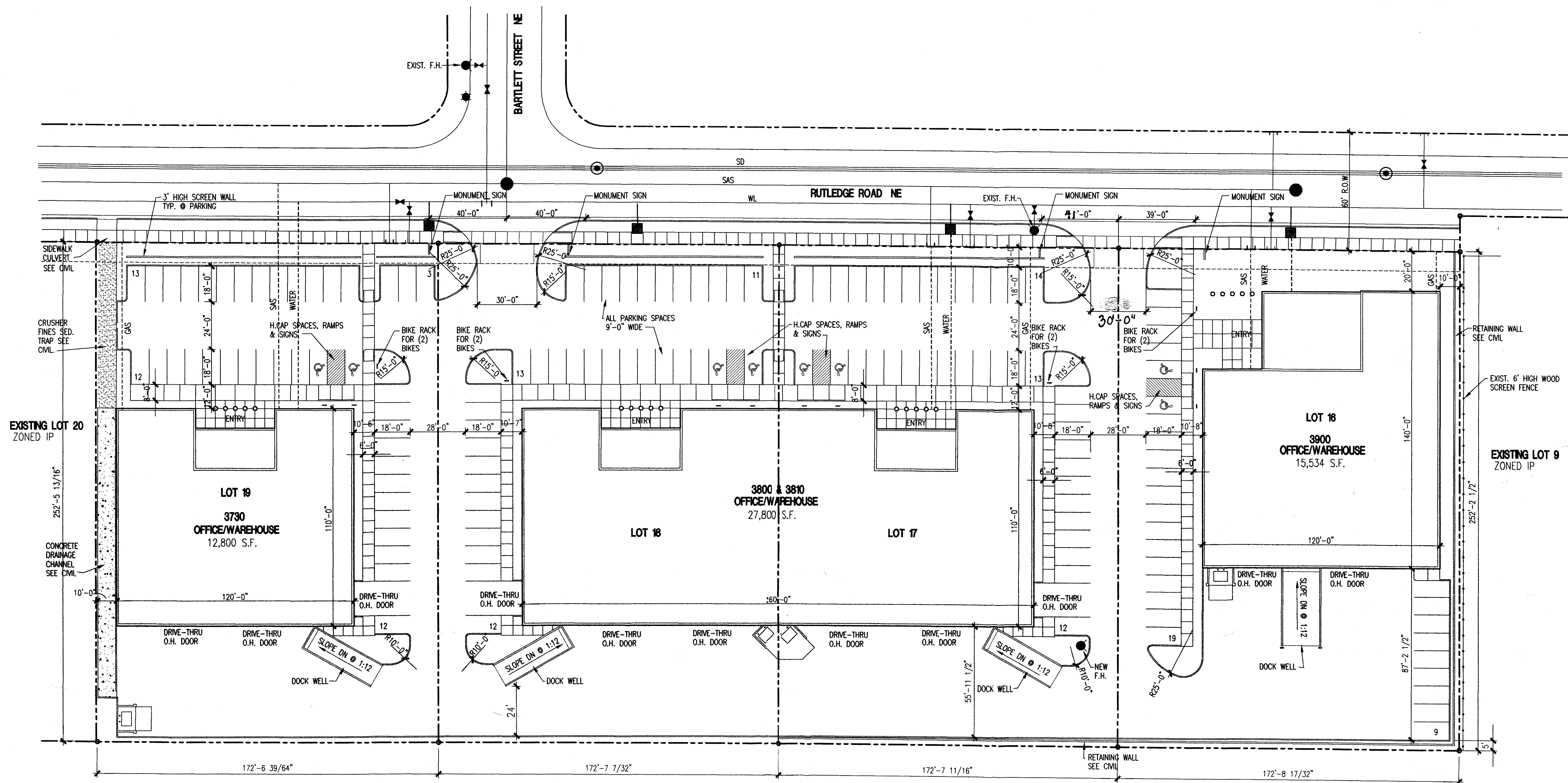
NORTH SCALE 1"=20'-0"

DRAWING NAME

SITE PLAN FOR BUILDING PERMIT

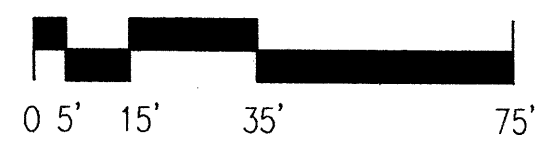
SHEET NUMBER

SDP-1



RECIPROCAL ACCESS, PARKING & DRAINAGE
EASEMENTS RECORDED BK-AG/ PG. 35B
ON JULY 25, 2003.

1 SITE PLAN
1"=30'-0"



PROJECT INFORMATION

PROJECT: INDUSTRIAL PARK @ JOURNAL CENTER 2 NEW OFFICE/WAREHOUSE DEVELOPMENT

LOCATION: 3730, 3800, 3810 & 3900 RUTLEDGE ROAD NE

OWNER: BRUNACINI DEVELOPMENT

ARCHITECT: TATE FISHBURN ARCHITECT

LEGAL DESCRIPTION: LOTS 16, 17, 18 & 19 JOURNAL CENTER 2

CURRENT ZONING CLASSIFICATION: IP

TYPE CONSTRUCTION: TYPE IIN SPRINKERED

OCCUPANCY: B & S1

ALLOWABLE AREA: 36,000 SQ. FT.
TYPE IIN CONSTRUCTION & B OCCUPANCY = 12,000
TRIPLE FOR SPRINKLER = 36,000

GROSS BUILDING AREA:

3730-	56,134 S.F.
3800 & 3810-	12,800 S.F.
3900-	27,800 S.F.
	15,534 S.F.

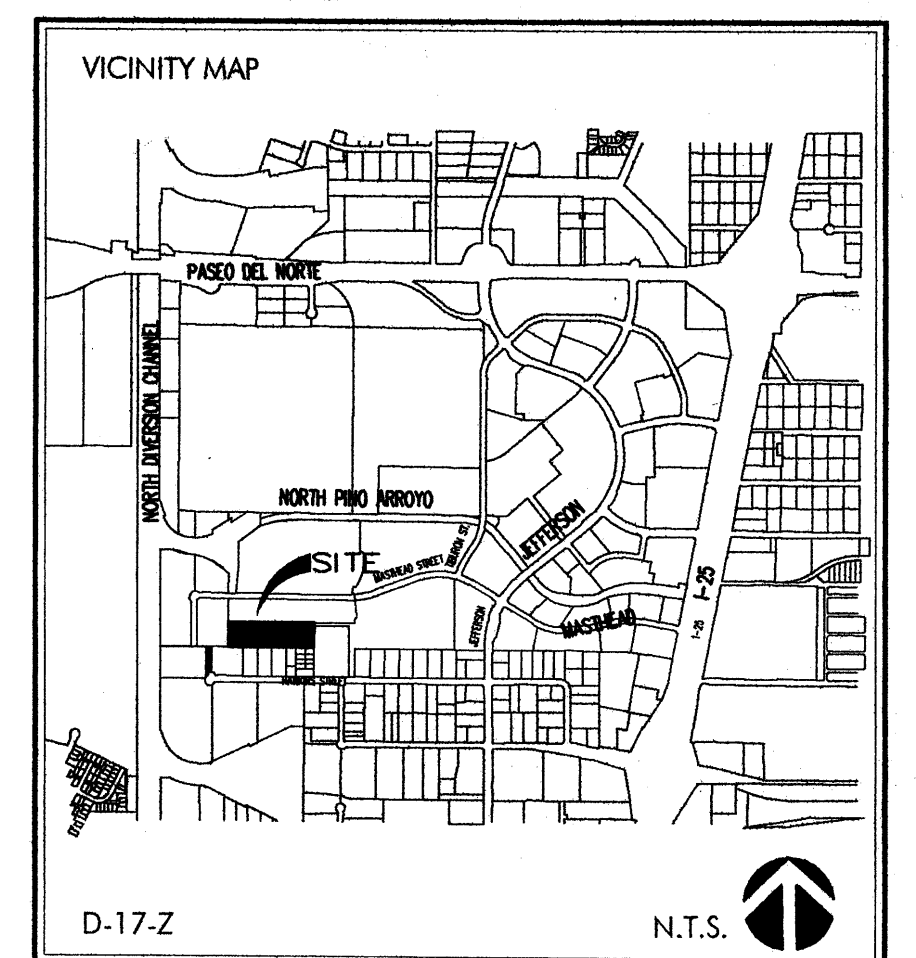
OCCUPANT LOAD: 56,134/500 = 113 OCCUPANTS

TOTAL LOT AREA: 4 ACRES +/-
(4) 1 ACRE LOTS

PARKING ANALYSIS:

WAREHOUSE AREA =	44,904
OFFICE AREA =	11,230
REQUIRED WAREHOUSE =	44,904/2000 = 23
REQUIRED OFFICE =	11,230/200 = 56
TOTAL REQUIRED PARKING SPACES =	79 SPACES
SPACES PROVIDED =	143 SPACES INCLUDING 8 HANDICAP
BIKE PARKING REQUIRED =	4
BIKE PARKING PROVIDED =	8

SITE LIGHTING NOTE: SITE LIGHTING SHALL BE BUILDING MOUNTED WALL PACKS WITH CUT OFF ANGLE THAT WILL NOT ALLOW ANY LIGHT TO SPILL ONTO ADJACENT PROPERTIES.



SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

PROJECT NO. 1002746

APPLICATION NO. 03DRB-00996

THIS PLAN IS CONSISTENT WITH THE CONCEPTS OF THE ORIGINAL JOURNAL CENTER SITE PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION ON AUGUST 16, 1980 (AY-79-13, 2-79-80-2) AND THE IP ZONE. IT CONFORMS WITH THE COMMENTS RENDERED BY THE DEVELOPMENT REVIEW BOARD ON JUNE 25, 2003, AS REFLECTED IN DRB 1002746

Paul Dine 8-01-03
TRAFFIC ENGINEER, TRANSPORTATION DIVISION DATE

Christina Sandoval 6/25/03
PUBLIC WORKS, WATER UTILITIES DIVISION DATE

Roger A. Green 6/25/03
CITY ENGINEER, ENGINEERING DIVISION / AMFCA DATE

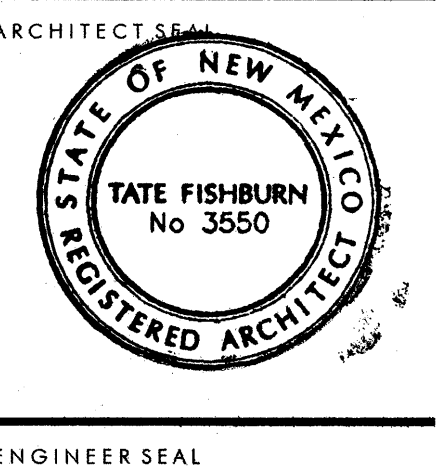
Bradley D. Dyer 6/25/03
CITY ENGINEER, ENGINEERING DIVISION / AMFCA DATE

SOLID WASTE DATE

APPROVAL & CONDITIONAL ACCEPTANCE: AS SPECIFIED BY THE DEVELOPMENT PROCESS MANUAL

Sharon Matson 8/1/03
CITY PLANNER, ALBUQUERQUE PLANNING DEPARTMENT DATE

BRUNACINI
TATE FISHBURN
ARCHITECTS



PROJECT
SITE DEVELOPMENT PLAN FOR
INDUSTRIAL PARK @ JOURNAL CENTER 2
LOTS 16-19, JOURNAL CENTER 2
ALBUQUERQUE, NEW MEXICO

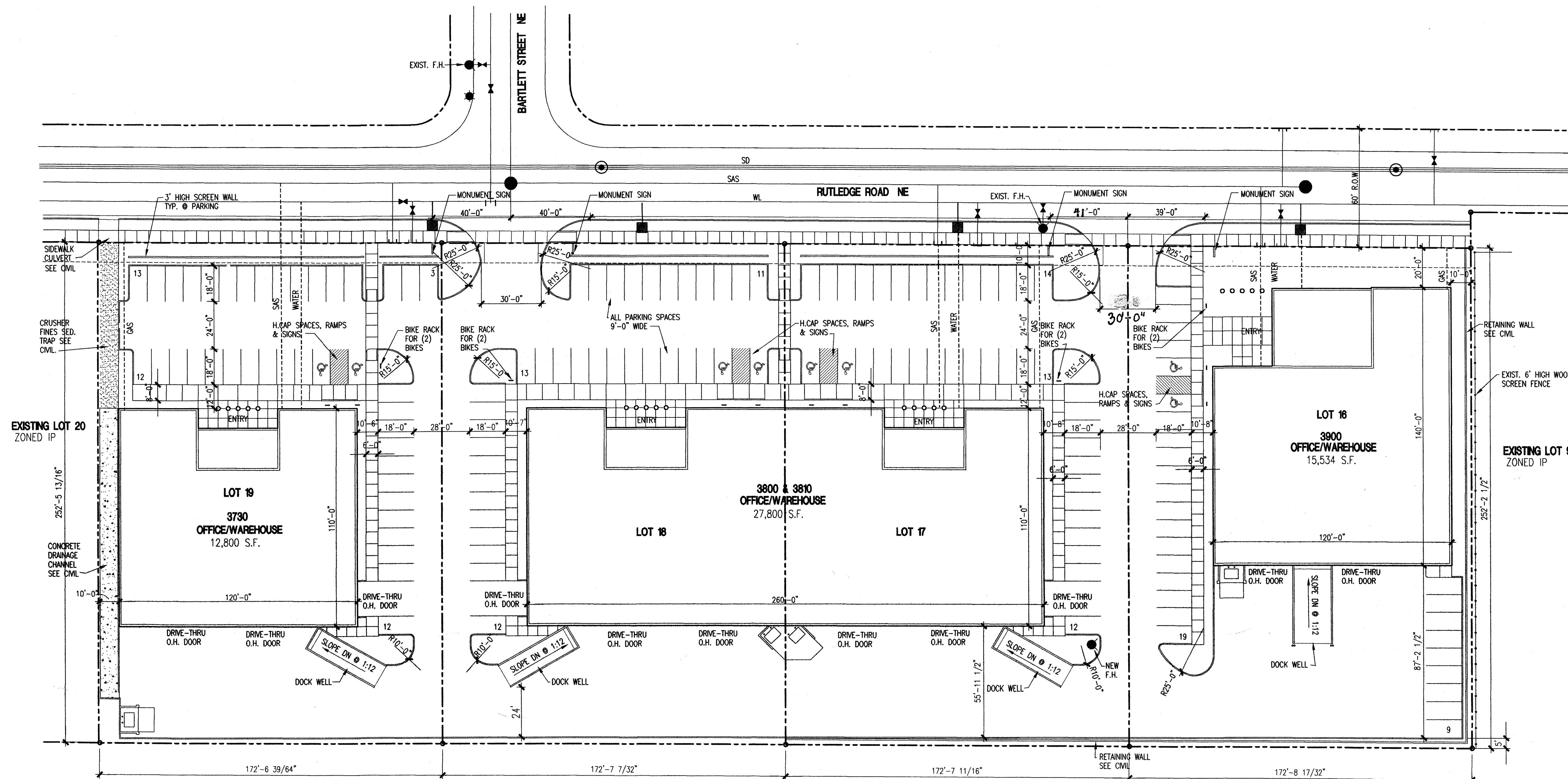
REVISIONS

DATE JUNE 17, 2003

NORTH SCALE 1'-0"=30'-0"

DRAWING NAME SITE DEVELOPMENT PLAN

SHEET NUMBER SDP-1



RECIPROCAL ACCESS, PARKING & DRAINAGE
EASEMENTS RECORDED BK-AG1 PG. 35B
ON JULY 25, 2003.

1 SITE PLAN
1"=30'-0"

PROJECT INFORMATION

PROJECT: INDUSTRIAL PARK @ JOURNAL CENTER 2 NEW OFFICE/WAREHOUSE DEVELOPMENT

LOCATION: 3730, 3800, 3810 & 3900 RUTLEDGE ROAD NE

OWNER: BRUNACINI DEVELOPMENT

ARCHITECT: TATE FISHBURN ARCHITECT

LEGAL DESCRIPTION: LOTS 16, 17, 18 & 19 JOURNAL CENTER 2

CURRENT ZONING CLASSIFICATION: IP

TYPE CONSTRUCTION: TYPE IIN SPRINKLERED

OCCUPANCY: B & S1

ALLOWABLE AREA: 36,000 SQ. FT.
TYPE IIN CONSTRUCTION & B OCCUPANCY = 12,000
TRIPLE FOR SPRINKLER = 36,000

GROSS BUILDING AREA:

3730-	12,800 S.F.
3800 & 3810-	27,800 S.F.
3900-	15,534 S.F.

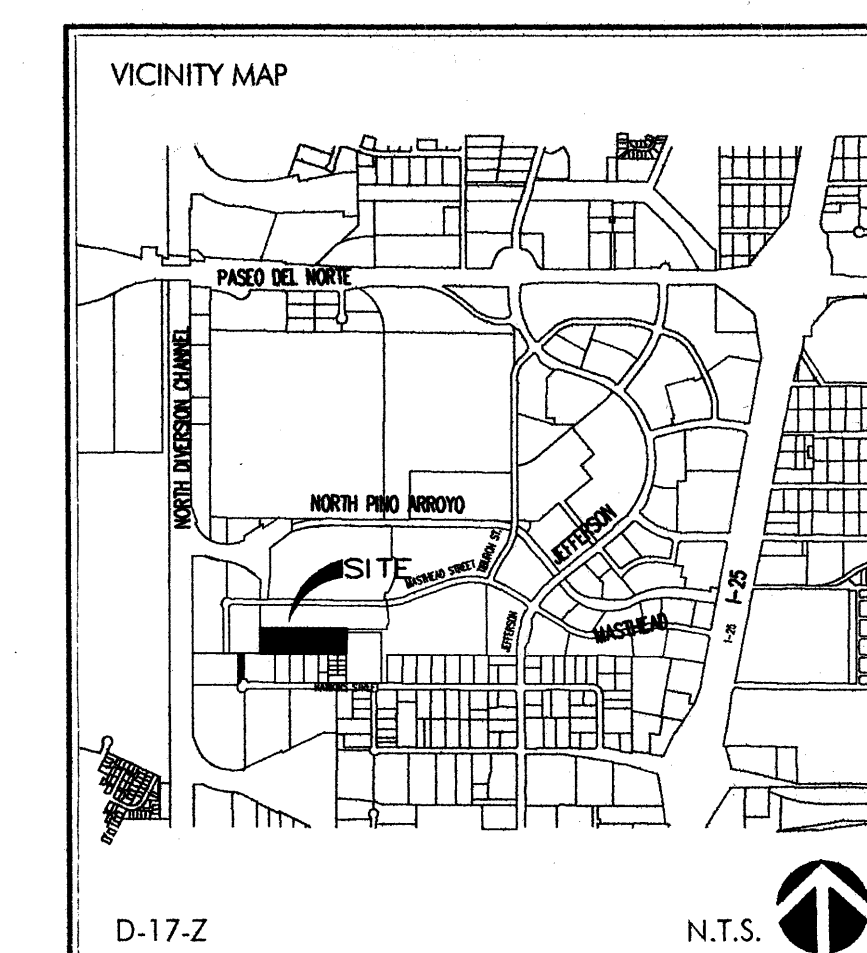
OCCUPANT LOAD: 56,134/500 = 113 OCCUPANTS

TOTAL LOT AREA: 4 ACRES +/-
(4) 1 ACRE LOTS

PARKING ANALYSIS:

WAREHOUSE AREA =	44,904
OFFICE AREA =	11,230
REQUIRED WAREHOUSE = 44,904/2000 =	23
REQUIRED OFFICE = 11,230/200 =	56
TOTAL REQUIRED PARKING SPACES =	79 SPACES
SPACES PROVIDED =	143 SPACES INCLUDING 8 HANDICAP
BIKE PARKING REQUIRED =	4
BIKE PARKING PROVIDED =	8

SITE LIGHTING NOTE: SITE LIGHTING SHALL BE BUILDING MOUNTED WALL PACKS WITH CUT OFF ANGLE THAT WILL NOT ALLOW ANY LIGHT TO SPILL ONTO ADJACENT PROPERTIES.



SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

PROJECT NO. 1002746

APPLICATION NO. 03DRB-00996

THIS PLAN IS CONSISTENT WITH THE CONCEPTS OF THE ORIGINAL JOURNAL CENTER SITE PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION ON AUGUST 16, 1980 (AX-79-13, 7-79-80-2) AND THE IP ZONE. IT CONFORMS WITH THE COMMENTS RENDERED BY THE DEVELOPMENT REVIEW BOARD ON JUNE 25, 2003, AS REFLECTED IN DRB 1002746.

Paul D. Dine 8-01-03
TRAFFIC ENGINEER, TRANSPORTATION DIVISION

Christina Sandford 6/25/03
PARKS & RECREATION DEPARTMENT

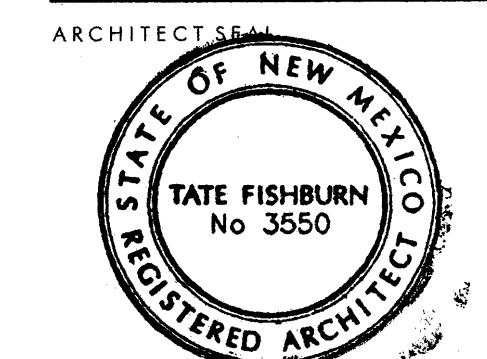
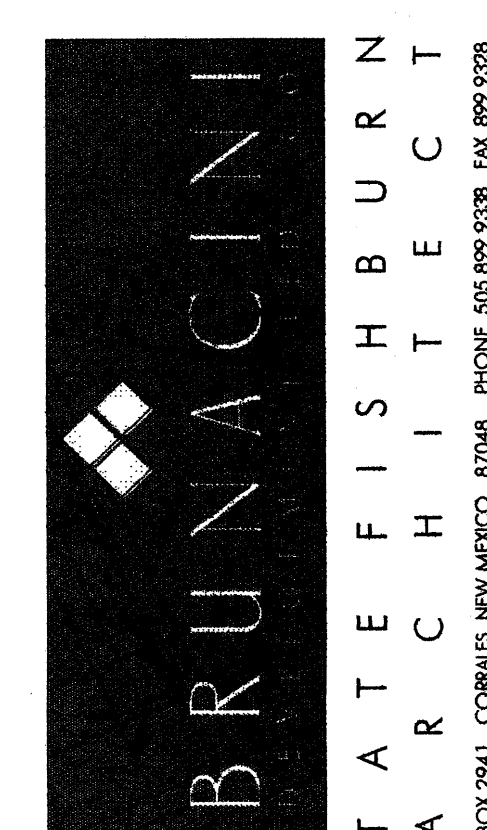
Roger A. Green 6/25/03
PUBLIC WORKS, WATER UTILITIES DIVISION

Bruce J. Butler 6/25/03
CITY ENGINEER, ENGINEERING DIVISION / AMAFCA

SOLID WASTE DATE

APPROVAL & CONDITIONAL ACCEPTANCE, AS SPECIFIED BY THE DEVELOPMENT PROCESS MANUAL.

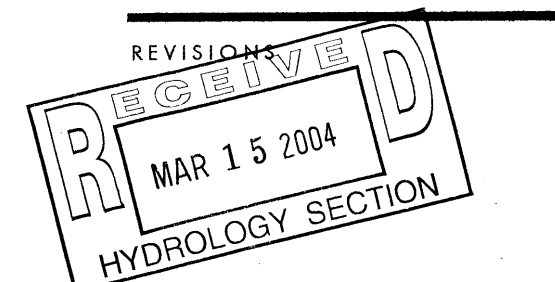
Sharon Matson 8/1/03
CITY PLANNER, ALBUQUERQUE PLANNING DEPARTMENT



ENGINEER SEAL

PROJECT

SITE DEVELOPMENT PLAN FOR
INDUSTRIAL PARK @ JOURNAL CENTER 2
LOTS 16-19, JOURNAL CENTER 2
ALBUQUERQUE, NEW MEXICO



DATE: JUNE 17, 2003

NORTH SCALE: 1"=30'-0"

DRAWING NAME: SITE DEVELOPMENT PLAN

SHEET NUMBER

SDP-1

TEMPORARY DRAINAGE CERTIFICATION

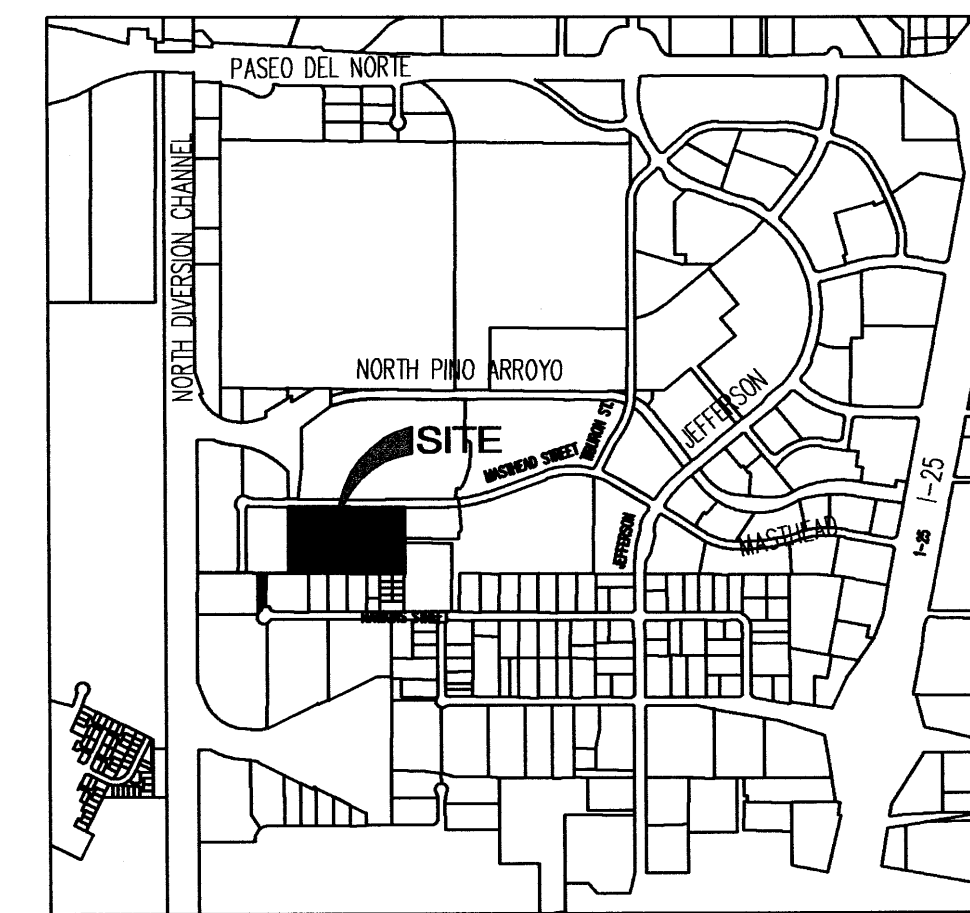
I, Larry D. Read, NMPE 10998, of the firm Larry Read & Associates, Inc., hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intent of the approved plan Engineer's Stamp dated 10/03/03. The record information edited onto the original design document has been obtained by Jake Arguelles, Jr., NMPS 7472. I further certify that I have personally visited the project site on 4/20/2004 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for a Temporary Certificate of Occupancy.

Exceptions: The channel and associated sidewalk culverts west of Phase III has not been completed at this time. The construction of the drainage related items will not be complete for at least 3-weeks.

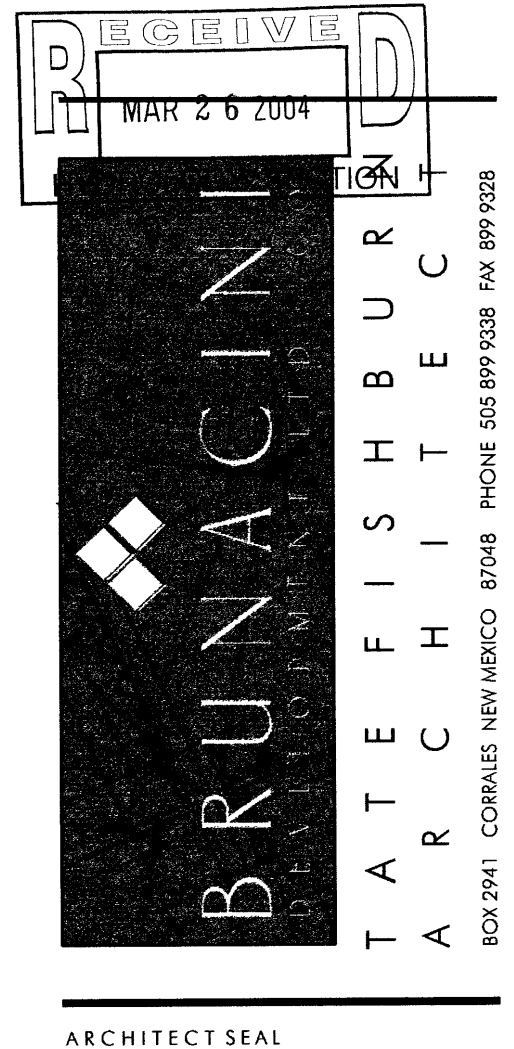
The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the Grading and Drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

LEGAL DESCRIPTION

LOTS 16-19, JOURNAL CENTER 2



VICINITY MAP D-7-Z



ENGINEER SEAL



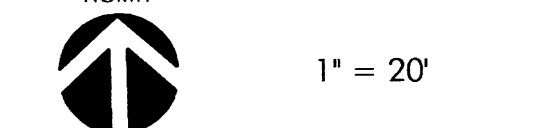
PROJECT

SITE DEVELOPMENT PLAN FOR
INDUSTRIAL PARK @ JOURNAL CENTER 2
LOTS 16-19, JOURNAL CENTER 2
ALBUQUERQUE, NEW MEXICO

REVISIONS

DATE June 16, 2003

NORTH SCALE



DRAWING NAME

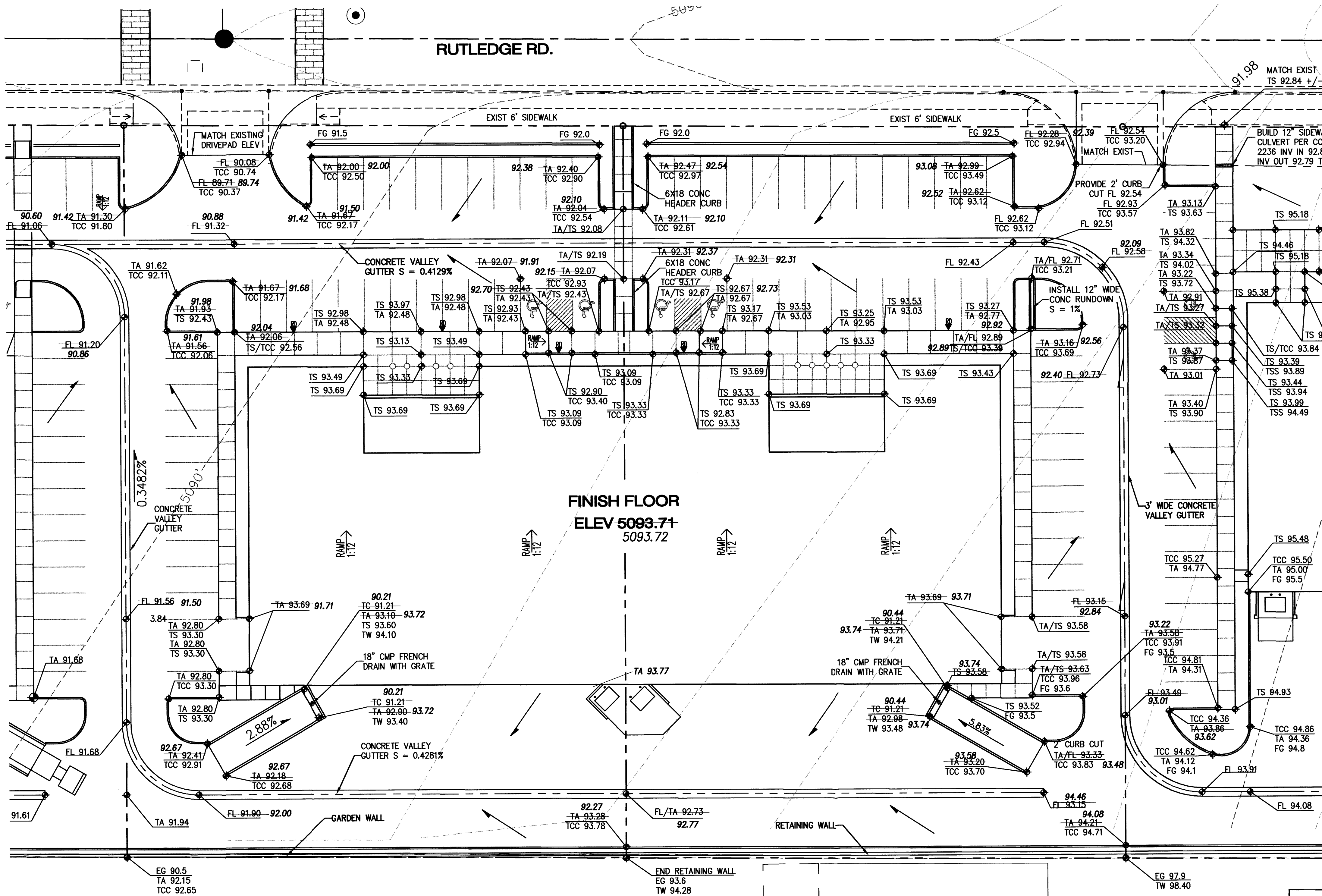
PHASE II
GRADING PLAN

SHEET NUMBER

C-4

LARRY READ & ASSOCIATES
Civil Engineers
4800 Juan Tabo Blvd. NE Suite C
Albuquerque, New Mexico 87111
(505) 237-8421

TCC 73.50
TC 73.00 73.21 VERIFIED SPOT ELEVATION
FG 71.30 EARTH SPOT ELEVATION
MATCHES DESIGN



2 ENLARGED GRADING PLAN - PHASE II
C-4 1" = 20'

NOTICE TO CONTRACTOR

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN THE CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED WITHIN THE CITY RIGHT-OF-WAY SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH C.O.A. STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION 1986.
3. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT LINE LOCATING SERVICE 260-1990, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OR SURVEYOR SO THAT THE CONFLICT CAN BE RESOLVED WITH MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMP ACTION SHALL BE ACCORDING TO ARTERIAL STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER SERVED.

THE FOLLOWING NOTES ALSO APPLY WHEN CHECKED

- ✓ ALL UTILITIES AND UTILITY SERVICE LINES SHALL BE INSTALLED PRIOR TO CONSTRUCTION OF ANY SIDEWALK OR PAVEMENT.
- ✓ BACKFILL COMP ACTION SHALL BE ACCORDING TO ARTERIAL STREET USE.
- ✓ TACK COAT REQUIREMENTS SHALL BE DETERMINED BY THE CITY ENGINEER.
- SIDEWALKS AND WHEELCHAIR RAMPS WITHIN THE CURB RETURNS SHALL BE CONSTRUCTED WHEREVER A NEW CURB RETURN IS CONSTRUCTED.
- IF CURB IS DERESSED FOR A DRIVEPAD OR A HANDICAP RAMP, THE DRIVEPAD OR RAMP SHALL BE CONSTRUCTED PRIOR TO ACCEPTANCE OF THE CURB AND GUTTER.
- ✓ ALL STORM DRAINAGE FACILITIES SHALL BE COMPLETED, INSPECTED AND APPROVED PRIOR TO FINAL ACCEPTANCE.

APPROVALS	ENGINEERS	DATE
A.C.E./DESIGN		
INSPECTOR		
A.C.E./FIELD		

BEGUN CONSTRUCTED IN
PHASE II OF THIS PROJECT
- CURRENTLY UNDER CONSTRUCTION
8/12/03

DRAINAGE CERTIFICATION

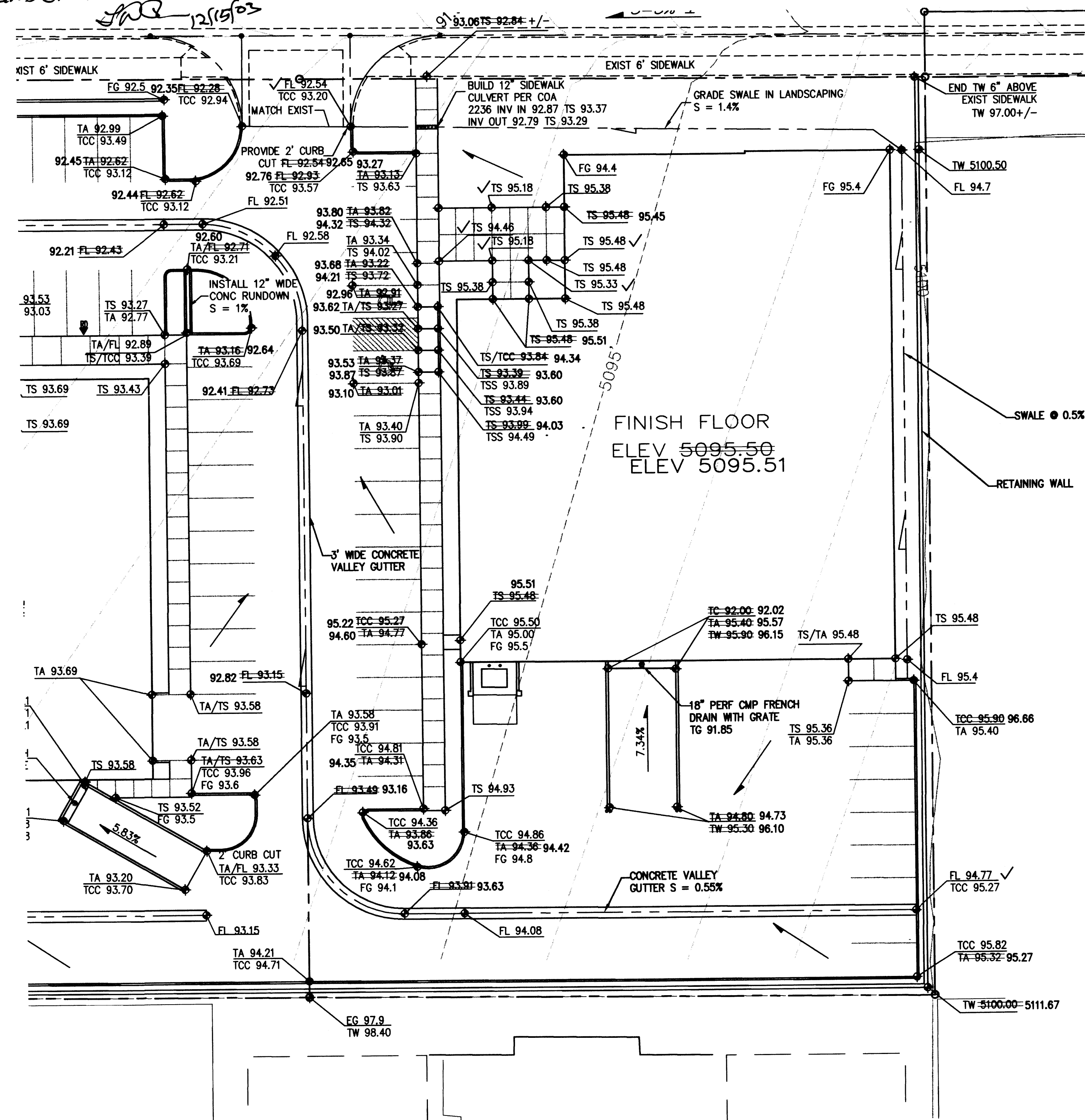
I, Larry D. Read, NMPE 10998, of the firm Larry Read & Associates, Inc., hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intent of the approved plan dated 8/12/03. The record information edited onto the original design document has been obtained by Joaquin Arguelles, Jr., NMPS 7472, of the firm Arguelles Surveying. I further certify that I have personally visited the project site on 12/14/2003 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Certificate of Occupancy.

Exceptions: The valley gutter shown in the parking lot was not constructed at the owner's option. The channel and sidewalk culverts at the west property line are being constructed with the current Phase II construction since construction efforts on Phase I and the channel. Currently the runoff from Phase I is taking an overland path and discharging into Rutledge through the Phase III drivepad.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the Grading and Drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

TCC 73.50
FG 73.06 73.21 VERIFIED SPOT ELEVATION

FG 71.30
SPOT ELEVATION
MATCHES DESIGN



1 ENLARGED GRADING PLAN - PHASE I
C-3 1" = 20'

PHASE I

PHASE I OF THE DEVELOPMENT OF THIS PROJECT, ON EXISTING PARCEL 16, WILL INCLUDE THE BUILDING, ASSOCIATED 24-FOOT WIDE PAVED DRIVE WEST OF THE BUILDING, ASSOCIATED PAVED PARKING WEST OF THE BUILDING, PAVED SERVICE YARD SOUTH OF THE BUILDING, RETAINING WALL AT THE EAST PROPERTY LINE, THE CONCRETE/CRUSHER FINE CHANNEL AT THE WEST PROPERTY LINE, AND THE NEW SIDEWALK CULVERTS TO RUTLEDGE ROAD.

IN ORDER TO MAKE THE DRAINAGE FUNCTION, TEMPORARY RIPRAP LINED SWALES FROM THE END OF BOTH THE NORTH AND SOUTH VALLEY GUTTERS MUST BE CONSTRUCTED TO THE NEW CHANNEL AT THE WEST PROPERTY LINE.

PHASE II

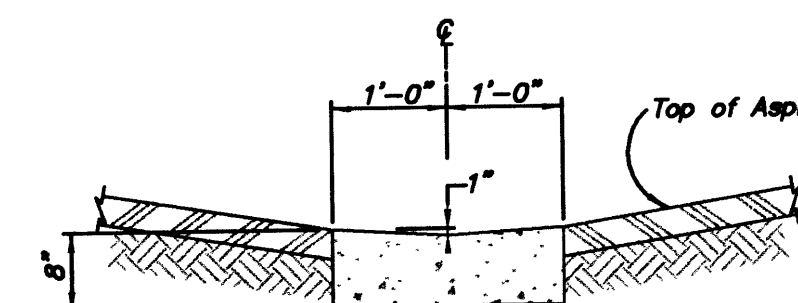
PHASE II OF THE DEVELOPMENT OF THIS PROJECT, ON EXISTING PARCELS 17 AND 18, WILL INCLUDE THE CENTER BUILDING, ASSOCIATED 24-FOOT WIDE PAVED DRIVES EAST AND WEST OF THE BUILDING, ASSOCIATED PAVED PARKING EAST AND WEST OF THE BUILDING, AND PAVED SERVICE YARD SOUTH OF THE BUILDING.

THE TEMPORARY RIPRAP LINED SWALES FROM THE END OF BOTH THE NORTH AND SOUTH VALLEY GUTTERS CONSTRUCTED IN PHASE I WILL BE SHORTENED IN PHASE II. THEY WILL REMAIN FROM THE WEST SIDE OF PHASE II DEVELOPMENT TO THE CHANNEL AT THE WEST PROPERTY LINE OF LOT 19.

PHASE III

PHASE III INCLUDES THE BUILDING ON PARCEL 19 AS WELL AS ASSOCIATED PAVED PARKING, DRIVES, AND SOUTH SERVICE YARD AND IS THE CONCLUSION TO THIS DEVELOPMENT. THIS PHASE WILL REPLACE THE TEMPORARY DRAINAGE SWALES AND GRADING WITH PERMANENT PAVEMENT AND CONCRETE VALLEY GUTTERS.

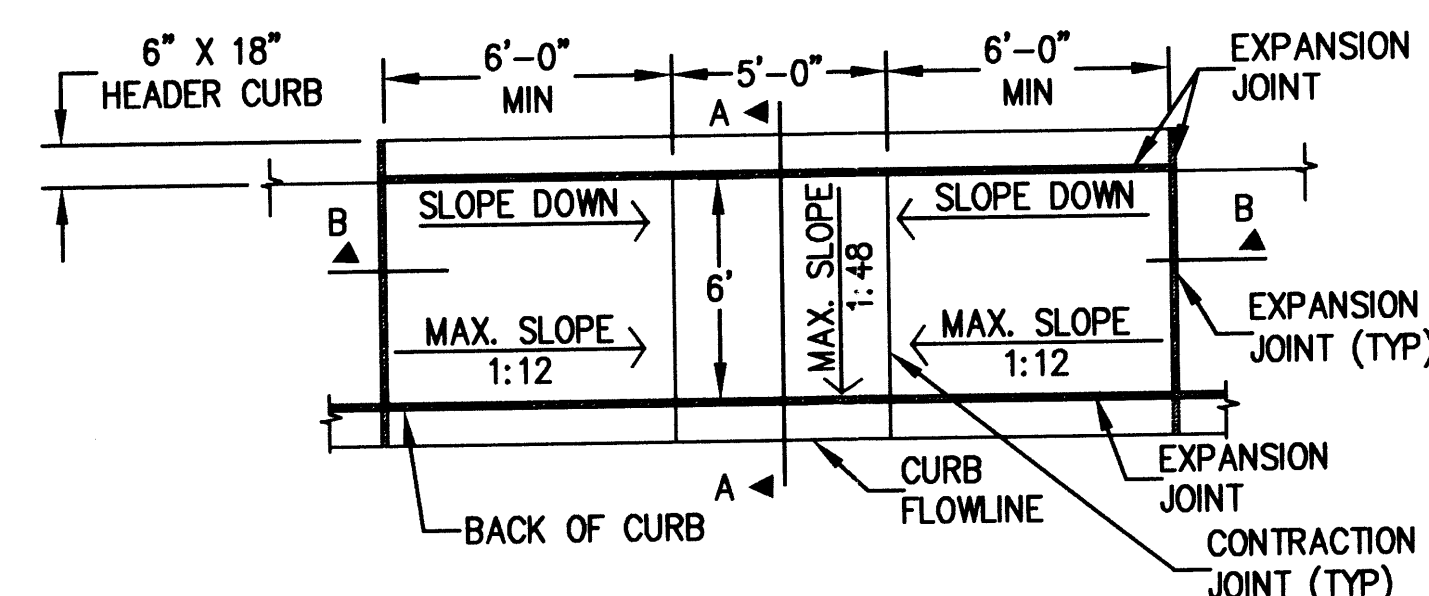
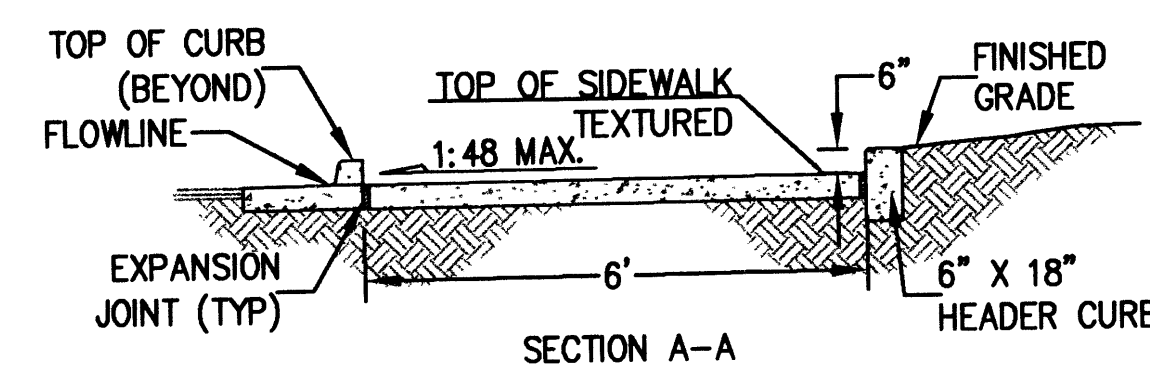
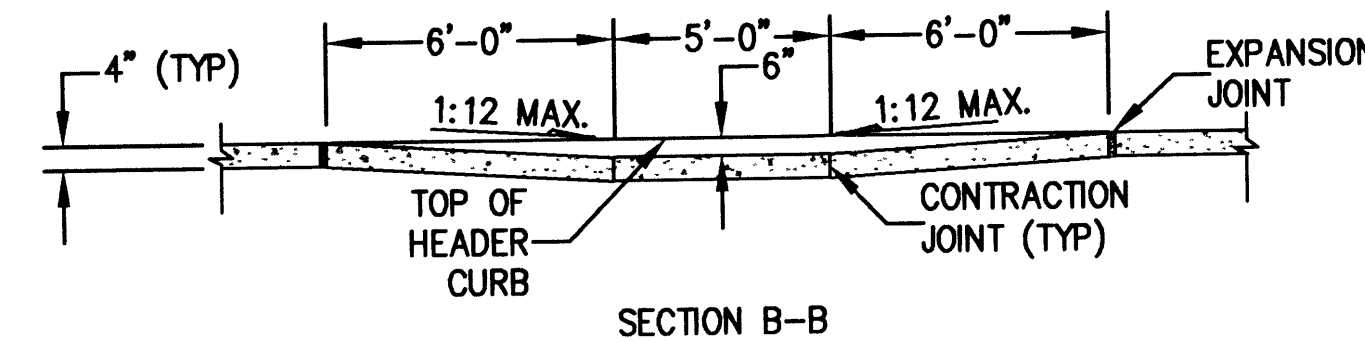
4000 PSI PCC At 28 Days Provide 1/2" Expansion Joint @ 36" O.C. and @ Immovable Objects. Provide 11" Deep Contraction Joint @ 6' O.C. Seal All Joints: See Specification Section 02550.



2 CONCRETE VALLEY GUTTER
C-3 NTS

CONSTRUCTION NOTES:

1. ALL CONCRETE SHALL BE 3000 PSI (28DAY) CONCRETE.
2. PROVIDE A TEXTURED SURFACE ON RAMP IN ACCORDANCE WITH ADA AND ANSI.



3 CONCRETE HANDICAP RAMP DETAIL
C-3 N. T. S.

ENGINEER SEAL

PROJECT

SITE DEVELOPMENT PLAN FOR
INDUSTRIAL PARK @ JOURNAL CENTER 2
LOTS 16-19, JOURNAL CENTER 2
ALBUQUERQUE, NEW MEXICO

REVISIONS

DATE June 16, 2003

NORTH SCALE

1" = 20'

DRAWING NAME

PHASE I
GRADING PLAN

SHEET NUMBER

C-3

Rec 12/18/03
KAR

SO-19 FORM

NOTICE TO CONTRACTOR

- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN THE CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED WITHIN THE CITY RIGHT-OF-WAY SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH C.O.A. STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION 1986.
- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT LINE LOCATING SERVICE 260-1990, FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OR SURVEYOR SO THAT THE CONFLICT CAN BE RESOLVED WITH MINIMUM AMOUNT OF DELAY.
- BACKFILL COMP ACTION SHALL BE ACCORDING TO ARTERIAL STREET USE.
- MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER SERVED.

THE FOLLOWING NOTES ALSO APPLY WHEN CHECKED

- ☒ ALL UTILITIES AND UTILITY SERVICE LINES SHALL BE INSTALLED PRIOR TO CONSTRUCTION OF ANY SIDEWALK OR PAVEMENT.
- ☒ BACKFILL COMP ACTION SHALL BE ACCORDING TO ARTERIAL STREET USE.
- ☒ TACK COAT REQUIREMENTS SHALL BE DETERMINED BY THE CITY ENGINEER.
- ☐ SIDEWALKS AND WHEELCHAIR RAMPS WITHIN THE CURB RETURNS SHALL BE CONSTRUCTED WHEREVER A NEW CURB RETURN IS CONSTRUCTED.
- ☐ IF CURB IS DEEPENED FOR A DRIVEPAD OR A HANDICAP RAMP, THE DRIVEPAD OR RAMP SHALL BE CONSTRUCTED PRIOR TO ACCEPTANCE OF THE CURB AND GUTTER.
- ☒ ALL STORM DRAINAGE FACILITIES SHALL BE COMPLETED, INSPECTED AND APPROVED PRIOR TO FINAL ACCEPTANCE.

APPROVALS	ENGINEERS	DATE
A.C.E./DESIGN		
INSPECTOR		
A.C.E./FIELD		

DISCUSSION

PHASE I

PHASE I OF THE DEVELOPMENT OF THIS PROJECT, ON EXISTING PARCEL 16, INCLUDED THE BUILDING, ASSOCIATED 24-FOOT WIDE PAVED DRIVE WEST OF THE BUILDING, ASSOCIATED PAVED PARKING WEST OF THE BUILDING, PAVED SERVICE YARD SOUTH OF THE BUILDING, RETAINING WALL AT THE EAST PROPERTY LINE, THE CONCRETE/CRUSHER FINE CHANNEL AT THE WEST PROPERTY LINE, AND THE NEW SIDEWALK CULVERTS TO RUTLEDGE ROAD.

A CERTIFICATE OF OCCUPANCY FOR PHASE I WAS ISSUED ON DECEMBER 18, 2003

PHASE II

PHASE II OF THE DEVELOPMENT OF THIS PROJECT, ON EXISTING PARCELS 17 AND 18, INCLUDED THE CENTER BUILDING, ASSOCIATED 24-FOOT WIDE PAVED DRIVES EAST AND WEST OF THE BUILDING, ASSOCIATED PAVED PARKING EAST AND WEST OF THE BUILDING, AND PAVED SERVICE YARD SOUTH OF THE BUILDING.

A CERTIFICATE OF OCCUPANCY WAS ISSUED FOR THE PHASE II DEVELOPMENT ON MARCH 26, 2004.

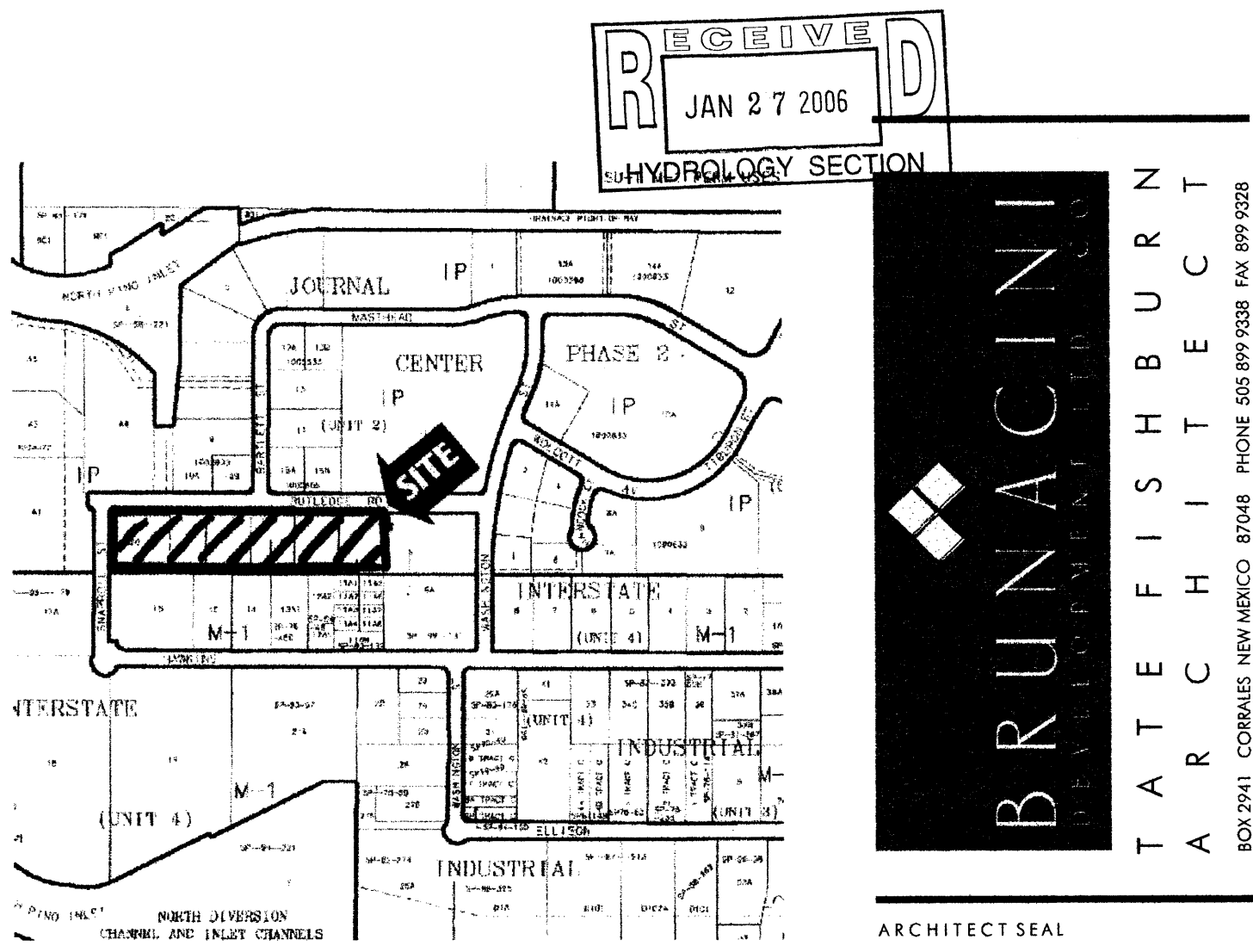
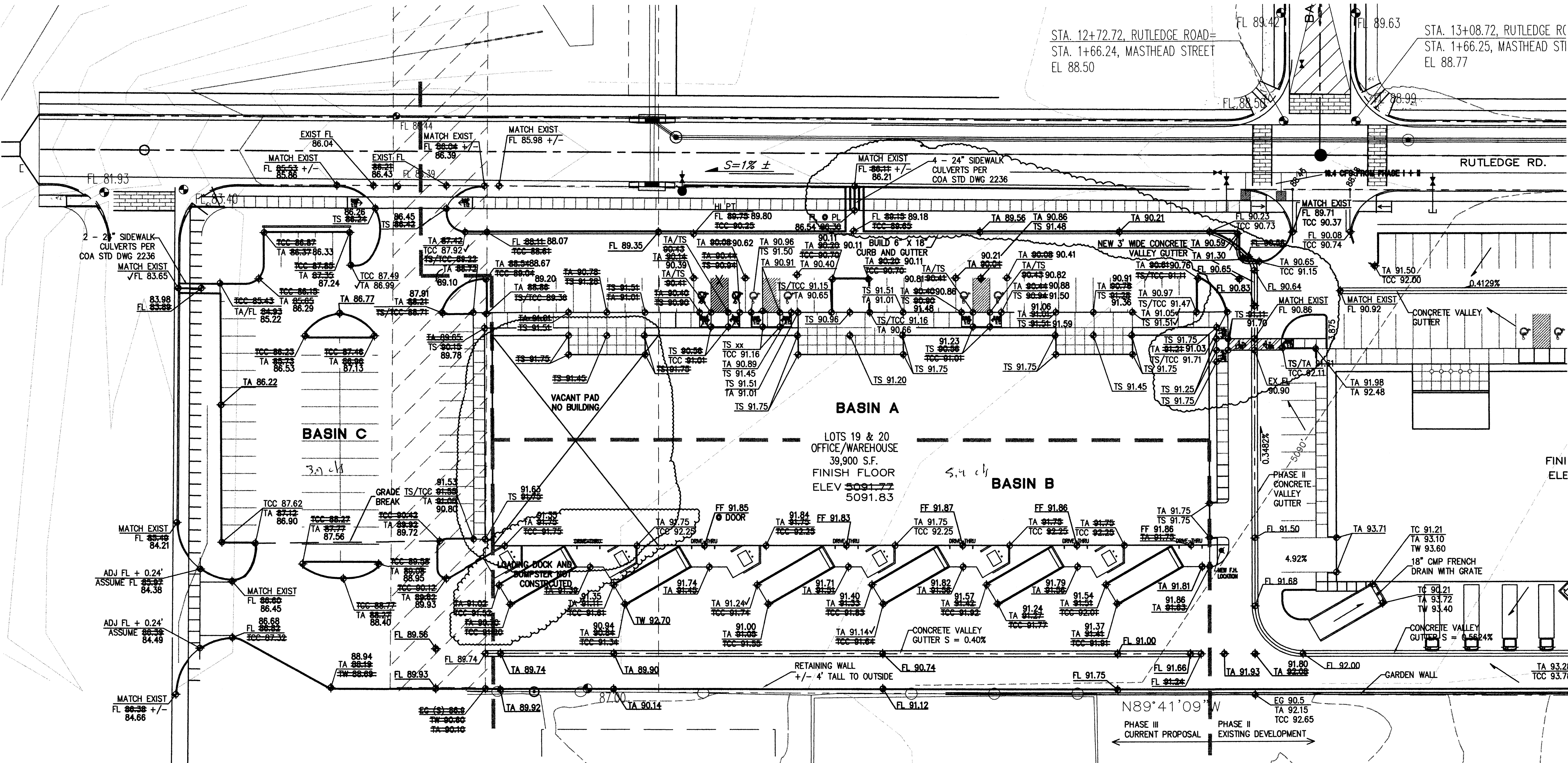
PHASE III

IN THE ORIGINAL SITE DRAINAGE PLAN, PHASE III INCLUDED A BUILDING ON PARCEL 19 AS WELL AS ASSOCIATED PAVED PARKING, DRIVES, AND SOUTH SERVICE YARD AND WAS THE CONCLUSION TO THIS DEVELOPMENT. SINCE THE SITE MASTER DRAINAGE PLAN WAS COMPLETED, THE DEVELOPER HAS PURCHASED LOT 20 AND IS PROPOSING TO CONSTRUCT A 40,000 SQUARE FOOT BUILDING WITH ASSOCIATED PAVED PARKING ON BOTH LOT 19 AND 20 AS SHOWN ON THIS PLAN. THE DRAINAGE CONCEPT SHOWN ON THE ORIGINAL SITE MASTER DRAINAGE PLAN IS STILL FOLLOWED ON THIS PROPOSED PLAN EXCEPT THE CHANNEL ALONG THE WEST SIDE OF LOT 19 IS NO LONGER NEEDED. THE SIDEWALK CULVERTS ORIGINALLY PROPOSED ON RUTLEDGE WILL STILL BE USED TO DRAIN THE NORTHERN PORTION (BASIN A) OF THE PHASE III DEVELOPMENT. THE RUNOFF FROM PHASES I AND II HAVE BEEN DIVERTED THROUGH THE EXISTING DRIVEPAD ON THE WEST EDGE OF PHASE II, INTO RUTLEDGE AND INTO THE EXISTING STORM DRAIN SYSTEM NORTH OF THE CENTER OF THE PHASE III DEVELOPMENT. IN ADDITION TO THE PHASE I AND II RUNOFF DIRECTED TO THE EXISTING STORM DRAIN SYSTEM, THE RUNOFF FROM PHASE III BASIN A WILL DISCHARGE THROUGH TWO PROPOSED SIDEWALK CULVERTS INTO RUTLEDGE AND ULTIMATELY IN THE EXISTING STORM DRAIN SYSTEM. THIS PROPOSED GRADING PLAN ADDS A NEW SIDEWALK CULVERT IN THE NORTHWEST CORNER OF THE EXPANDED PARKING LOT THAT DRAINS THE WEST (BASIN C) PARKING LOT IN TO SNAPROLL ROAD TO THE WEST OF THE SITE IN ACCORDANCE WITH THE EXISTING MASTER DRAINAGE PLAN PREPARED BY BOHANNAN HUSTON. THE SOUTHERN PORTION OF THE BUILDING AND SOUTH ACCESS DRIVES, BASIN B WILL DRAIN WEST THROUGH THE SOUTHERN PORTION OF THE WEST PARKING LOT AND INTO SNAPROLL ROAD THROUGH THE PROPOSED DRIVEPAD NEAR THE SOUTHWEST CORNER OF THE SITE. THIS IS IN CONTRAST TO THE BOHANNAN HUSTON MASTER DRAINAGE PLAN AS IT WILL DIVERT AN ADDITIONAL 5.40 CFS INTO SNAPROLL ROAD. THIS DRAINAGE WILL ULTIMATELY BE CONVEYED THROUGH A DEVELOPMENT ON THE WEST SIDE OF SNAPROLL TO THE NORTH DIVERSION CHANNEL. SINCE THE DEVELOPER OF THE SITE WEST OF SNAPROLL THIS ADDITIONAL RUNOFF WILL PASS THROUGH IS THE SAME AS THE DEVELOPER OF THIS PROJECT, WE HAVE COORDINATED WITH WILSON AND COMPANY, THE DESIGNER OF THE ADJACENT SITE, AND THE CITY OF ALBUQUERQUE HYDROLOGY DEPARTMENT TO REDESIGN THEIR RUNOFFS INTO THE NORTH DIVERSION CHANNEL TO CONVEY THIS ADDITIONAL FLOW.

TABLE 1

100-YEAR HYDROLOGIC CALCULATIONS

BASIN #	AREA (acre)	LAND TREATMENT				WEIGHTED E (in)	V (6-hr) (acre-ft)	V (6-hr) (cu-ft)	V (10 day) (acre-ft)	V (10 day) (cu-ft)	Q (cfs)
		A (%)	B (%)	C (%)	D (%)						
EXISTING CONDITIONS											
BASIN A	1.0652	100.00	10.00	0.00	0.00	0.61	0.05	2,351	0.05	2,351	1.90
BASIN B	1.1489	100.00	0.00	0.00	0.00	0.53	0.05	2,210	0.05	2,210	1.79
BASIN C	0.8814	100.00	0.00	0.00	0.00	0.53	0.04	1,696	0.04	1,696	1.37
DEVELOPED CONDITIONS											
BASIN A	1.0652	0.00	5.70	5.00	89.30	1.99	0.18	7,710	0.30	13,235	4.78
BASIN B	1.1489	0.00	0.00	0.00	100.00	2.12	0.20	8,841	0.36	15,514	5.40
BASIN C	0.8814	0.00	6.20	6.10	87.70	1.98	0.15	6,324	0.25	10,813	3.93
EXCESS PRECIP. 0.53 0.78 1.13 2.12 E (in)											
PEAK DISCHARGE 1.56 2.28 3.14 4.7 Q _m (cfs)											
ZONE = 2											
WEIGHTED E (in) = (E _A)(%A) + (E _B)(%B) + (E _C)(%C) + (E _D)(%D)											
V _{6hr} (acre-ft) = (WEIGHTED E)(AREA)/12											
V _{10day} (acre-ft) = V _{6hr} + (A _D)(P _{10day} - P _{6hr})/12											
Q (cfs) = (Q _m)(A _A) + (Q _m)(A _B) + (Q _m)(A _C) + (Q _m)(A _D)											
P _{10day} (in) = 3.95											



LEGAL DESCRIPTION

LOTS 16-19, JOURNAL CENTER 2 (PHASE I, II, AND ORIGINAL III)
LOTS 19 AND 20, JOURNAL CENTER 2 (EXPANDED PHASE III)

DRAINAGE CERTIFICATION

I, Larry D. Read, NMPE 10998, of the firm Larry Read & Associates, Inc., hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intent of the approved plan dated 6/9/2005. The record information edited onto the original design document has been obtained by Joaquin Arguelles, NMPS 7472. I further certify that I have personally visited the project site on 01/27/2006 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Certificate of Occupancy.

Exceptions: The developer reverted to a previous Master Grading Plan for the site and constructed 4 24" sidewalk culverts on Rutledge and routed all runoff from the eastern portion of the site to them eliminating the runoff discharge through the driveway. The pad for the western 1/4 of the site is graded but the building is not constructed at this time. However, all grading and drainage was constructed for the full buildout.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the Grading and Drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

VERIFIED SPOT ELEVATION
SPOT ELEVATION MATCHES DESIGN

LAWRENCE D. READ
REGISTERED PROFESSIONAL ENGINEER
NEW MEXICO
10998
1/27/2006

PHASE III - MODIFIED
SITE GRADING AND DRAINAGE PLAN
INDUSTRIAL PARK @ JOURNAL CENTER 2
LOTS 19 AND 20, JOURNAL CENTER 2
ALBUQUERQUE, NEW MEXICO

REVISIONS
DATE MARCH 30, 2005
NORTH
SCALE 1" = 30'
DRAWING NAME

GRADING PLAN
SHEET NUMBER
C-1

NOTICE TO CONTRACTOR

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN THE CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED WITHIN THE CITY RIGHT-OF-WAY SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH C.O.A. STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION 1986.
3. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT LINE LOCATING SERVICE 260-1990, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OR SURVEYOR SO THAT THE CONFLICT CAN BE RESOLVED WITH MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMP ACTION SHALL BE ACCORDING TO ARTERIAL STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER SERVED.

THE FOLLOWING NOTES ALSO APPLY WHEN CHECKED

- ALL UTILITIES AND UTILITY SERVICE LINES SHALL BE INSTALLED PRIOR TO CONSTRUCTION OF ANY SIDEWALK OR PAVEMENT.
- BACKFILL COMP ACTION SHALL BE ACCORDING TO ARTERIAL STREET USE.
- TACK COAT REQUIREMENTS SHALL BE DETERMINED BY THE CITY ENGINEER.
- SIDEWALKS AND WHEELCHAIR RAMPS WITHIN THE CURB RETURNS SHALL BE CONSTRUCTED WHEREVER A NEW CURB RETURN IS CONSTRUCTED.
- IF CURB IS DEPRESSIONED FOR A DRIVEPAD OR A HANDICAP RAMP, THE DRIVEPAD OR RAMP SHALL BE CONSTRUCTED PRIOR TO ACCEPTANCE OF THE CURB AND GUTTER.
- ALL STORM DRAINAGE FACILITIES SHALL BE COMPLETED, INSPECTED AND APPROVED PRIOR TO FINAL ACCEPTANCE.

APPROVALS	ENGINEERS	DATE
A.C.E./DESIGN		
INSPECTOR		
A.C.E./FIELD		

DISCUSSION

PHASE I

PHASE I OF THE DEVELOPMENT OF THIS PROJECT, ON EXISTING PARCEL 16, INCLUDED THE BUILDING, ASSOCIATED 24-FOOT WIDE PAVED DRIVE WEST OF THE BUILDING, ASSOCIATED PAVED PARKING WEST OF THE BUILDING, PAVED SERVICE YARD SOUTH OF THE BUILDING, RETAINING WALL AT THE EAST PROPERTY LINE, THE CONCRETE CRUSHER FINE CHANNEL AT THE WEST PROPERTY LINE, AND THE NEW SIDEWALK CULVERTS TO RUTLEDGE ROAD.

A CERTIFICATE OF OCCUPANCY FOR PHASE I WAS ISSUED ON DECEMBER 18, 2003

PHASE II

PHASE II OF THE DEVELOPMENT OF THIS PROJECT, ON EXISTING PARCELS 17 AND 18, INCLUDED THE CENTER BUILDING, ASSOCIATED 24-FOOT WIDE PAVED DRIVES EAST AND WEST OF THE BUILDING, ASSOCIATED PAVED PARKING EAST AND WEST OF THE BUILDING, AND PAVED SERVICE YARD SOUTH OF THE BUILDING.

A CERTIFICATE OF OCCUPANCY WAS ISSUED FOR THE PHASE II DEVELOPMENT ON MARCH 26, 2004.

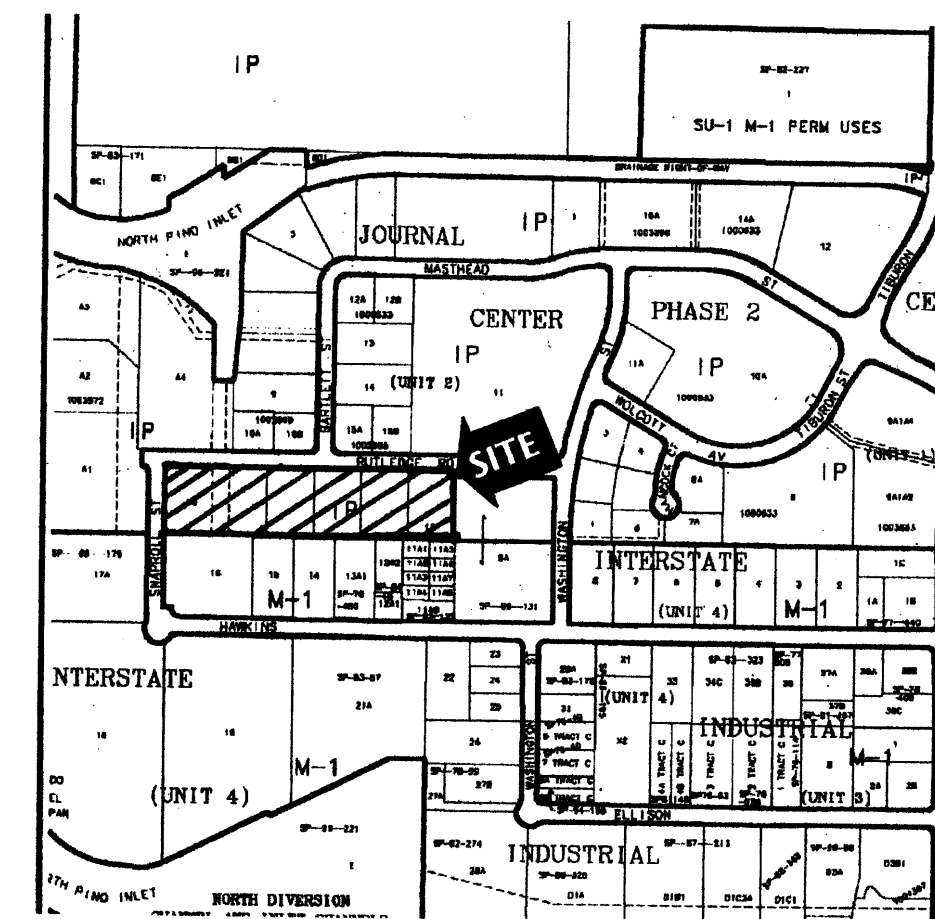
PHASE III

IN THE ORIGINAL SITE DRAINAGE PLAN, PHASE III INCLUDED A BUILDING ON PARCEL 19 AS WELL AS ASSOCIATED PAVED PARKING, DRIVES, AND SOUTH SERVICE YARD AND WAS THE CONCLUSION TO THIS DEVELOPMENT. SINCE THE SITE MASTER DRAINAGE PLAN WAS COMPLETED, THE DEVELOPER HAS PURCHASED LOT 20 AND IS PROPOSING TO CONSTRUCT A 40,000 SQUARE FOOT BUILDING WITH ASSOCIATED PAVED PARKING ON BOTH LOT 19 AND 20 AS SHOWN ON THIS PLAN. THE DRAINAGE CONCEPT SHOWN ON THE ORIGINAL SITE MASTER DRAINAGE PLAN IS STILL FOLLOWED ON THIS PROPOSED PLAN EXCEPT THE CHANNEL ALONG THE WEST SIDE OF LOT 19 IS NO LONGER NEEDED. THE SIDEWALK CULVERTS ORIGINALLY PROPOSED ON RUTLEDGE WILL STILL BE USED TO DRAIN THE NORTHERN PORTION (BASIN A) OF THE PHASE III DEVELOPMENT. THE RUNOFF FROM PHASES I AND II HAVE BEEN DIVERTED THROUGH THE EXISTING DRIVEPAD ON THE WEST EDGE OF PHASE II, INTO RUTLEDGE AND INTO THE EXISTING STORM DRAIN SYSTEM NORTH OF THE CENTER OF THE PHASE III DEVELOPMENT. IN ADDITION TO THE PHASE I AND II RUNOFF DIRECTED TO THE EXISTING STORM DRAIN SYSTEM, THE RUNOFF FROM PHASE III BASIN A WILL DISCHARGE THROUGH TWO PROPOSED SIDEWALK CULVERTS INTO RUTLEDGE AND ULTIMATELY IN THE EXISTING STORM DRAIN SYSTEM. THIS PROPOSED GRADING PLAN ADDS A NEW SIDEWALK CULVERT IN THE NORTHWEST CORNER OF THE EXPANDED PARKING LOT THAT DRAINS THE WEST (BASIN C) PARKING LOT IN TO SNAPROLL ROAD TO THE WEST OF THE SITE IN ACCORDANCE WITH THE EXISTING MASTER DRAINAGE PLAN PREPARED BY BOHANNAN HUSTON. THE SOUTHERN PORTION OF THE BUILDING AND SOUTH ACCESS DRIVES, BASIN B WILL DRAIN WEST THROUGH THE SOUTHERN PORTION OF THE WEST PARKING LOT AND INTO SNAPROLL ROAD THROUGH THE PROPOSED DRIVEPAD NEAR THE SOUTHWEST CORNER OF THE SITE. THIS IS IN CONTRAST TO THE BOHANNAN HUSTON MASTER DRAINAGE PLAN AS IT WILL DIVERT AN ADDITIONAL 5.40 CFS INTO SNAPROLL ROAD. THIS DRAINAGE WILL ULTIMATELY BE CONVEYED THROUGH A DEVELOPMENT ON THE WEST SIDE OF SNAPROLL TO THE NORTH DIVERSION CHANNEL. SINCE THE DEVELOPER OF THE SITE WEST OF SNAPROLL THIS ADDITIONAL RUNOFF WILL PASS THROUGH IS THE SAME AS THE DEVELOPER OF THIS PROJECT, WE HAVE COORDINATED WITH WILSON AND COMPANY, THE DESIGNER OF THE ADJACENT SITE, AND THE CITY OF ALBUQUERQUE HYDROLOGY DEPARTMENT TO REDESIGN THEIR RUNDOWNS INTO THE NORTH DIVERSION CHANNEL TO CONVEY THIS ADDITIONAL FLOW.

TABLE 1

100-YEAR HYDROLOGIC CALCULATIONS

BASIN #	AREA (acre)	LAND TREATMENT				WEIGHTED E (in)	V (6-hr) (acre-ft)	V (6-hr) (cu-ft)	V(10 day) (acre-ft)	V(10-day) (cu-ft)	Q (cfs)
		A (%)	B (%)	C (%)	D (%)						
EXISTING CONDITIONS											
BASIN A	1.0652	100.00	10.00	0.00	0.00	0.61	0.05	2,351	0.05	2,351	1.90
BASIN B	1.1489	100.00	0.00	0.00	0.00	0.53	0.05	2,210	0.05	2,210	1.79
BASIN C	0.8814	100.00	0.00	0.00	0.00	0.53	0.04	1,696	0.04	1,696	1.37
DEVELOPED CONDITIONS											
BASIN A	1.0652	0.00	5.70	5.00	88.30	1.99	0.18	7,710	0.30	13,235	4.78
BASIN B	1.1489	0.00	0.00	0.00	100.00	2.12	0.20	8,841	0.36	15,514	5.40
BASIN C	0.8814	0.00	6.20	6.10	87.70	1.98	0.15	6,324	0.25	10,813	3.93
EXCESS PRECIP.											
		0.53	0.78	1.13	2.12	E (in)					
PEAK DISCHARGE		1.56	2.28	3.14	4.7	Q ₂₅ (cfs)					
ZONE = 2											
WEIGHTED E (in) = (E _A)(%A) + (E _B)(%B) + (E _C)(%C) + (E _D)(%D)							P _{6hr} (in.) = 2.35				
V _{6hr} (acre-ft) = (WEIGHTED E)(AREA)/12							P _{24hr} (in.) = 2.75				
V _{10day} (acre-ft) = V _{6hr} + (A _D)(P _{10day} - P _{6hr})/12							P _{10day} (in.) = 3.95				
Q (cfs) = (Q _n)(A _A) + (Q _n)(A _B) + (Q _n)(A _C) + (Q _n)(A _D)											

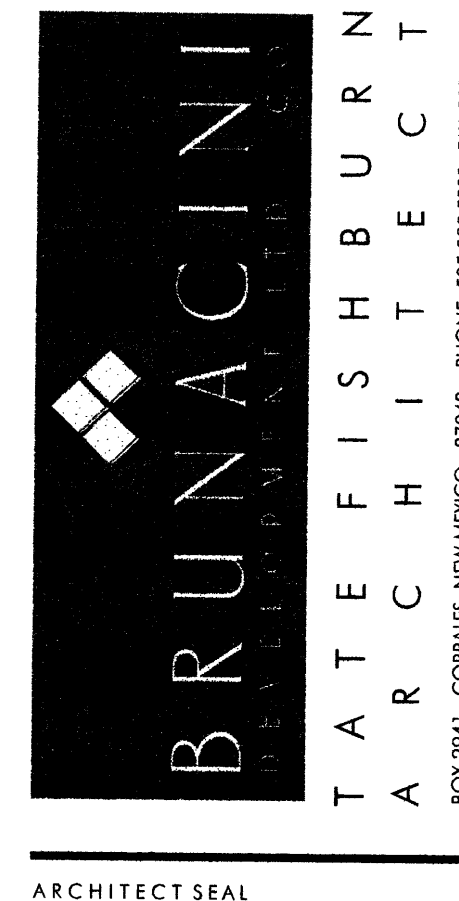
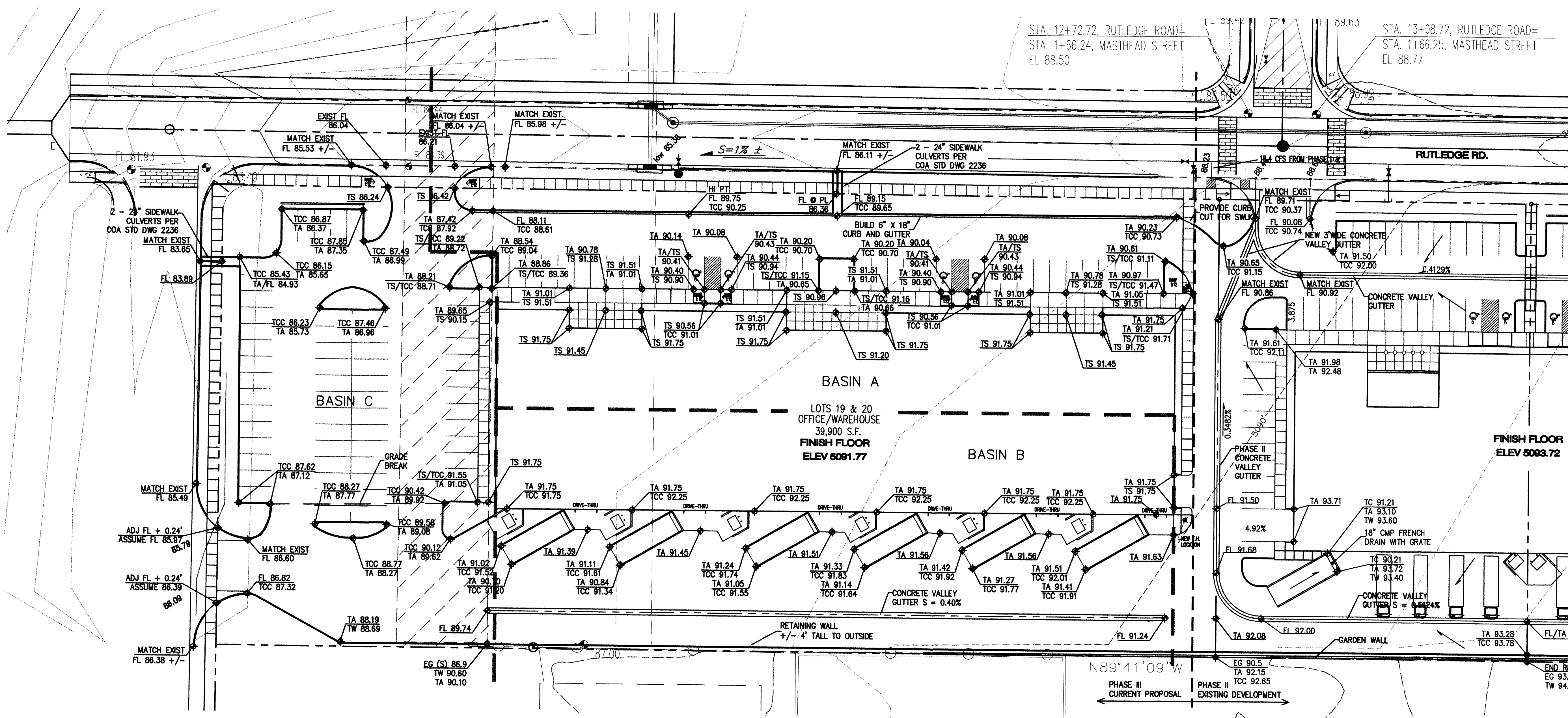


VICINITY MAP

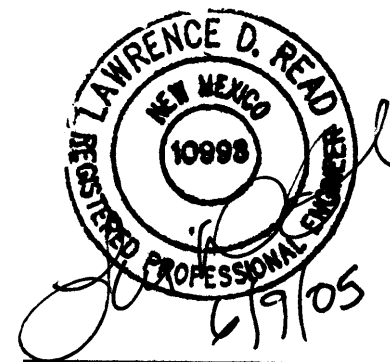
D-17-Z

LEGAL DESCRIPTION

LOTS 16-19, JOURNAL CENTER 2 (PHASE I, II, AND ORIGINAL III)
LOTS 19 AND 20, JOURNAL CENTER 2 (EXPANDED PHASE III)



ENGINEER SEAL



PROJECT

PHASE III - MODIFIED
SITE GRADING AND DRAINAGE PLAN
INDUSTRIAL PARK @ JOURNAL CENTER 2
LOTS 19 AND 20, JOURNAL CENTER 2
ALBUQUERQUE, NEW MEXICO

REVISIONS

DATE MARCH 30, 2005

NORTH SCALE



DRAWING NAME

GRADING PLAN

SHEET NUMBER

C-1

NOTICE TO CONTRACTOR

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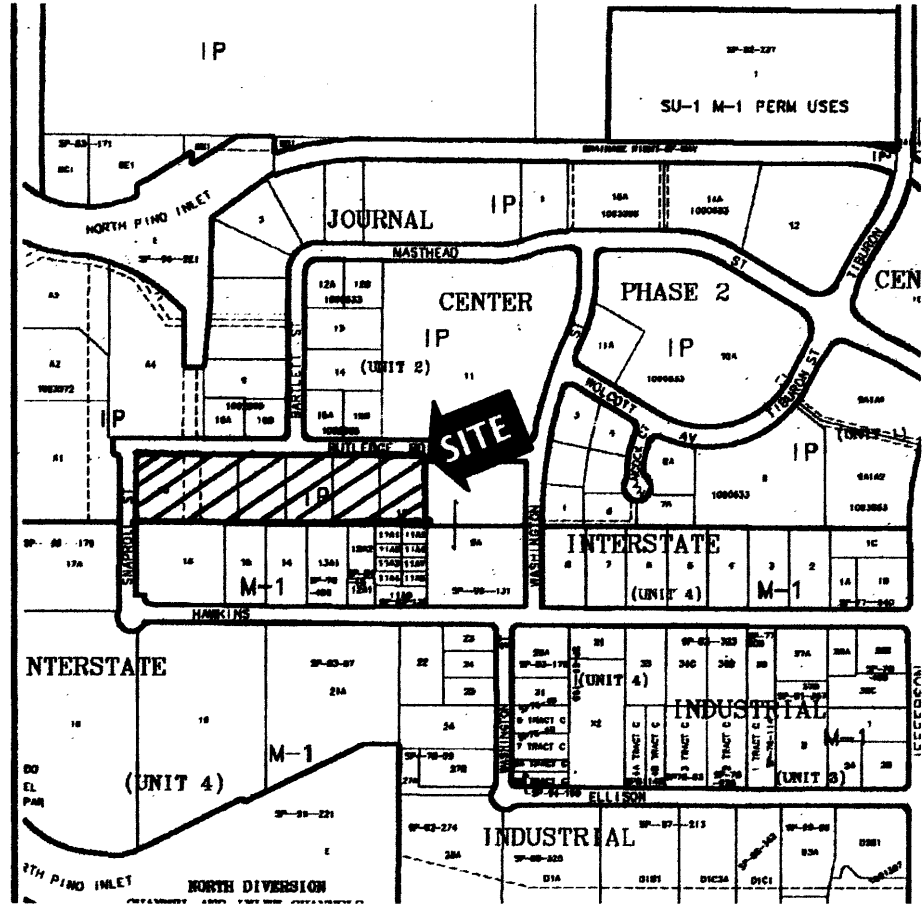
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- ☒ BACKFILL COMP ACTION SHALL BE ACCORDING TO ARTERIAL STREET USE.
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- ☒ ALL STORM DRAINAGE FACILITIES SHALL BE COMPLETED, INSPECTED AND APPROVED PRIOR TO FINAL ACCEPTANCE.

APPROVALS	ENGINEERS	DATE
A.C.E./DESIGN		
INSPECTOR		
A.C.E./FIELD		

100-YEAR HYDROLOGIC CALCULATIONS

BASIN #	AREA (acre)	LAND TREATMENT				WEIGHTED E (in)	V (6-hr) (acre-ft)	V (6-hr) (cu-ft)	V (24 hour) (acre-ft)	V (24 hour) (cu-ft)	Q (cfs)
		A (%)	B (%)	C (%)	D (%)						
EXISTING CONDITIONS (ENTIRE LOT)											
BASIN A	0.9099	100.00	0.00	0.00	0.00	0.53	0.04	1,751	0.04	1,751	1.42
BASIN B	2.3104	100.00	0.00	0.00	0.00	0.53	0.10	4,445	0.10	4,445	3.60
PROPOSED CONDITIONS (ENTIRE LOT)											
BASIN A	0.9099	0.00	0.00	13.90	86.10	1.96	0.15	6,548	0.18	7,685	4.08
BASIN B	2.3104	0.00	0.00	15.20	84.80	1.97	0.38	16,518	0.44	19,363	10.31
EXCESS PRECIP.		0.53	0.78	1.13	2.12	E (in)					
PEAK DISCHARGE		1.56	2.28	3.14	4.7	Q _{pe} (cfs)					
WEIGHTED E (in) = (E _a)(%A) + (E _b)(%B) + (E _c)(%C) + (E _d)(%D)							ZONE = 2				
V _{6-hr} (acre-ft) = (WEIGHTED E)(AREA)/12							P _{6-hr} (in.) = 2.35				
V _{24-hr} (acre-ft) = V _{6-hr} + (A _p)(P _{24-hr} - P _{6-hr})/12							P _{24-hr} (in.) = 2.75				
Q (cfs) = (Q _{pe})(A _a) + (Q _{pe})(A _b) + (Q _{pe})(A _c) + (Q _{pe})(A _d)							P _{24-hr} (in.) = 3.95				



VICINITY MAP D-17-Z

LEGAL DESCRIPTION

LOTS 16-19, JOURNAL CENTER 2 (PHASE I, II, AND ORIGINAL III)
LOTS 19 AND 20, JOURNAL CENTER 2 (EXPANDED PHASE III)

DISCUSSION

PHASE I

PHASE I OF THE DEVELOPMENT OF THIS PROJECT, ON EXISTING PARCEL 16, INCLUDED THE BUILDING, ASSOCIATED 24-FOOT WIDE PAVED DRIVE WEST OF THE BUILDING, ASSOCIATED PAVED PARKING WEST OF THE BUILDING, PAVED SERVICE YARD SOUTH OF THE BUILDING, RETAINING WALL AT THE EAST PROPERTY LINE, THE CONCRETE/CRUSHER FINE CHANNEL AT THE WEST PROPERTY LINE, AND THE NEW SIDEWALK CULVERTS TO RUTLEDGE ROAD.

A CERTIFICATE OF OCCUPANCY FOR PHASE I WAS ISSUED ON DECEMBER 18, 2003

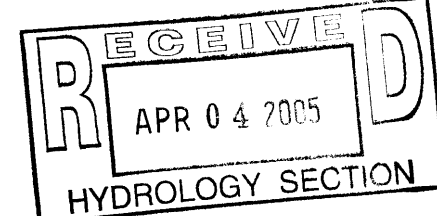
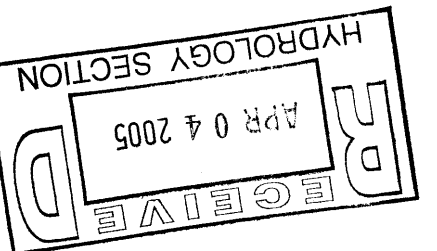
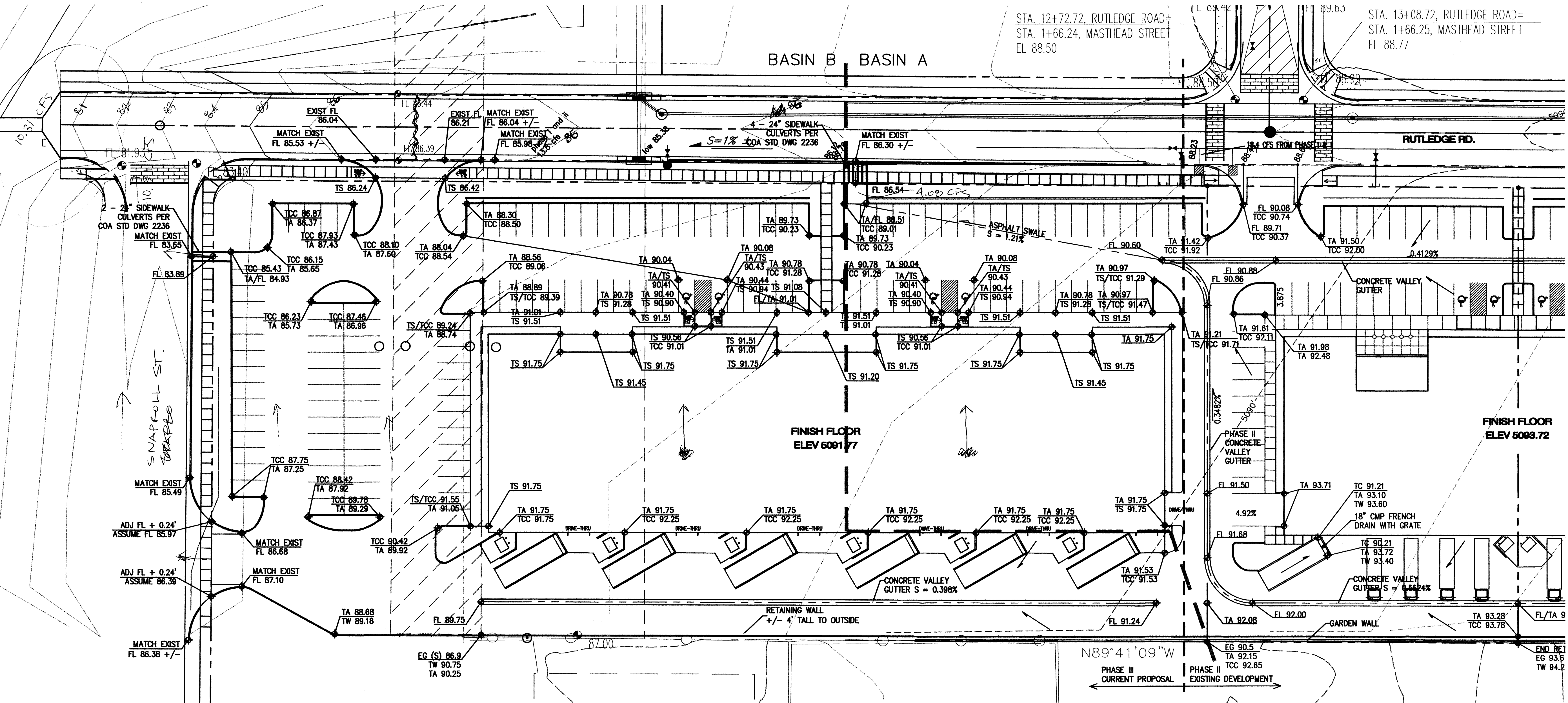
PHASE II

PHASE II OF THE DEVELOPMENT OF THIS PROJECT, ON EXISTING PARCELS 17 AND 18, INCLUDED THE CENTER BUILDING, ASSOCIATED 24-FOOT WIDE PAVED DRIVES EAST AND WEST OF THE BUILDING, ASSOCIATED PAVED PARKING EAST AND WEST OF THE BUILDING, AND PAVED SERVICE YARD SOUTH OF THE BUILDING.

A CERTIFICATE OF OCCUPANCY WAS ISSUED FOR THE PHASE II DEVELOPMENT ON MARCH 26, 2004.

PHASE III

IN THE ORIGINAL SITE DRAINAGE PLAN, PHASE III INCLUDED A BUILDING ON PARCEL 19 AS WELL AS ASSOCIATED PAVED PARKING, DRIVES, AND SOUTH SERVICE YARD AND WAS THE CONCLUSION TO THIS DEVELOPMENT. SINCE THE SITE DRAINAGE PLAN WAS COMPLETED, THE DEVELOPER HAS PURCHASED LOT 20 AND IS PROPOSING TO CONSTRUCT A 40,000 SQUARE FOOT BUILDING WITH ASSOCIATED PAVED PARKING ON BOTH LOT 19 AND 20 AS SHOWN ON THIS PLAN. THE DRAINAGE CONCEPT SHOWN ON THE ORIGINAL SITE DRAINAGE PLAN IS STILL FOLLOWED ON THIS PROPOSED PLAN EXCEPT THE CHANNEL ALONG THE WEST SIDE OF LOT 19 IS NO LONGER NEEDED BUT THE SIDEWALK CULVERTS ORIGINALLY PROPOSED ON RUTLEDGE ROAD WILL STILL BE USED TO DRAIN PHASES I AND II AS WELL AS THE ORIGINAL LOT 19 (PHASE III). THIS PROPOSED GRADING PLAN ADDS A NEW SIDEWALK CULVERT IN THE NORTHWEST CORNER OF THE EXPANDED PARKING LOT THAT DRAINS THE NORTH PARKING LOT. THE RUNOFF FROM THE BUILDING, WEST PARKING LOT, AND SOUTH SERVICE DRIVE WILL DISCHARGE THROUGH THE SOUTH DRIVEPAD ON SNAPROLL STREET. SNAPROLL STREET SLOPES TOWARD THE NORTH SO THE RUNOFF WILL DISCHARGE INTO THE EXISTING DRAINAGE CHANNEL ON THE WEST SIDE OF SNAPROLL STREET AT THE END OF RUTLEDGE ROAD.



ENGINEER SEAL



PROJECT

PHASE III - MODIFIED
SITE GRADING AND DRAINAGE PLAN
INDUSTRIAL PARK @ JOURNAL CENTER 2
LOTS 19 AND 20, JOURNAL CENTER 2
ALBUQUERQUE, NEW MEXICO

REVISIONS

DATE MARCH 30, 2005

NORTH SCALE

1" = 30'

DRAWING NAME

GRADING PLAN

SHEET NUMBER

C-1